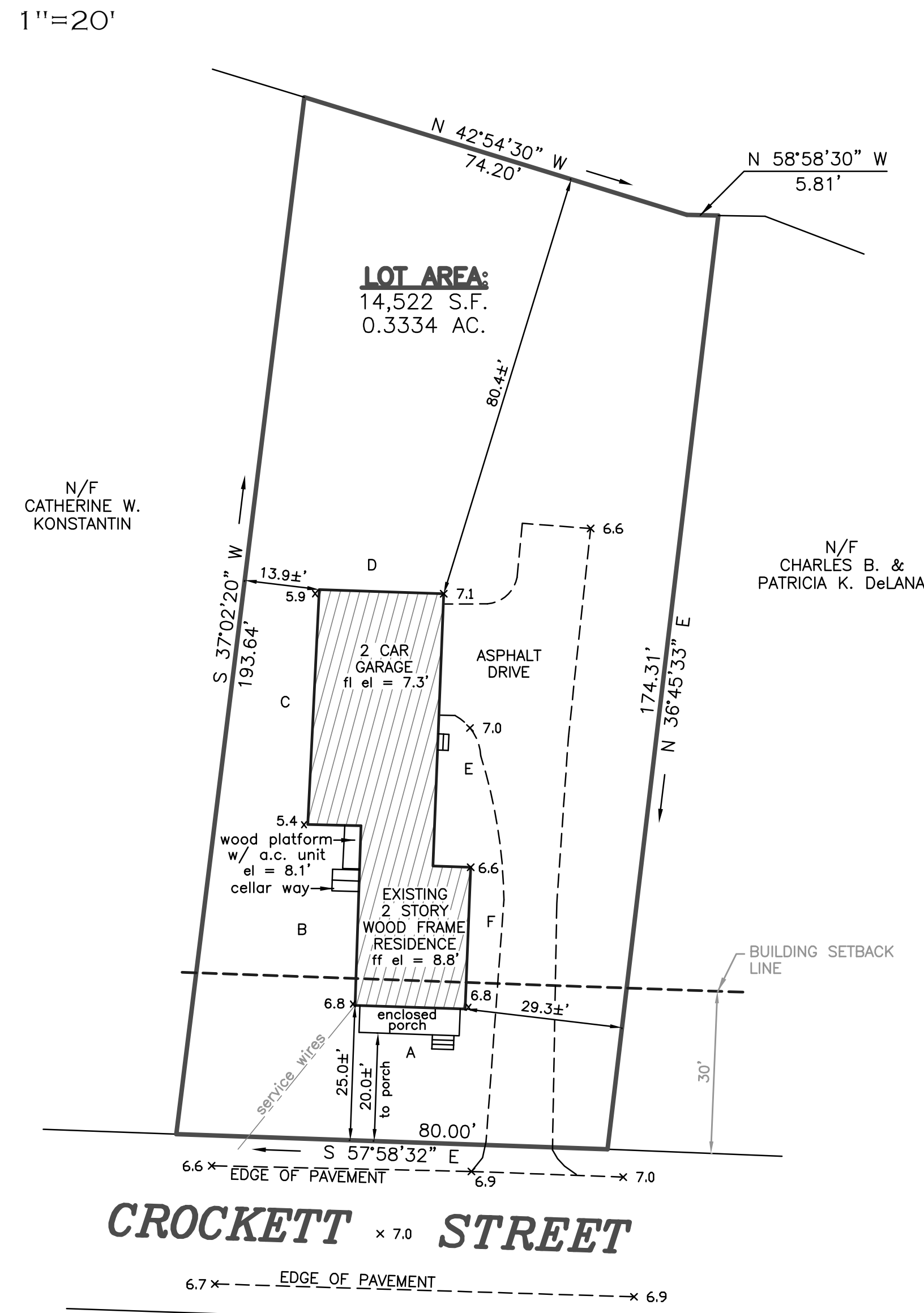
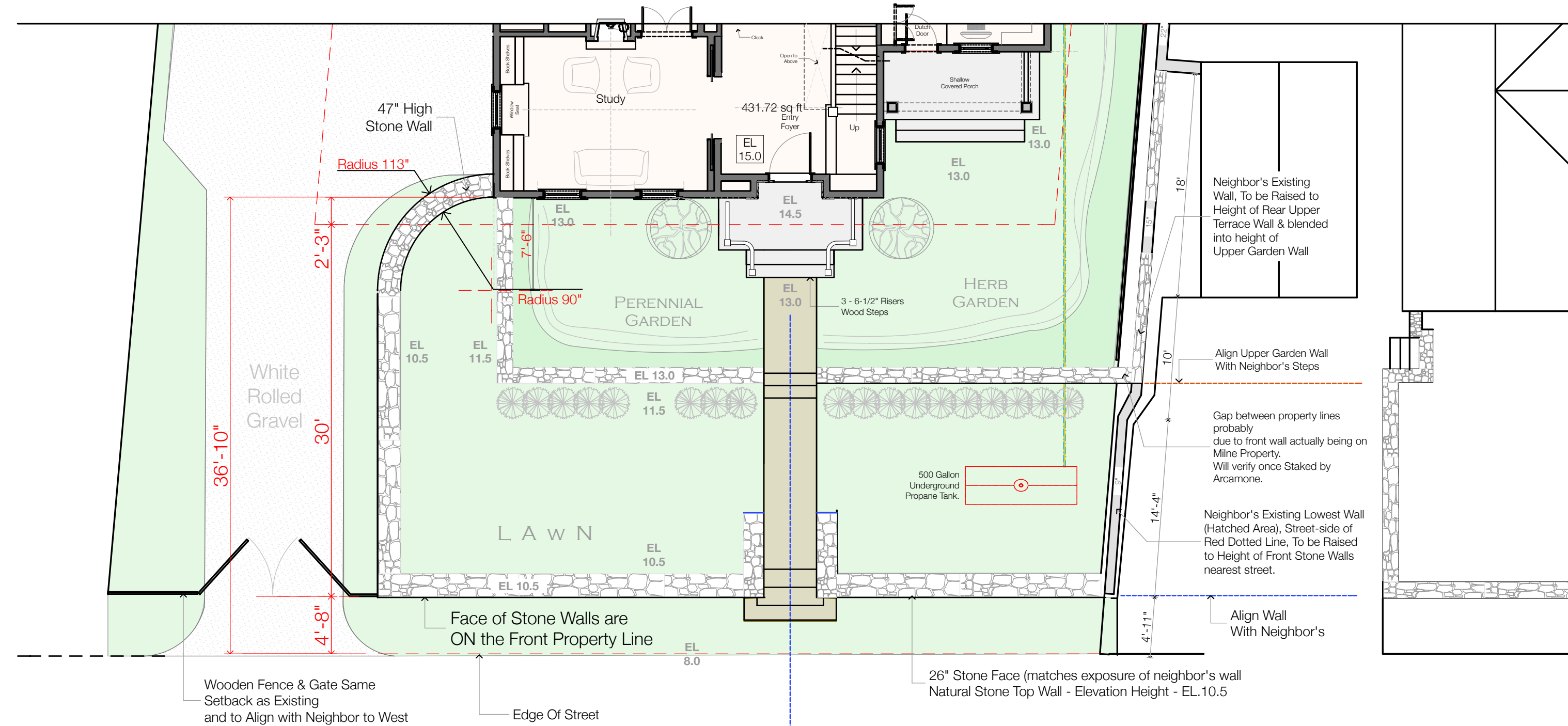
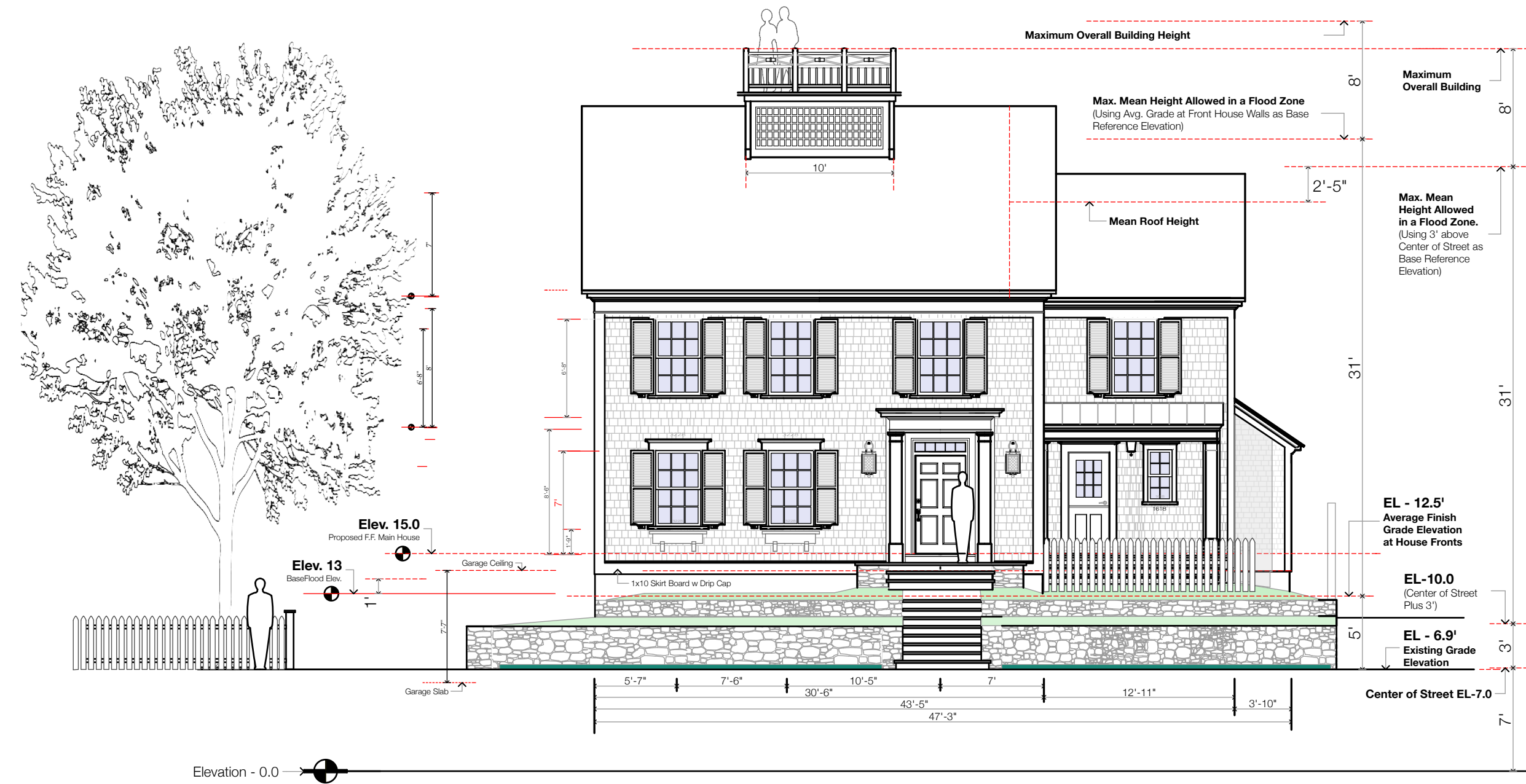
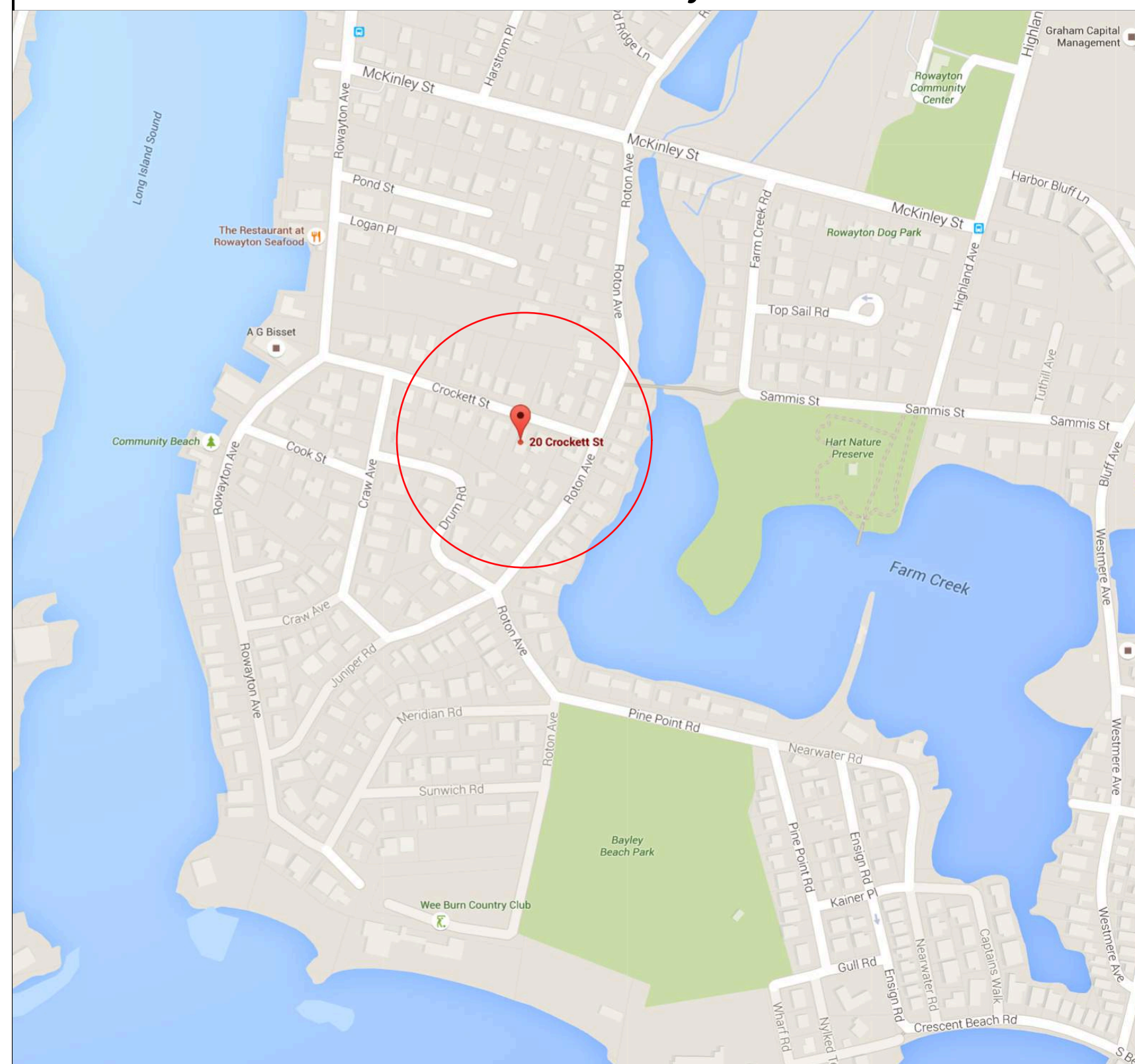


A-2 Survey Reference Map by Wayne Arcamone, Surveyor



Property Location Map
20 Crockett Street, Rowayton, Ct 06853



Architectural Plans For:
Douglas & Allison Milne

Drawings & Specifications Index
Monday, November 14, 2016

Construction Plans			
Sheet	Description	ORIGINAL ISSUE DATE	REVISED ISSUE DATE
A-01	Title Page		
A-02	Elevations		
A-03	West Boundary Wall		
A-04	Window Schedule		
A-05	Basic Foundation and Stone Wall Layout		
A-06	Foundation & Footings Plan		
A-07	Foundation Details		
A-08	1st & 2nd Floor Plan		
A-09	3rd Floor & Roof Plan		
A-10	Pantry Porch Details		
E-01	1st & 2nd Floor Electrical Plan		
E-02	Basement & 3rd Floor Electrical Plan		
ST-01	Foundation & 1st Floor Deck		
ST-02	2nd Floor Deck		
ST-03	3rd Floor Deck		
ST-04	Attic Floor Deck Framing and Roof Framing		
ST-05	Building Section Thru Garages		
ST-06	Building Section Center Foyer		

NOTE: Only Drawings that are Signed & Sealed by The Architect may be used for Obtaining the Building Permit & Construction of the Project. Progress Drawings or Bid Documents are not to be used for these purposes.

These Drawings are "An Instrument of Service" provided to The Client for several purposes. They are used for documenting the Design Process between the Client and the Architect, Defining the Scope of Work to be built, Obtaining Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect.

Use of Documents: All drawings, data, & electronic media included or referenced in these documents are Instruments of Service and the property of Joseph Matto Architects. These documents are copyright protected and not to be used for any other project or by any other persons other than those identified and authorized on this page.

Accuracy of Documents: All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible design conflicts.

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Building Code References

Applicable Codes and Regulations
THE ZONING REGULATIONS of the Town of Norwalk
FAIRFIELD COUNTY, CONNECTICUT
And
THE CONNECTICUT STATE BUILDING CODE
Inclusive of the following references & documents:

Current State Building Code	
Connecticut Documents	Currently Adopted Model Codes
State Building Code - 2005 CT Supplement	2003 International Building Code
2009 Amendments	2003 International Existing Building Code
2011 Amendment	2003 International Plumbing Code
2013 Amendment	2003 International Mechanical Code
Wind Load Errata	2009 International Residential Code
Prior Codes	2009 International Energy Conservation Code
	2011 National Electrical Code (NFPA 70)

Use Group R-3

Construction Type 5B

General Building Design Criteria

Design Loads: Max Deflection L/360
1st Floor - 45 PSF Live Load, 15 PSF Dead Load
2nd Floor - 35 PSF Live Load, 15 PSF Dead Load
3rd Floor - 35 PSF Live Load, 15 PSF Dead Load
Roof - 30 PSF Snow Load, 15 PSF Dead Load

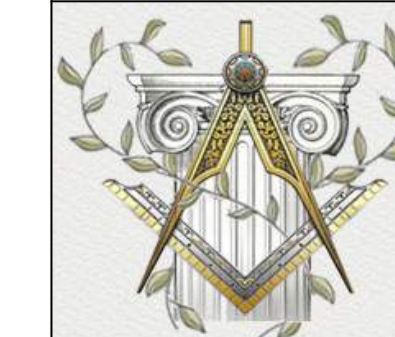
ResCheck - IECC (International Energy Code Compliance)
Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

Reminder - Call Before You Dig! 1-800-922-4445
The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

Builder & General Contractor

John Sullivan - East Coast Structures, LLC

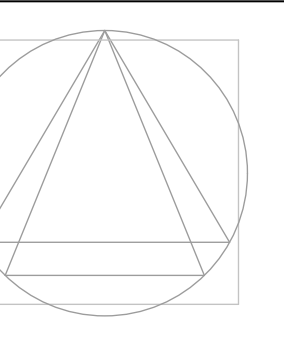
Project Consultants



JOSEPH MATTO ARCHITECT
AIA/ASID
(203) 203-529-1414
joemattoarchitects@gmail.com
414A Blackhawk Lane Stratford, Ct 06614

Project Data

Douglas & Allison Milne
20 Crockett Street
"Oyster Row"
Rowayton, Ct. 06853
Phone: _____
Email: _____



Project Year
2016



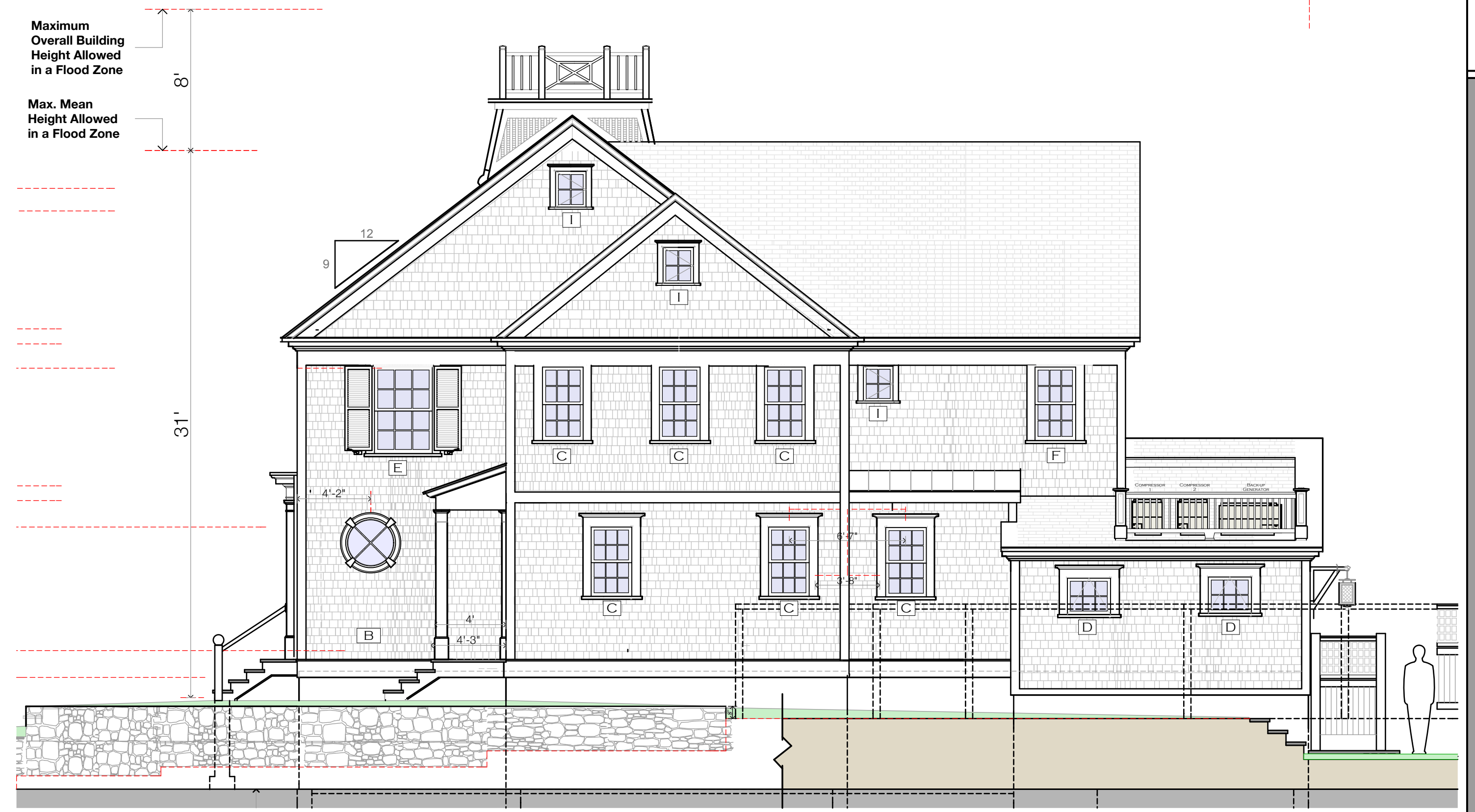
2 REAR (SOUTH) ELEVATION
3/16" = 1'-0"



1 FRONT (NORTH) ELEVATION
3/16" = 1'-0"



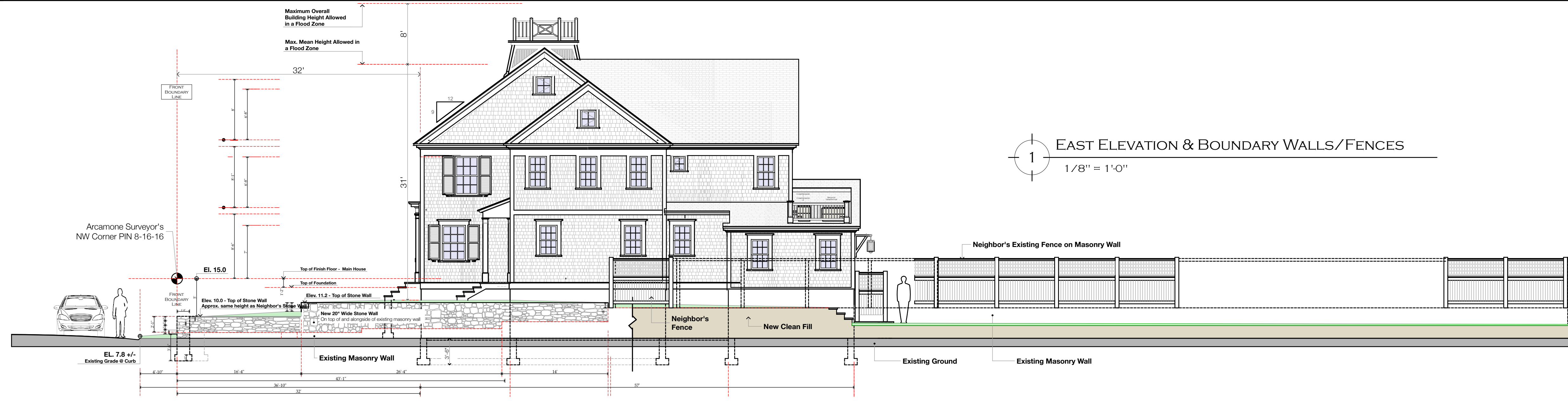
3 LEFT SIDE (EAST) ELEVATION
3/16" = 1'-0"



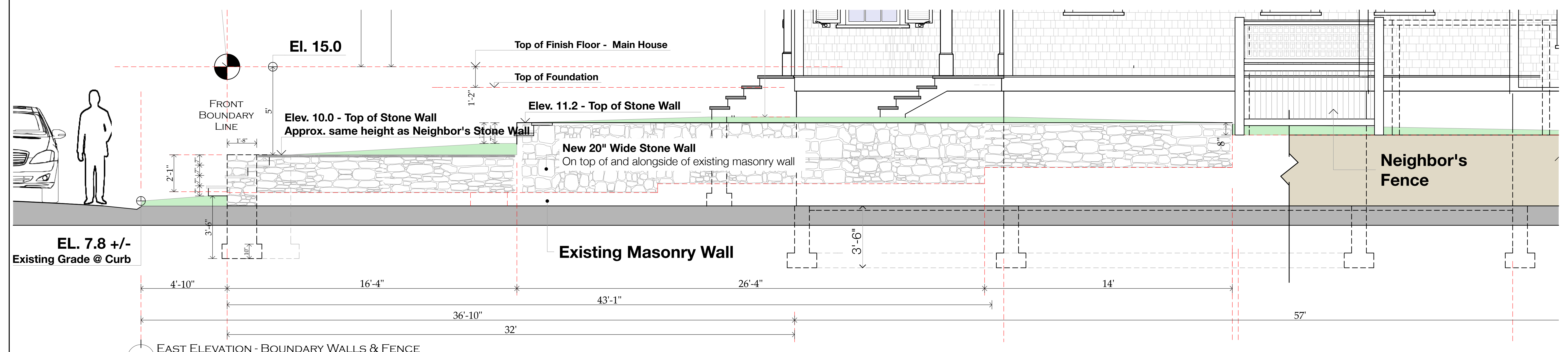
Elevations

Issue Date
11/14/16

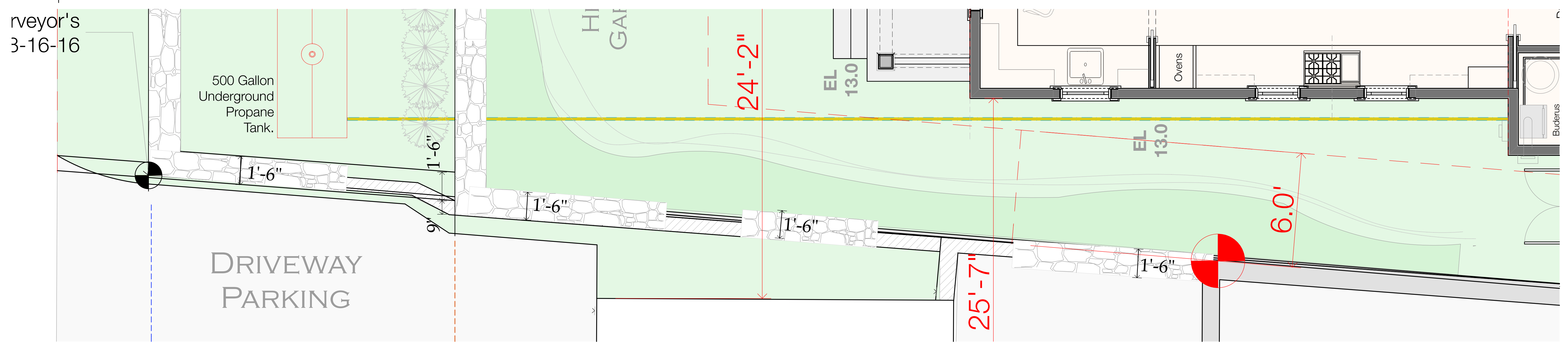
Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT
20 Crockett St
Rowayton, CT
Doug & All Milne



1 EAST ELEVATION & BOUNDARY WALLS/FENCES
1/8" = 1'-0"



2 EAST ELEVATION - BOUNDARY WALLS & FENCE
3/8" = 1'-0"



3 PLAN VIEW - EAST BOUNDARY WALLS & FENCE
3/8" = 1'-0"

Issue Date
11/14/16

West Boundary Wall

Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT
20 Crockett St
Rowayton, CT
Doug & Ali Milne

A-03

WINDOW SCHEDULE

Qty	Manufacturer	Call Number	Type	R.O.	Grille ...	Hd Ht.	Legs	Hds/Sls	Jamb	Int. Finish	Ext Finish	Hdwre Finish	Notes	Glass ...	Hardw...	Cost/E...
A																
1		M-CUDH-3024	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White	Brushed Nickel		0.000	0.000	950.000
1		M-CUDH-3024	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	950.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	950.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3028E	Double Hung Ins w Argon	3'x5'-6"	6 over 6	6'-8"	5'-6"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
B																
1		M-CUDH-3024	Double Hung Ins w Argon	3'x4'-10"	6 over 6	6'-8"	4'-10"	3'	2x6 wall	Primed White	Primed White		Tempered Glass - Near Stairs	0.000	0.000	632.000
1		M-CUDH-3024	Double Hung Ins w Argon	3'x4'-10"	6 over 6	6'-8"	4'-10"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-3024	Double Hung Ins w Argon	3'x4'-10"	6 over 6	6'-8"	4'-10"	3'	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
C																
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-9"	6 over 6	6'-8"	3'-9"	2'-8"	2x6 wall	Primed White	Primed White		Tempered Glass - Near Tub	0.000	0.000	632.000
1		M-CUDH-2618		2'-8"x3'-9"		6'-8"	3'-9"	2'-8"						0.000	0.000	632.000
1		M-CUDH-2618		2'-8"x3'-9"		6'-8"	3'-9"	2'-8"						0.000	0.000	632.000
1		M-CUDH-2618		2'-8"x3'-9"		6'-8"	3'-9"	2'-8"						0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-CUDH-2618	Double Hung Ins w Argon	2'-8"x3'-10"	6 over 6	6'-8"	3'-10"	2'-8"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
D																
1		M-WUCA-2028	Double Hung Ins w Argon	1'-3"x2'-4"	6 over 6	6'-8"	2'-4"	1'-3"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-WUCA-2028	Double Hung Ins w Argon	1'-9"x2'-5"	6 over 6	6'-8"	2'-5"	1'-9"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
F																
1		M-UAWN-3228	Double Hung Ins w Argon	2'-5"x2'-9"	6 over 6	8'-7"	2'-9"	2'-5"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
1		M-UAWN-3228	Double Hung Ins w Argon	2'-5"x2'-9"	6 over 6	8'-7"	2'-9"	2'-5"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
G																
1		M-UAWN-3228	Double Hung Ins w Argon	4'-1"x2'-9"	6 over 6	8'-7"	2'-9"	4'-1"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
H																
1		M-WUCA-2024	Double Hung Ins w Argon	1'-9"x2'-9"	6 over 6	6'-8"	2'-9"	1'-9"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-WUCA-2024	Double Hung Ins w Argon	1'-9"x2'-9"	6 over 6	6'-8"	2'-9"	1'-9"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
1		M-WUCA-2024	Double Hung Ins w Argon	1'-9"x2'-9"	6 over 6	6'-8"	2'-9"	1'-9"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
I																
1		M-CUDH-2620	Double Hung Ins w Argon	2'-8"x4'-1"	6 over 6	6'-8"	4'-1"	2'-8"	2x6 Wal...	Primed White	Primed White			0.000	0.000	632.000
SL																
1		M-FSL-Fnkrs	Fixed Side Lights to Mat...	2'-6"x7"	2w4h	6'-8"	7"	2'-6"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-FSL-Fnkrs	Fixed Side Lights to Mat...	2'-6"x7"	2w4h	6'-8"	7"	2'-6"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-FSL-Fnkrs	Fixed Side Lights to Mat...	2'-6"x7"	2w4h	6'-8"	7"	2'-6"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
1		M-FSL-Fnkrs	Fixed Side Lights to Mat...	2'-6"x7"	2w4h	6'-8"	7"	2'-6"	2x6 wall	Primed White	Primed White			0.000	0.000	632.000
43							192'-8"	115'-2"								28448.000

Issue Date
11/14/16

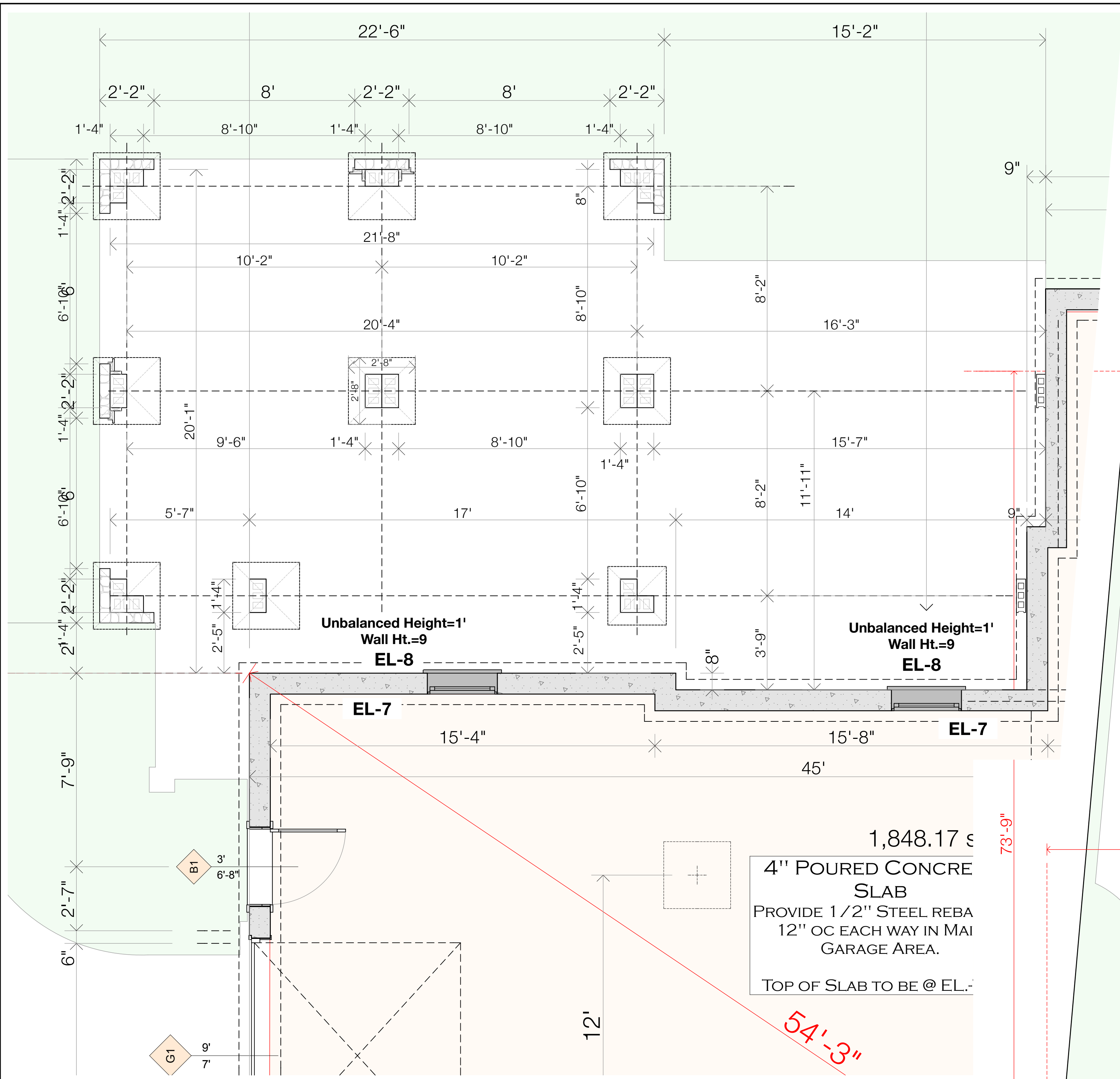
Window Schedule

414 Blackhawk Lane
Stratford, CT

20 Crockett St
Rowayton, CT

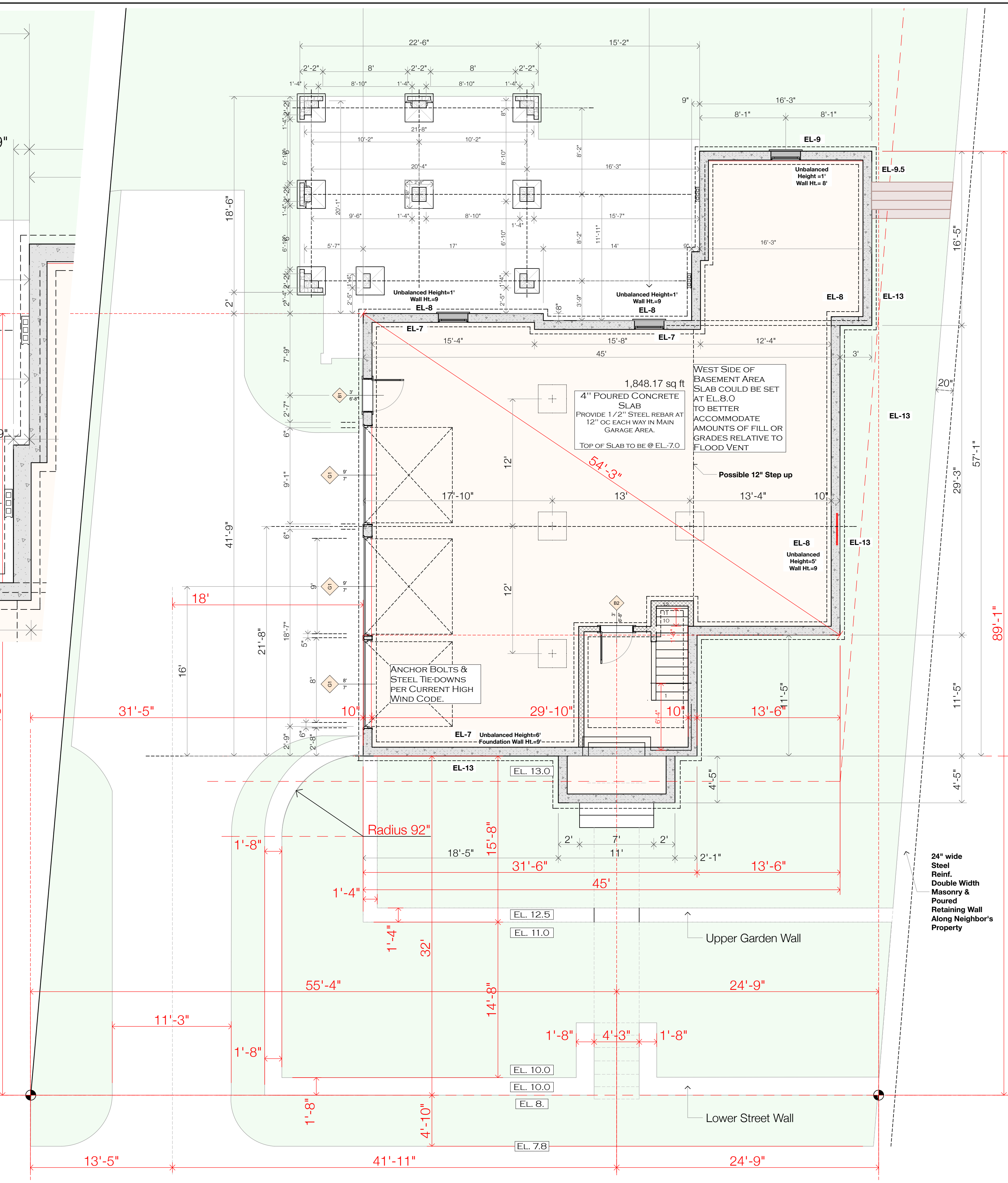
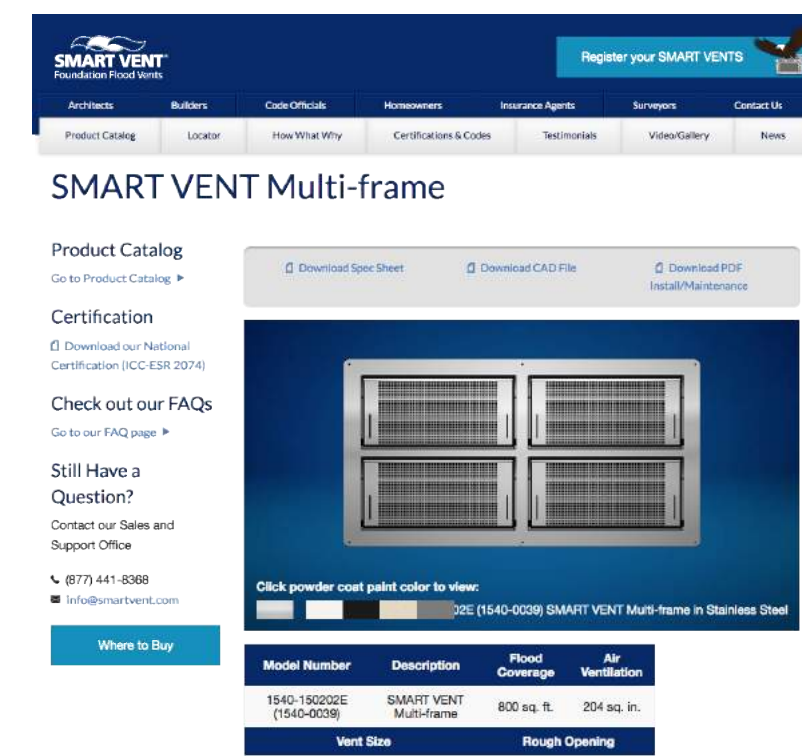
Joseph Matto Architect AIA

Doug & Ali Milne



2 DECK PIERS & FLOOD VENTS
3/8" = 1'-0"

PROVIDE 3 FLOOD VENTS PER SPECS AT LOCATIONS SHOWN. BOTTOM OF VENTS TO BE 12" OR LESS FROM GARAGE SLAB



1 FOUNDATION & DECK PIERS
3/16" = 1'-0"

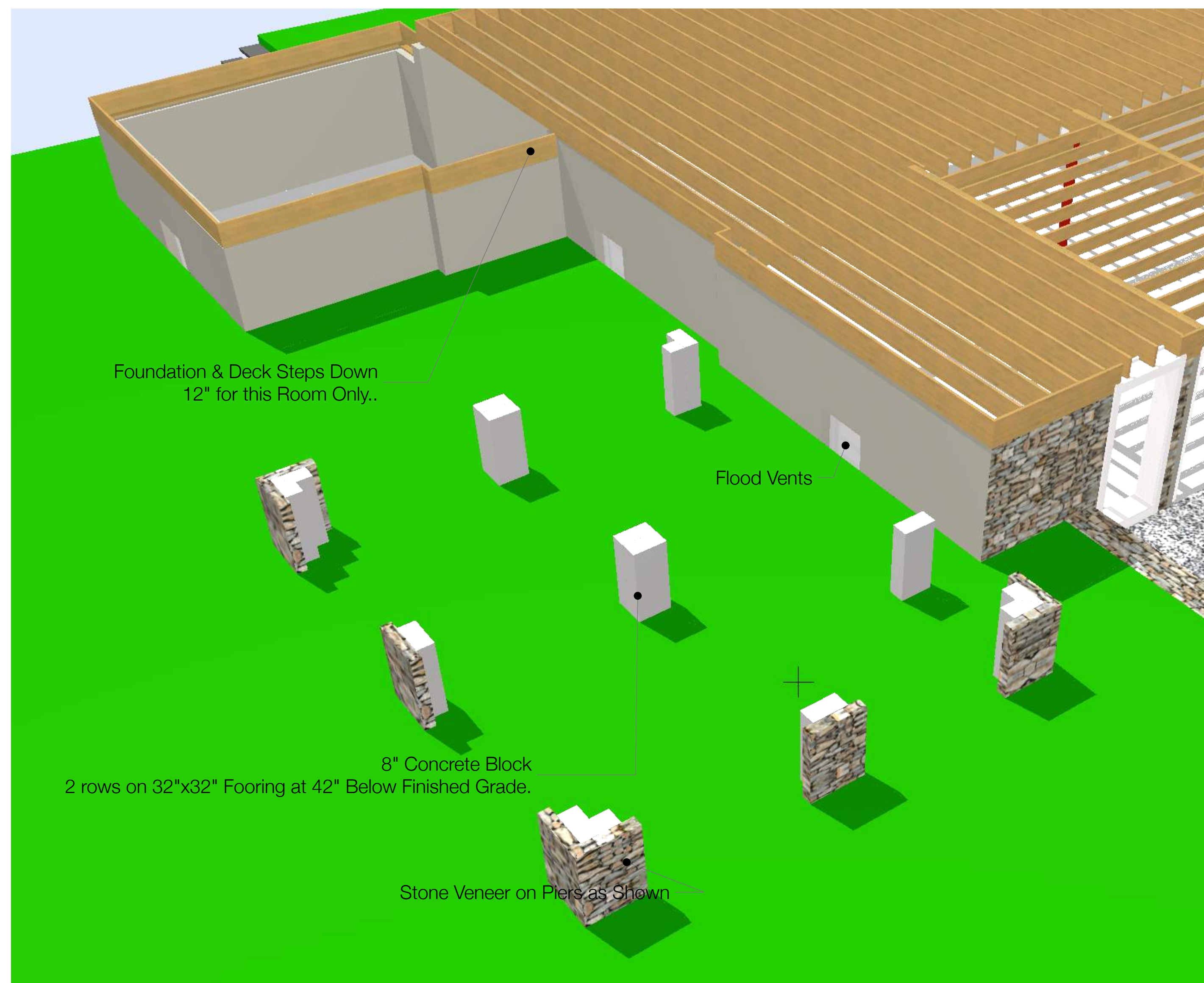
Issue Date
11/14/16

Basic Foundation and Stone Wall Layout

414 Blackhawk Lane
Stratford, CT

20 Crockett St
Rowayton, CT

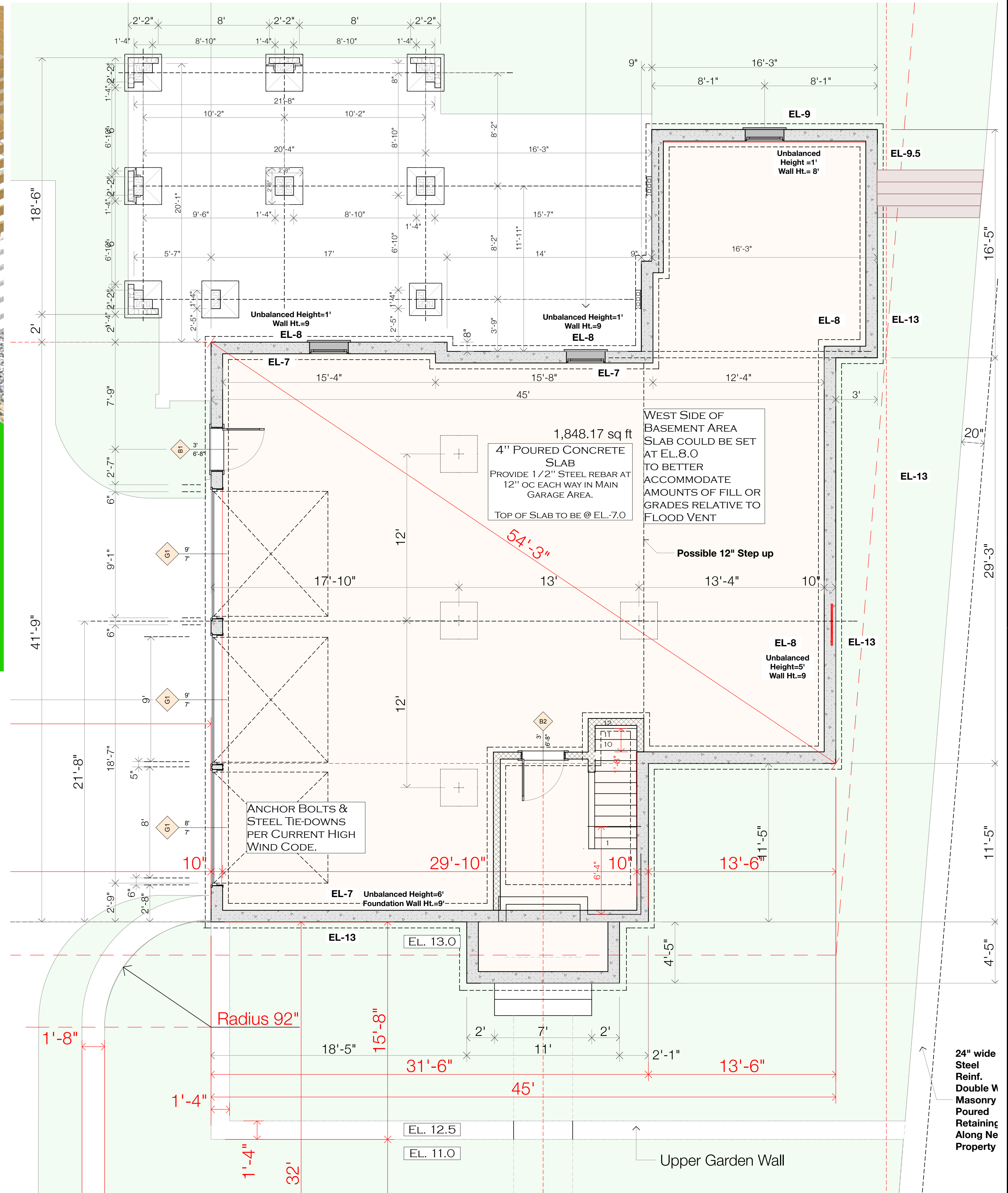
Joseph Matto Architect AIA
Doug & Ali Milne



2 DECK PIERS & VENEER
1/4" = 1'-0"

GENERAL FOUNDATION NOTES:

- Concrete walls and slabs to be 3,000 PSI concrete (28 day compressive strength).
- Provide expansion and control joints as per code.
- All footings to be installed on undisturbed soil, and of suitable bearing capacity.
- All footings to be installed a minimum of 3'6" below finished grade and a minimum of 1'6" below existing grade.
- Do not backfill foundation walls until slab is in place unless a 2" x 4" continuous keyway is used on top of footings.
- Anchor bolts to be 1/2" (unless otherwise specified) and to be spaced 48" o/c and 1' from corners. Embed bolts 7" minimum into foundation wall.
- Steel columns are to exceed a minimum load carrying capacity of 24,000 lbs. @ 11" in height.
- All multiple member LVL or Microlam beams to be thru-bolted with 1/2" diameter bolts, 2 rows @ 24" o/c, or as specified by manufacturer.
- Field verify depth & location of stone veneer shelves or penetrations, etc., with Architect prior to pouring.
- Field verify height of terrace and step foundation walls with Architect prior to pouring.
- Reinforce foundation WALLS as follows if wall heights exceed 8':
2-#4 bars top & Bottom.
1-#4 bar @ 12" o/c vertically, set 2" in from the inside.
1-#4 bar @ 24" o/c horizontally, set to the inside of the vertical bars.
- All building columns to be 4" steel on 36" x 36" x 12" poured concrete footings with 2-#4 rebar each direction, 2" from bottom of pour.
- General Contractor to be responsible to ensure that all materials, methods, and structure are built in strict compliance of all governing municipal coc



1 FOUNDATION PLAN
1/4" = 1'-0"

Issue Date
11/14/16

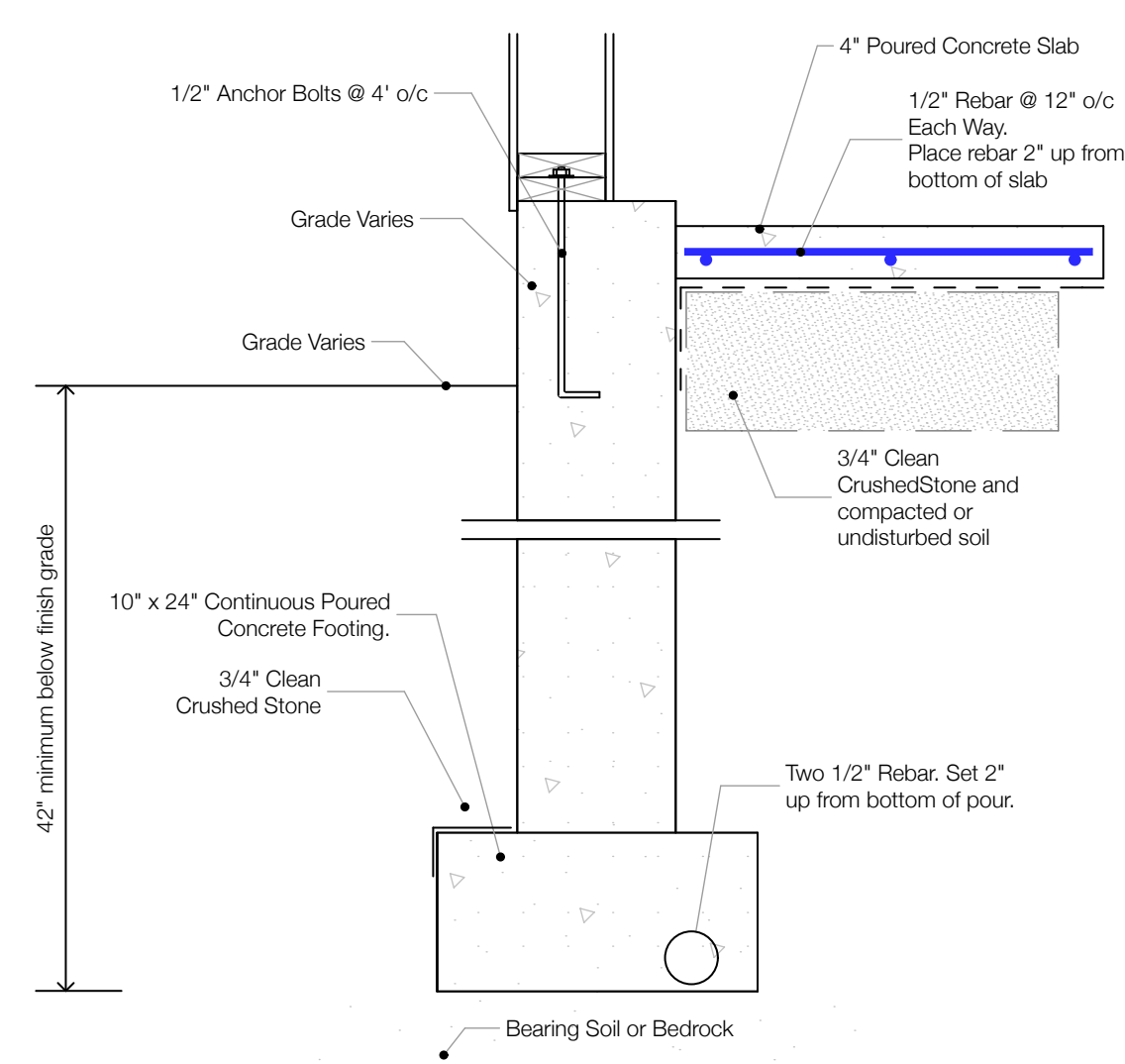
Foundation & Footings Plan

414 Blackhawk Lane
Stratford, CT

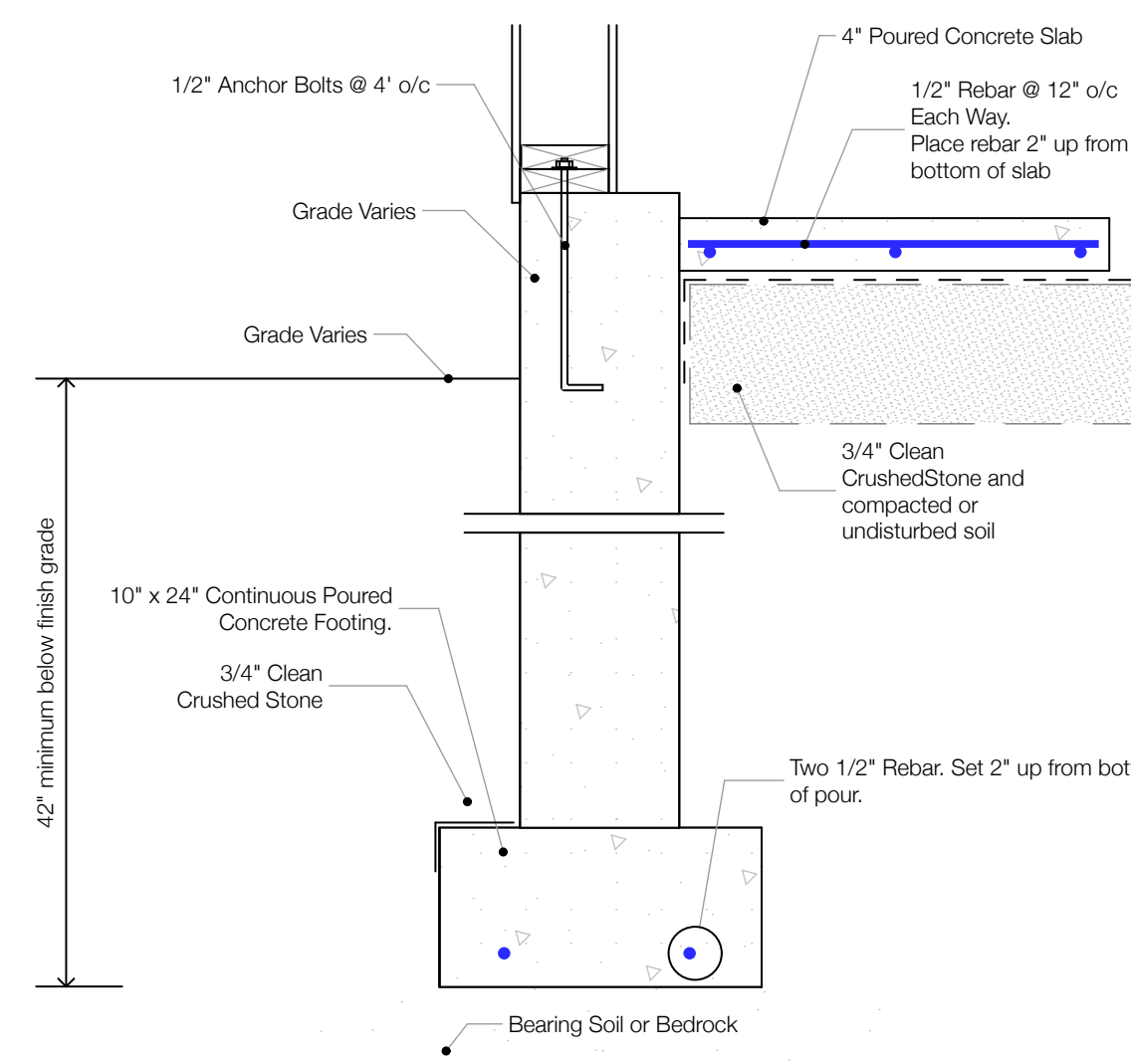
20 Crockett St
Rowayton, CT

Joseph Matto Architect AIA

Doug & All Milne

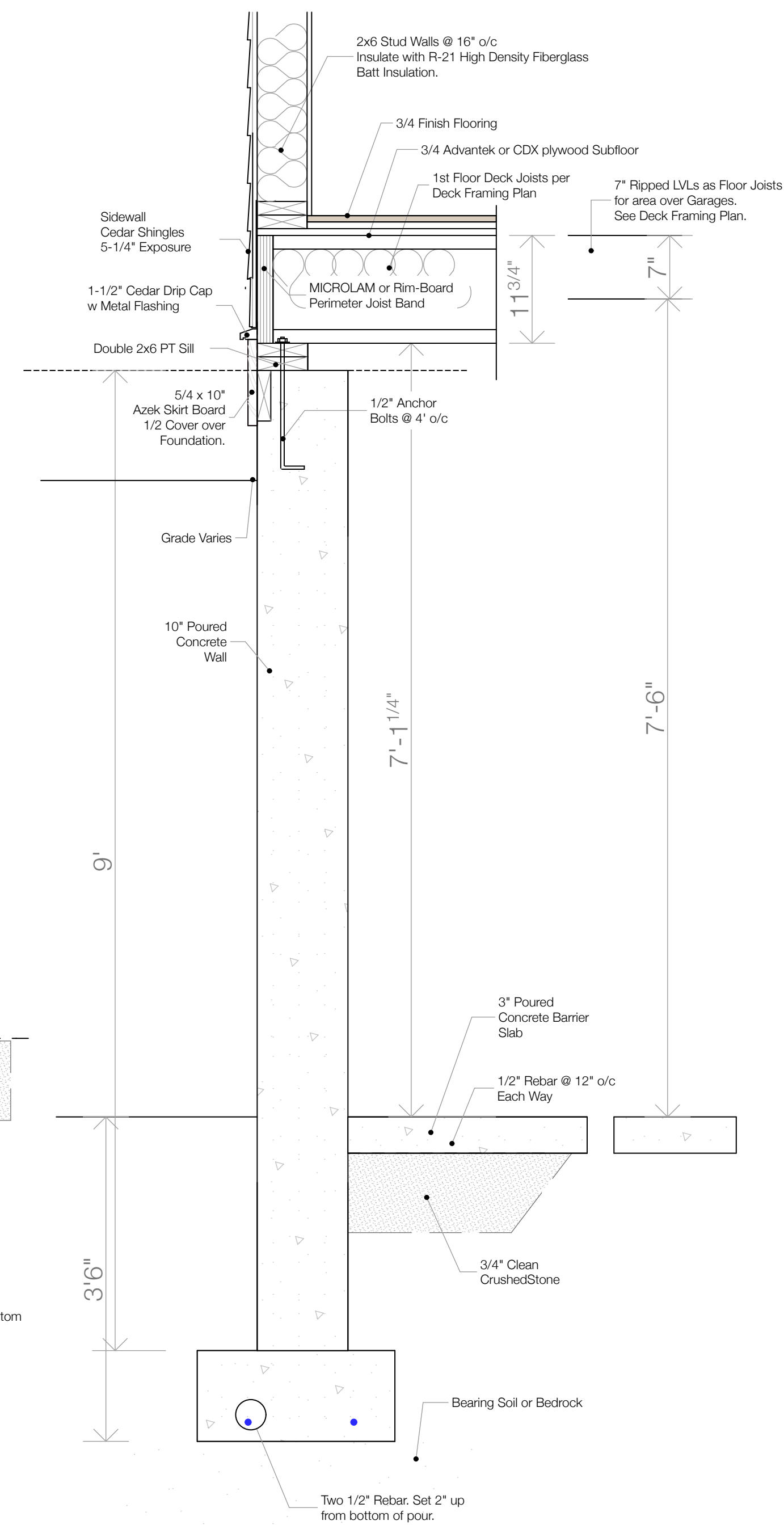


Typical Foundation Wall Section
Garage Walls & Basement Walls

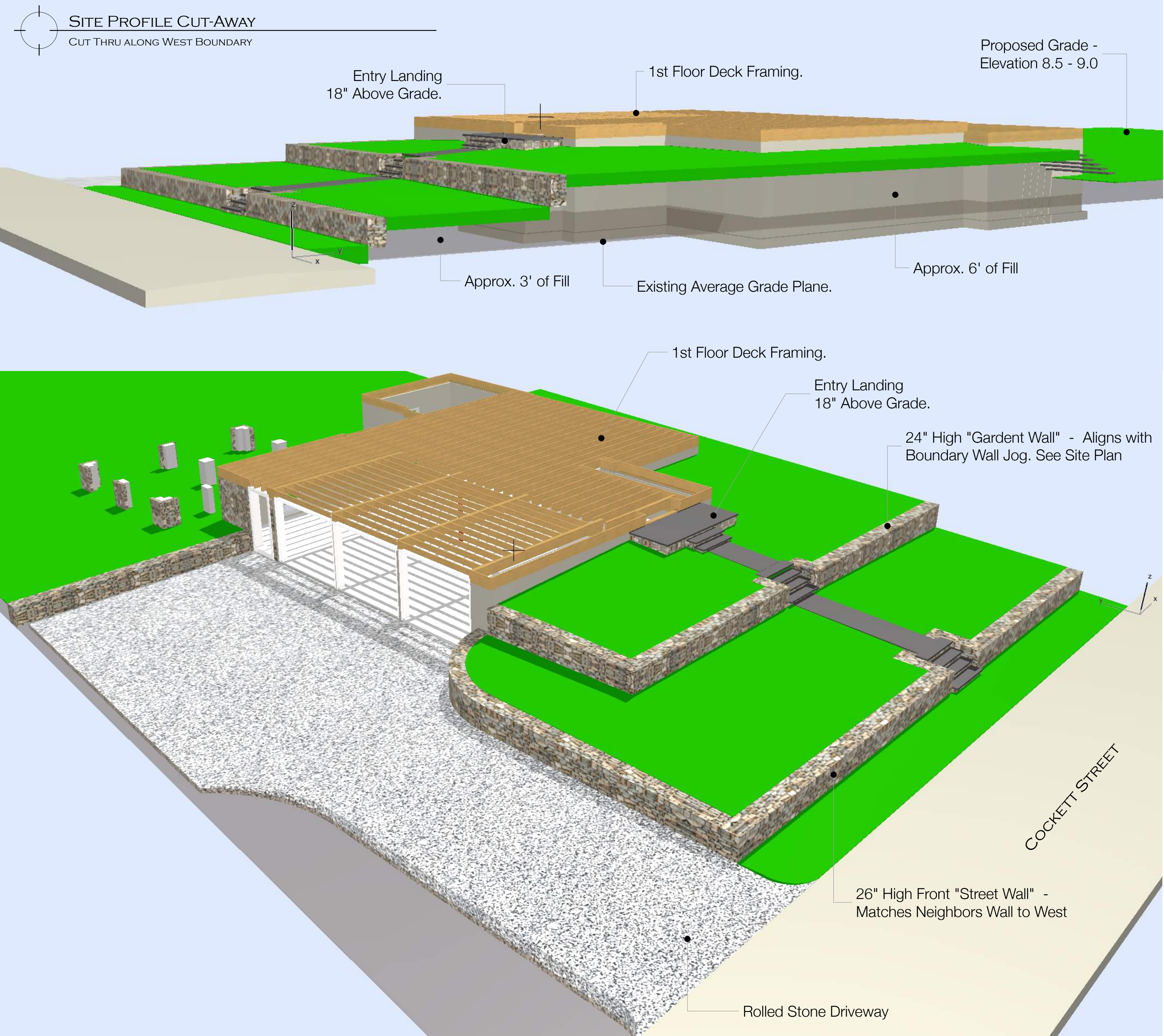


Typical Foundation Wall Section
Garage Walls under Doors

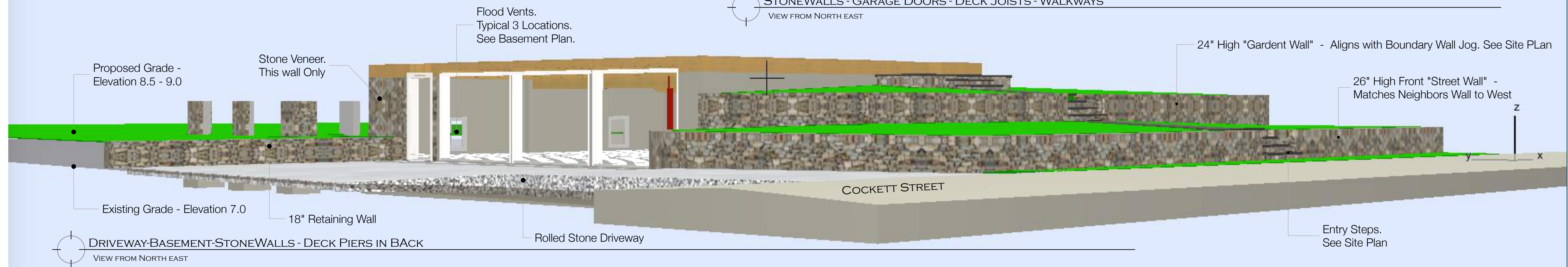
FOUNDATION WALL SECTION DETAILS
1/4" = 1'-0"



Typical Foundation Wall Section
Basement or Unconditioned Spaces



STONEWALLS - GARAGE DOORS - DECK JOISTS - WALKWAYS
VIEW FROM NORTH EAST



DRIVEWAY-BASEMENT-STONEWALLS - DECK PIERS IN BACK
VIEW FROM NORTH EAST

Issue Date
11/14/16

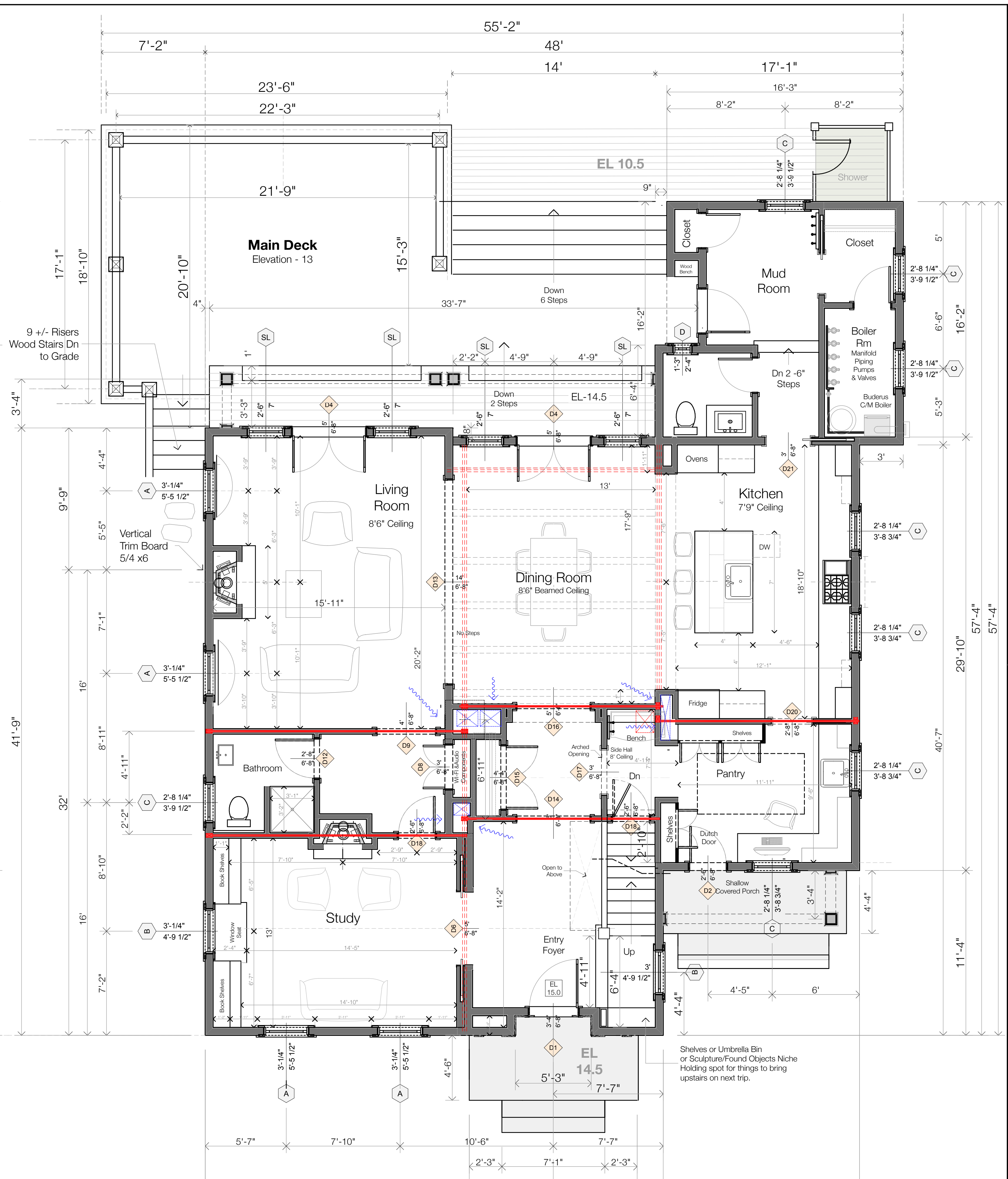
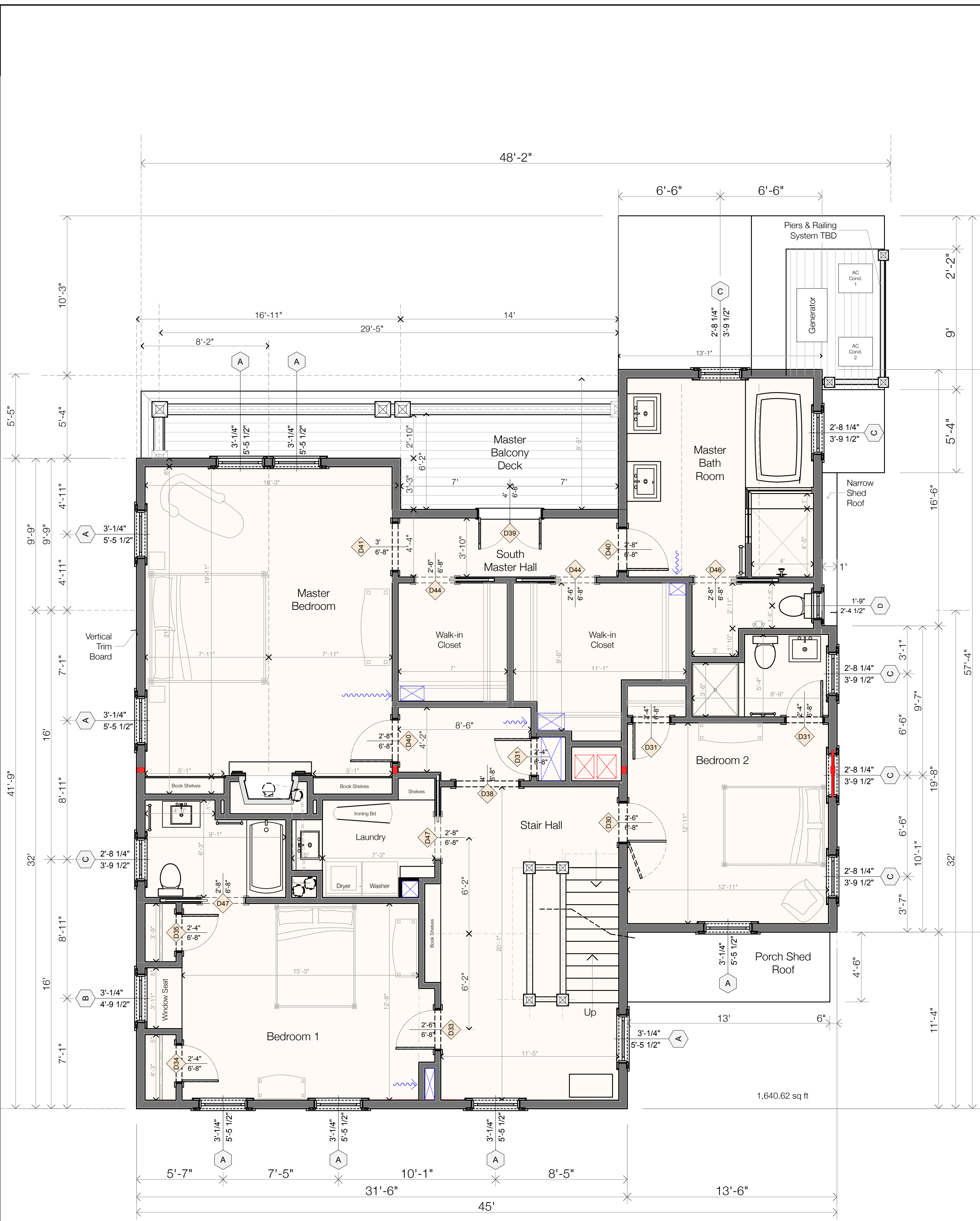
Foundation Details

414 Blackhawk Lane
Stratford, CT
20 Crockett St
Rowayton, CT

Joseph Matto Architect AIA

Doug & Ali Milne

A-07



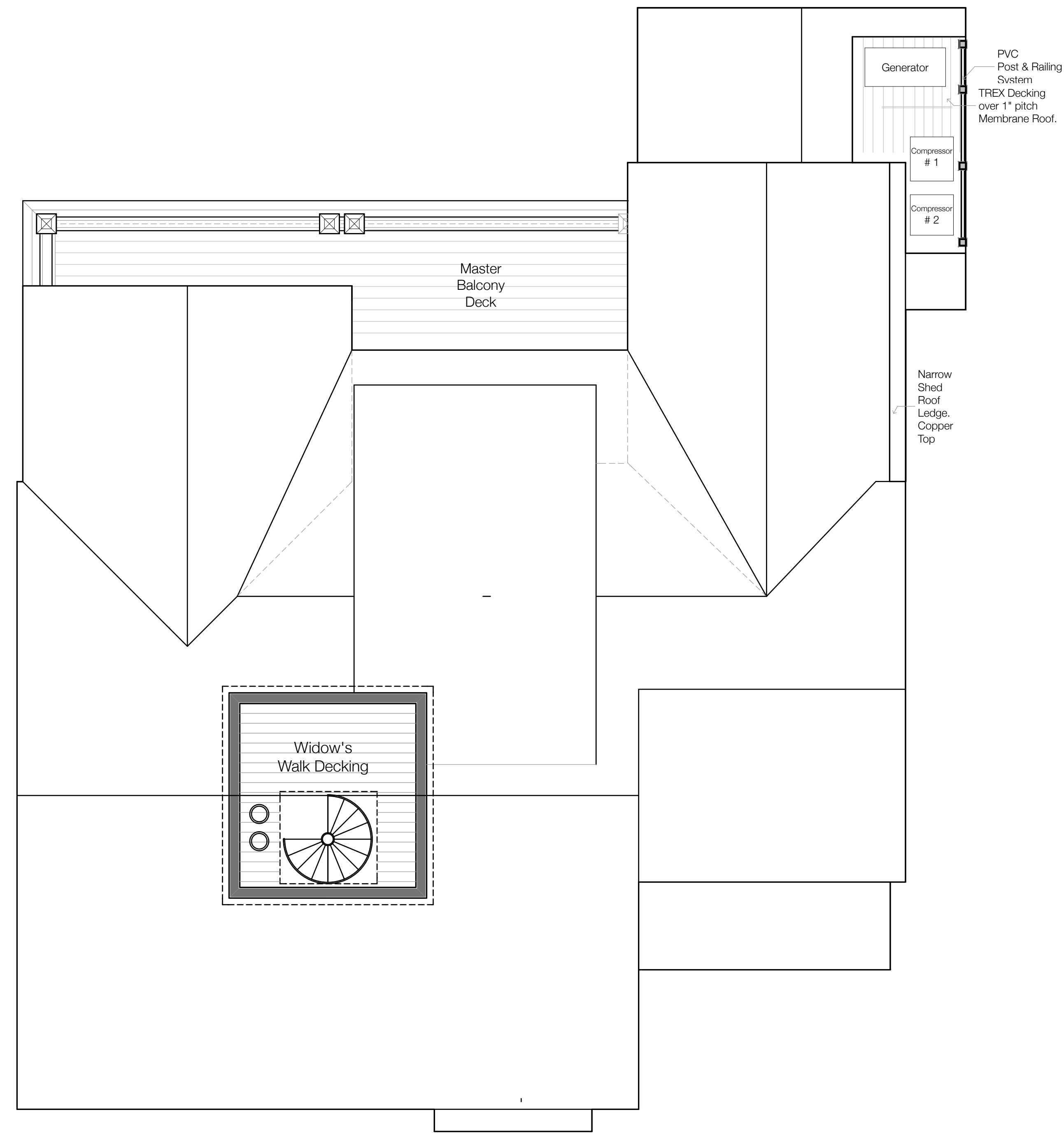
Issue Date
11/14/16

1st & 2nd Floor Plan

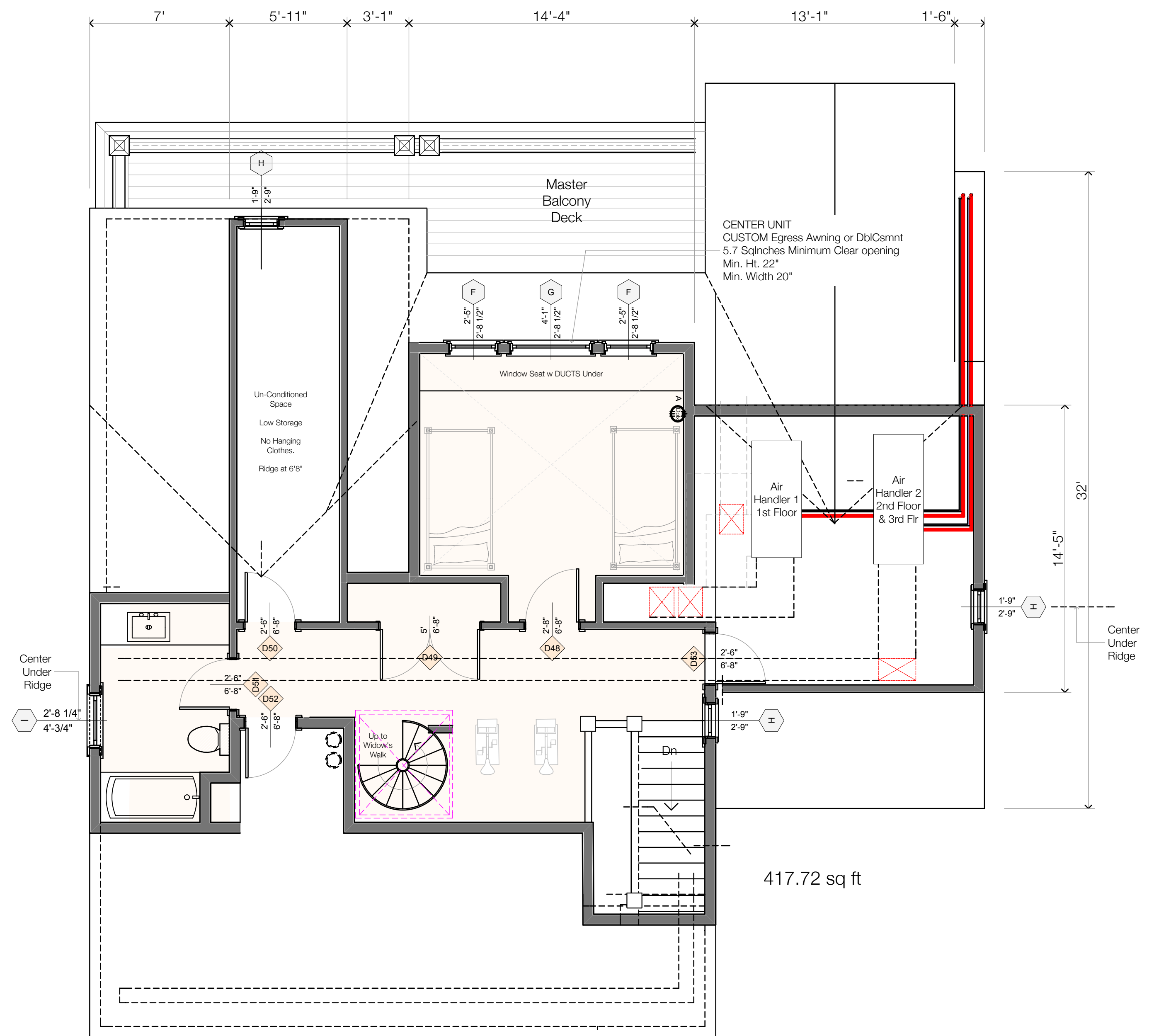
Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT

20 Crockett St
Rowayton, CT

A-08



2 ROOF SURFACES PLAN - SHOWING WIDOW'S WALK
1/4" = 1'-0"



1 3RD FLOOR PLAN - 26% OF 2ND FLOOR
1/4" = 1'-0"

Issue Date
11/14/16

3rd Floor & Roof Plan

Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT

Doug & All Mline
20 Crockett St
Rowayton, CT

2 - 14" LVLs
Both Sides x
6x6 PSL Core
Posts

2x12 (ripped) Top Plate.
Lag Bolt down into PSL Post and Nail
down into top of LVL's

1x8 (r) Azek Soffit

1x34 Azek Soffit
Dadoed into back of
Fascia - 3/8" reveal

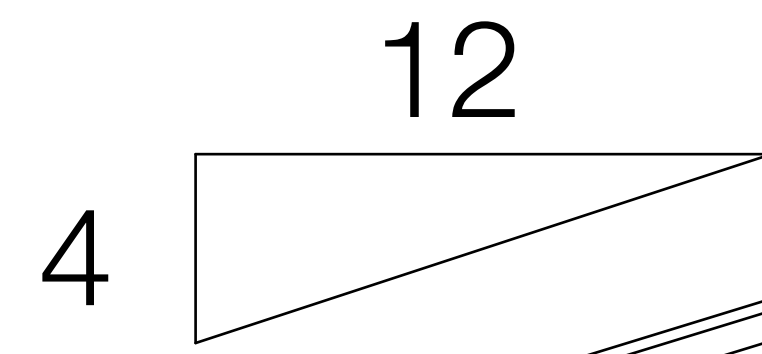
Continuous Soffit Vent

1x6 Azek Soffit

Bed Moulding

1x1 Azek
Fascia

5/4 x N Azek
Column Outer Faces.
Glue Azek edges w
Azek Glue. Seams to
the sides as shown
w Rabbeted Corners.



Bed Moulding
1x3 Bed Moulding Backer
1" Cora-vent

1x4 Azek Lower Fascia

1x1 Band Moulding

1x12 Azek Upper Fascia

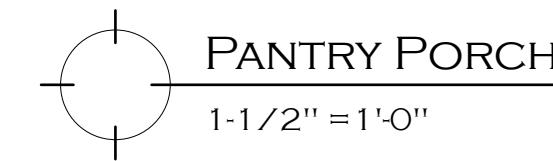
1x10 Azek Base
Moulding with
3/4" x 5/8" Cove
moulding

5/4 x 6
Deckir

2x8

Sta

Cement



2 - 14" LVLs
Both Sides x
6x6 PSL Core
Posts

2x12 (ripped) Top Plate.
Lag Bolt down into PSL Post and Nail
down into top of LVL's

1x8 (r) Azek Soffit

1x34 Azek Soffit
Dadoed into back of
Fascia - 3/8" reveal
Continuous Soffit Vent

1x6 Azek Soffit

Bed Moulding

1x1 Azek
Fascia

9'-3"
PSL Post Length

7'-5"
Column Length

5/4 x N Azek
Column Outer Faces.
Glue Azek edges w
Azek Glue. Seams to
the sides as shown
w Rabbeted Corners.

Extra Wide Deck Board
Around Perimeter of Deck

1x2 Azek Trim
1x4 Azek Trim

1"

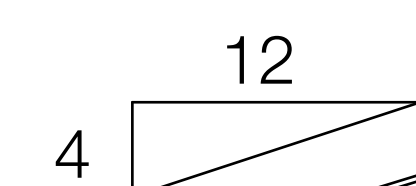
7"

5/4 x 12
Azek Skirt
Board

3"

2x6's @ 16" o.c.
Porch Rafters

5/8" Roof Sheathing



2x6's @ 16" o.c.
Porch Ceiling Joists.

Bed Moulding
1x3 Bed Moulding Backer
1" Cora-vent

1x6 T&G Cedar Board Ceiling
1x3 Bed Moulding sides & against house

1x4 Azek Lower Fascia

1x1 Band Moulding

1x12 Azek Upper Fascia

NOTE: Width of finished Trim Beam
should be exactly the same width as the Column.
Face of Column should be flush with Face of Beam.
This is "Architecturally Correct" anything else is not.
Adjust thickness of vertical blocking between PSL post and
Column Outer trim to achieve this.

Continuous Vertical Blocking

6x6 PSL Core Posts

1x10 Azek Base
Moulding with
3/4" x 5/8" Cove
moulding

Main House
Finish Floor

5/4 x 6 Ipa Decking or Trex Composite Fiberglass
Decking. Use Concealed Fasteners

2x8 Pressure Treated Deck Joists.

2x8 Joist Hangers Coated for contact w PT Wood

Stainless Steel Thru Bolts fasten Rim joists to both side of PSL Post.
Cement "Wash" around plates on top of piers to shed water.

(2) 2x10 Pressure Treated Sill Plates.
Lower Plate Bolted down to Block Piers.

Issue Date
11/14/16

Pantry Porch Details

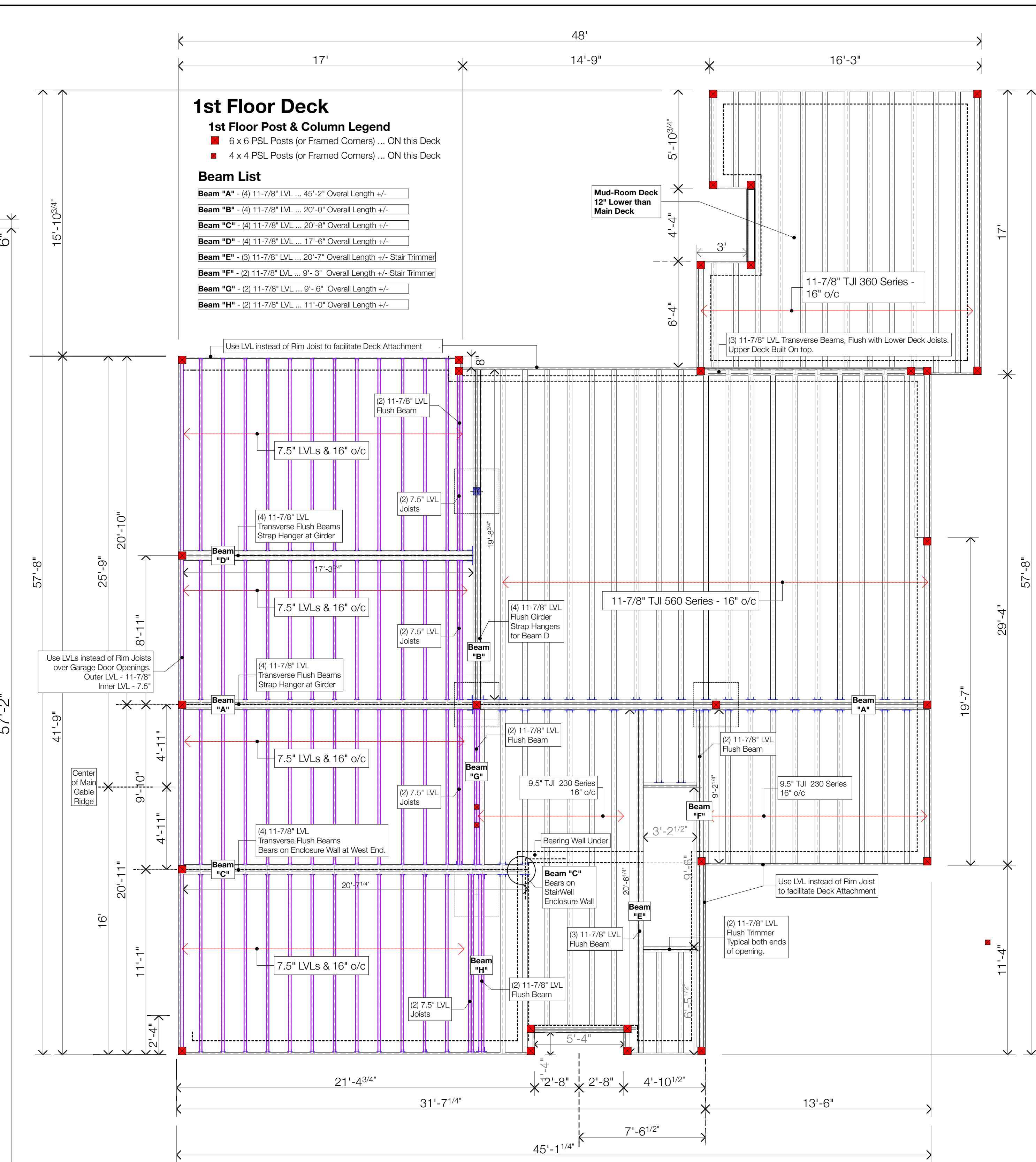
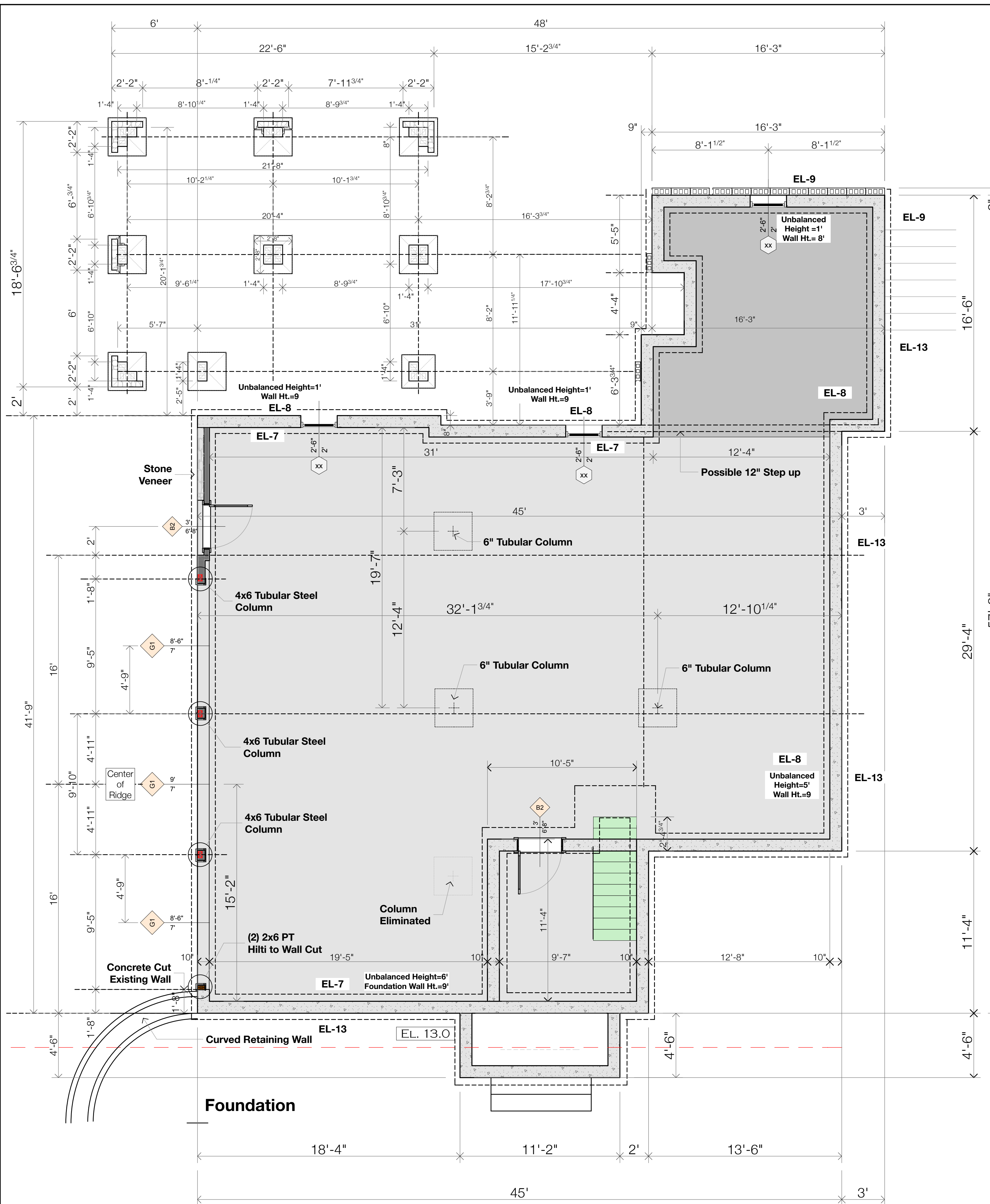
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Stratford, CT

Joseph Matto Architect AIA

20 Crockett St
Rowayton, CT

Doug & All Milne

Super
Structure
SS-01



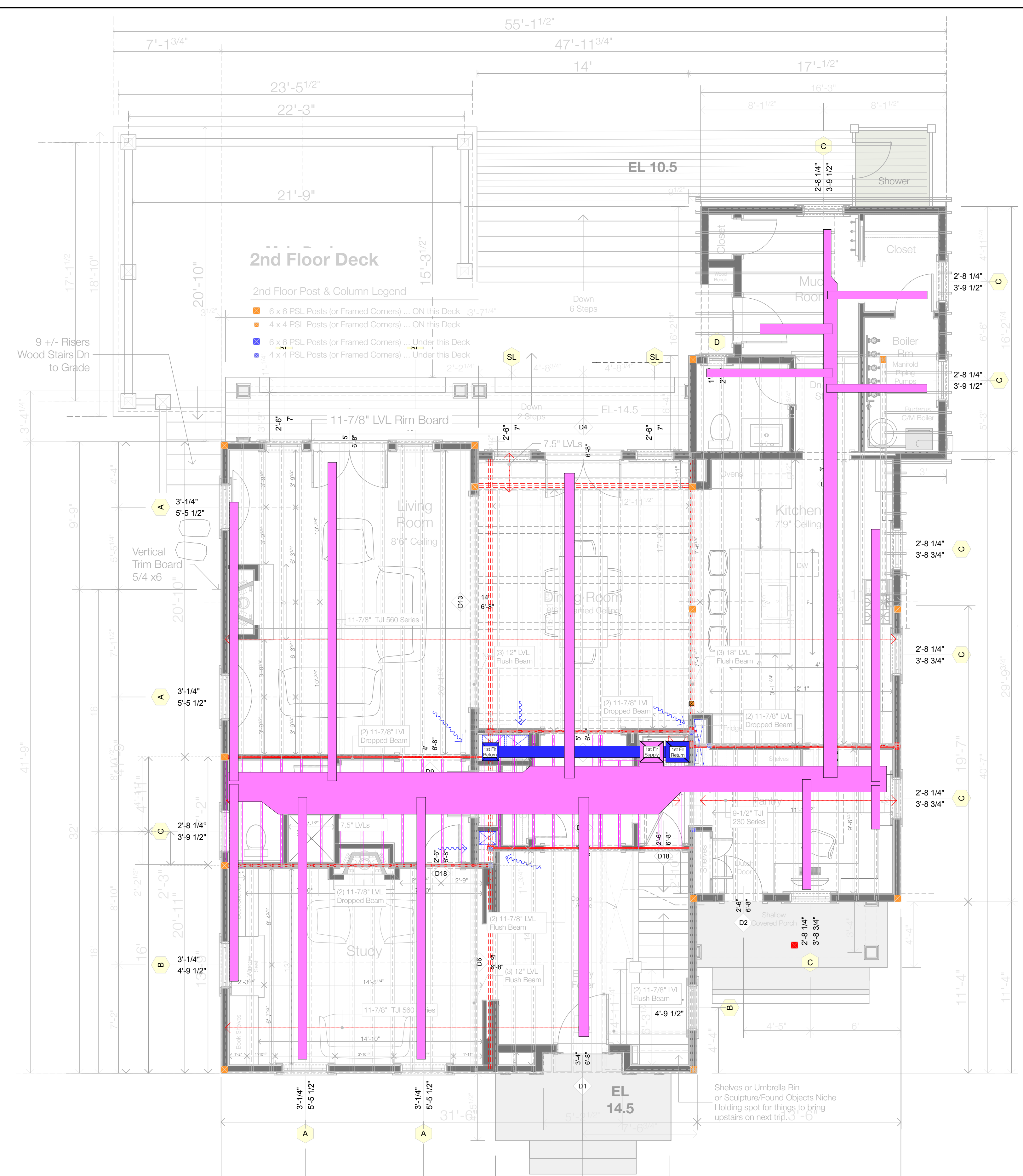
Issue Date
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Foundation & 1st Floor Deck

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Stratford, CT

20 Crockett St
Rowayton, CT

ST-01



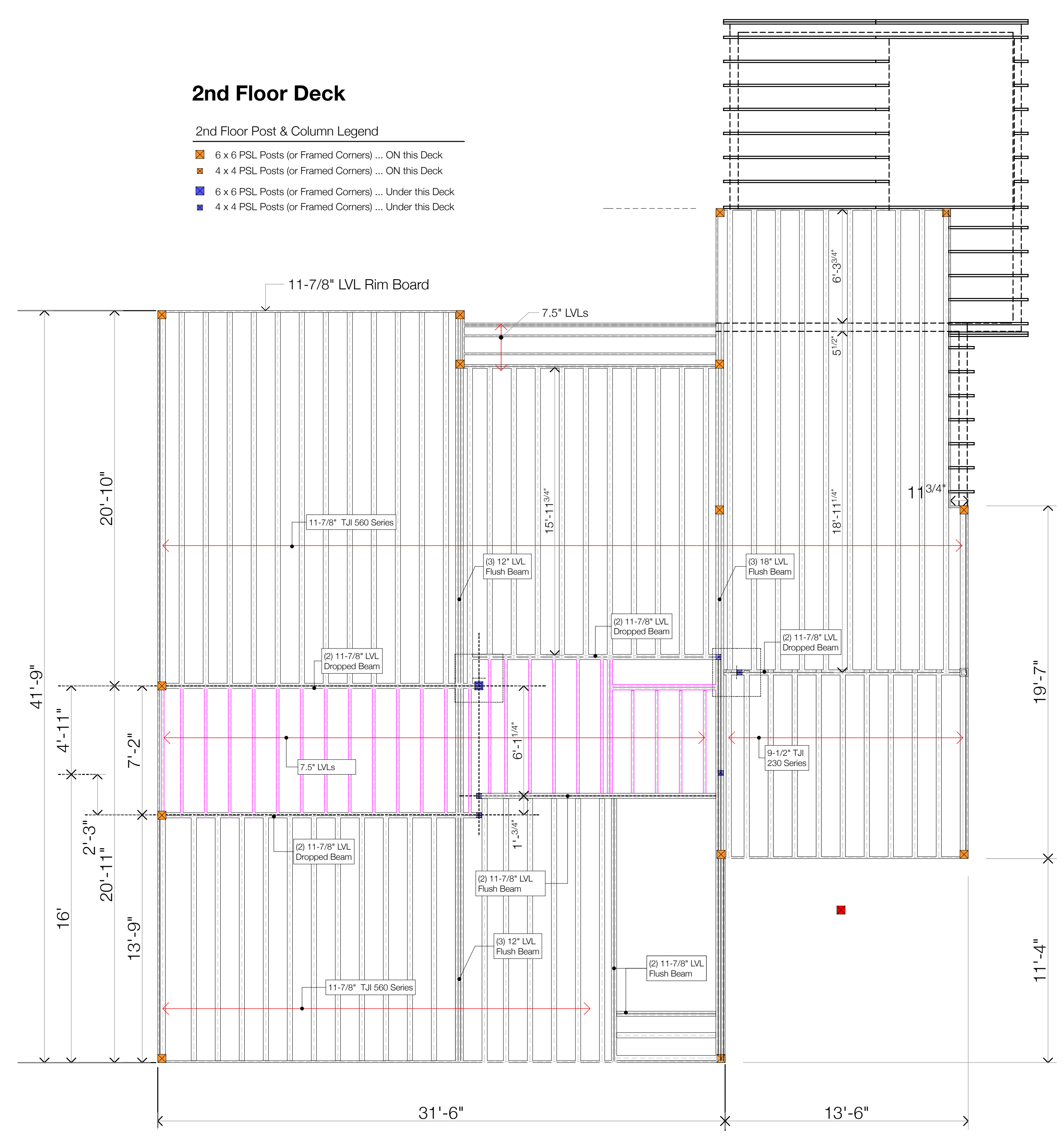
2ND FLOOR DECK FRAMING
1ST FLOOR HVAC DUCTWORK
1ST FLOOR PLAN TRACE UNDERLAY

- 2nd Floor Ceiling Supply (In 3rd Floor Deck)
- 2nd Floor Returns

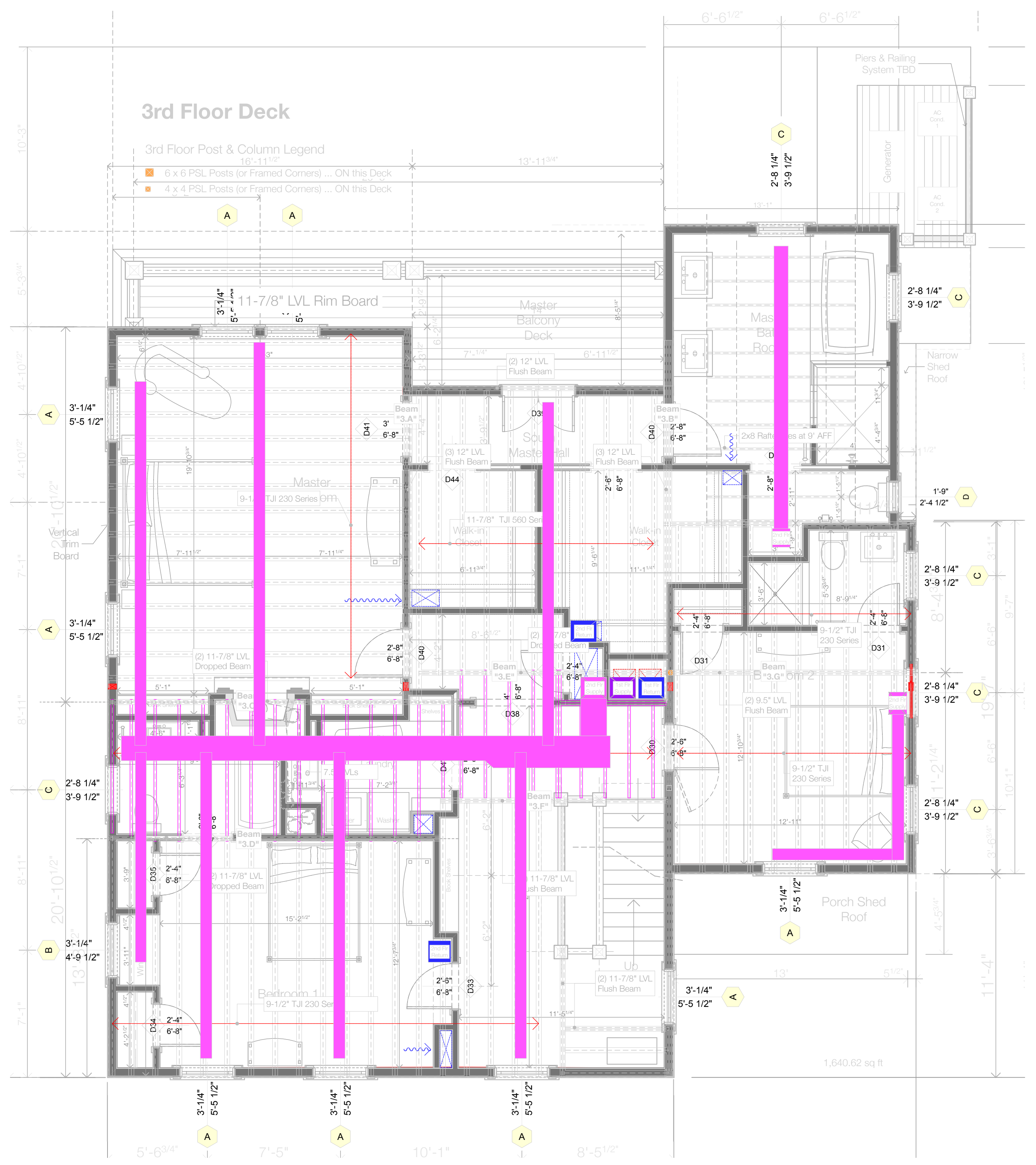
2nd Floor Deck

2nd Floor Post & Column Legend

- 6 x 6 PSL Posts (or Framed Corners) ... ON this Deck
- 4 x 4 PSL Posts (or Framed Corners) ... ON this Deck
- 6 x 6 PSL Posts (or Framed Corners) ... Under this Deck
- 4 x 4 PSL Posts (or Framed Corners) ... Under this Deck

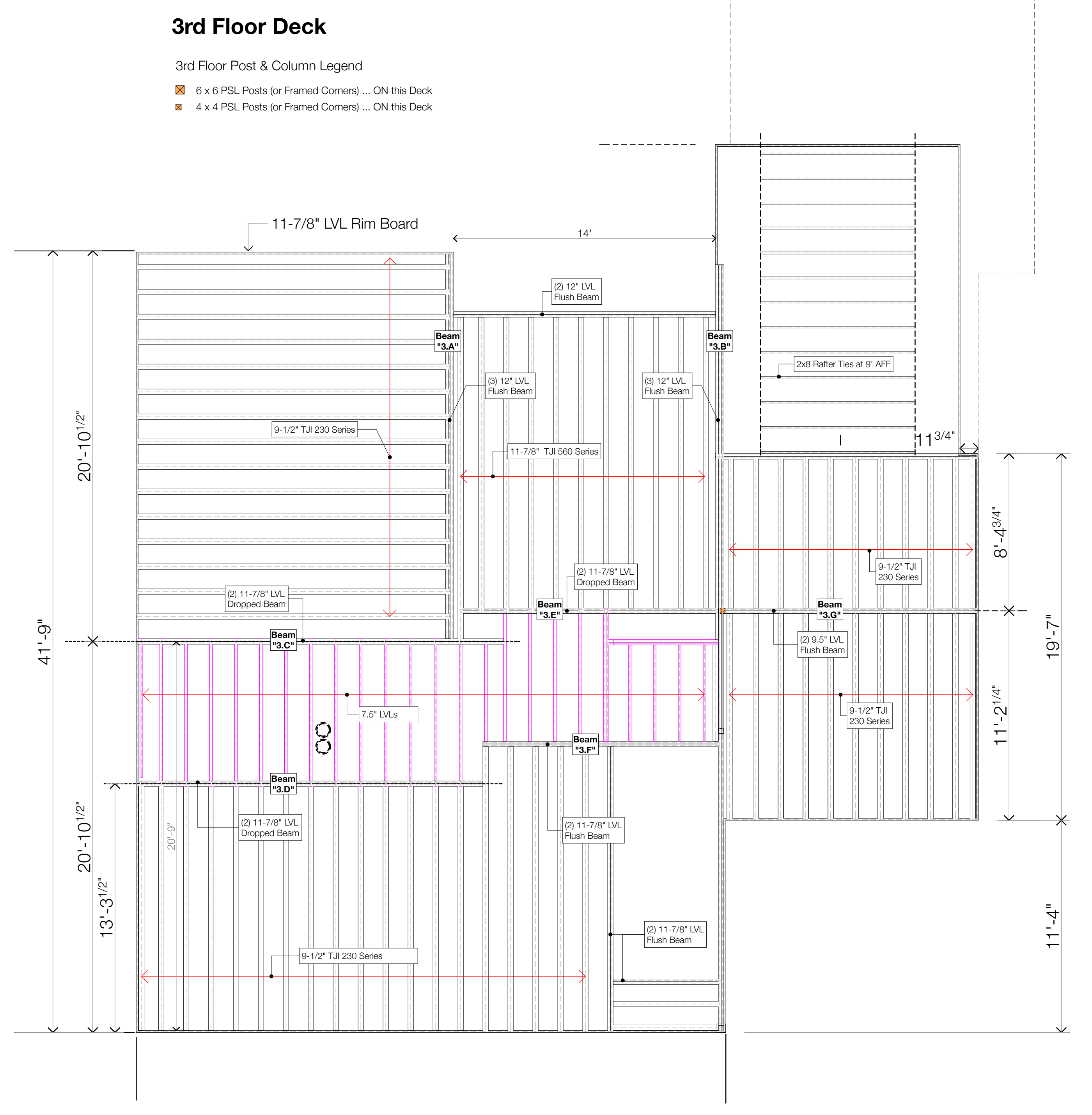


2ND FLOOR DECK FRAMING

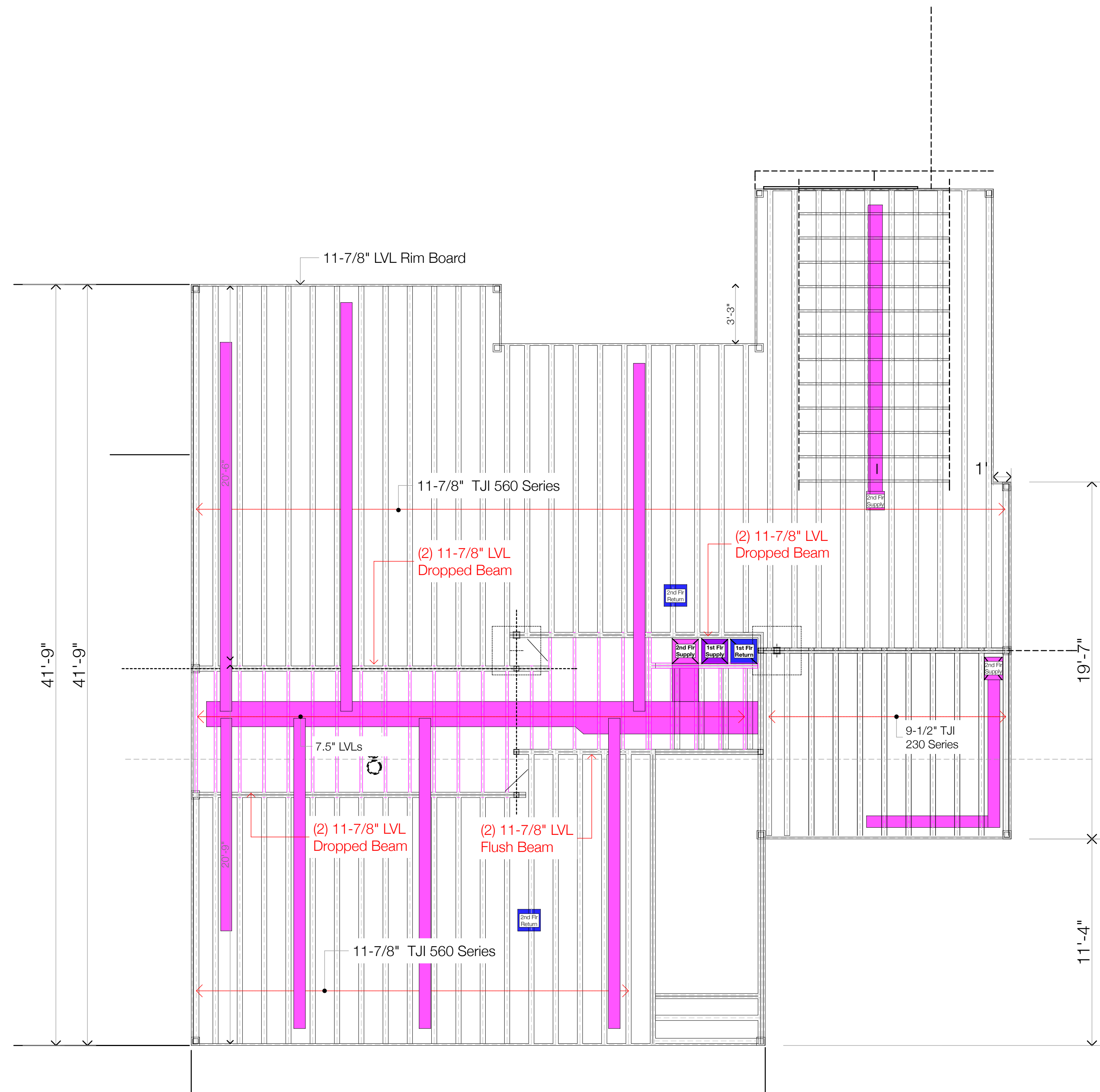


**3RD FLOOR DECK FRAMING
 2ND FLOOR HVAC DUCTWORK
 2ND FLOOR PLAN TRACE UNDERLAY**

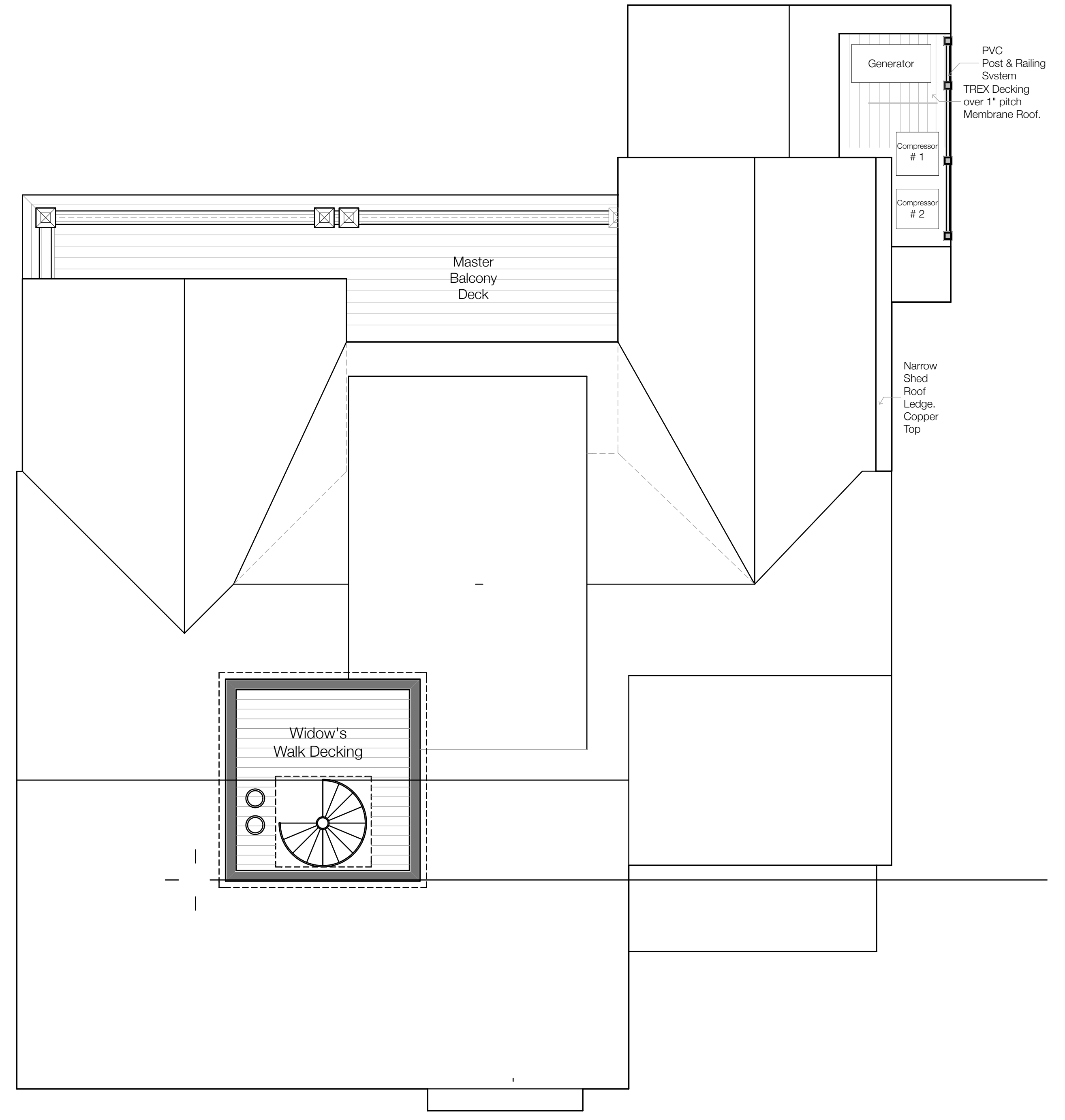
2nd Floor Ceiling Supply
 (in 3rd Floor Deck)
 2nd Floor Returns



3RD FLOOR DECK FRAMING



1 ATTIC FLOOR - DECK FRAMING PLAN
1/4" = 1'-0"



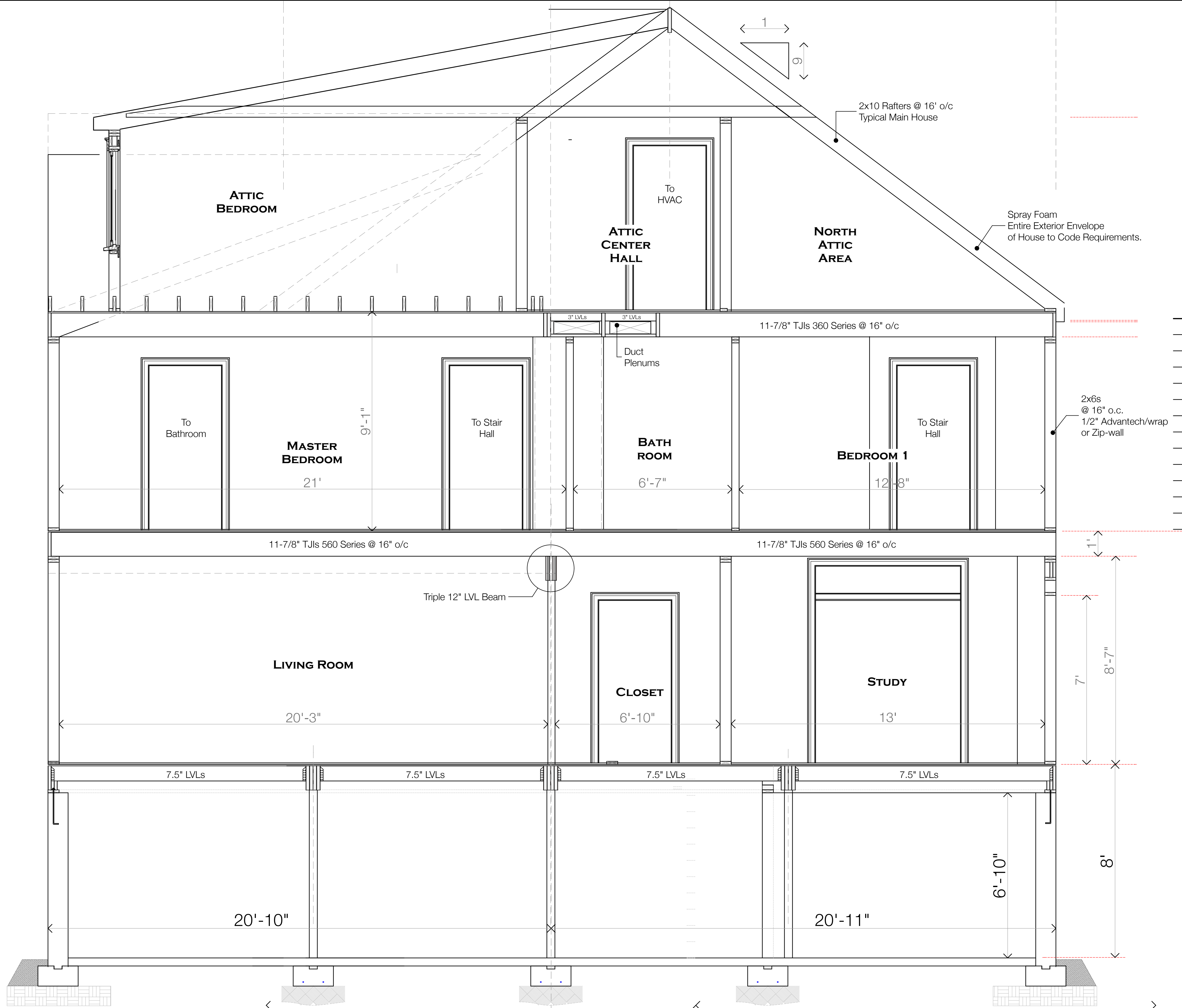
2 ROOF FRAMING PLAN
1/4" = 1'-0"

Issue Date
11/14/16

Attic Floor Deck Framing and Roof Framing

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Doug & Ali Milne
20 Crockett St Rowayton, CT

ST-04



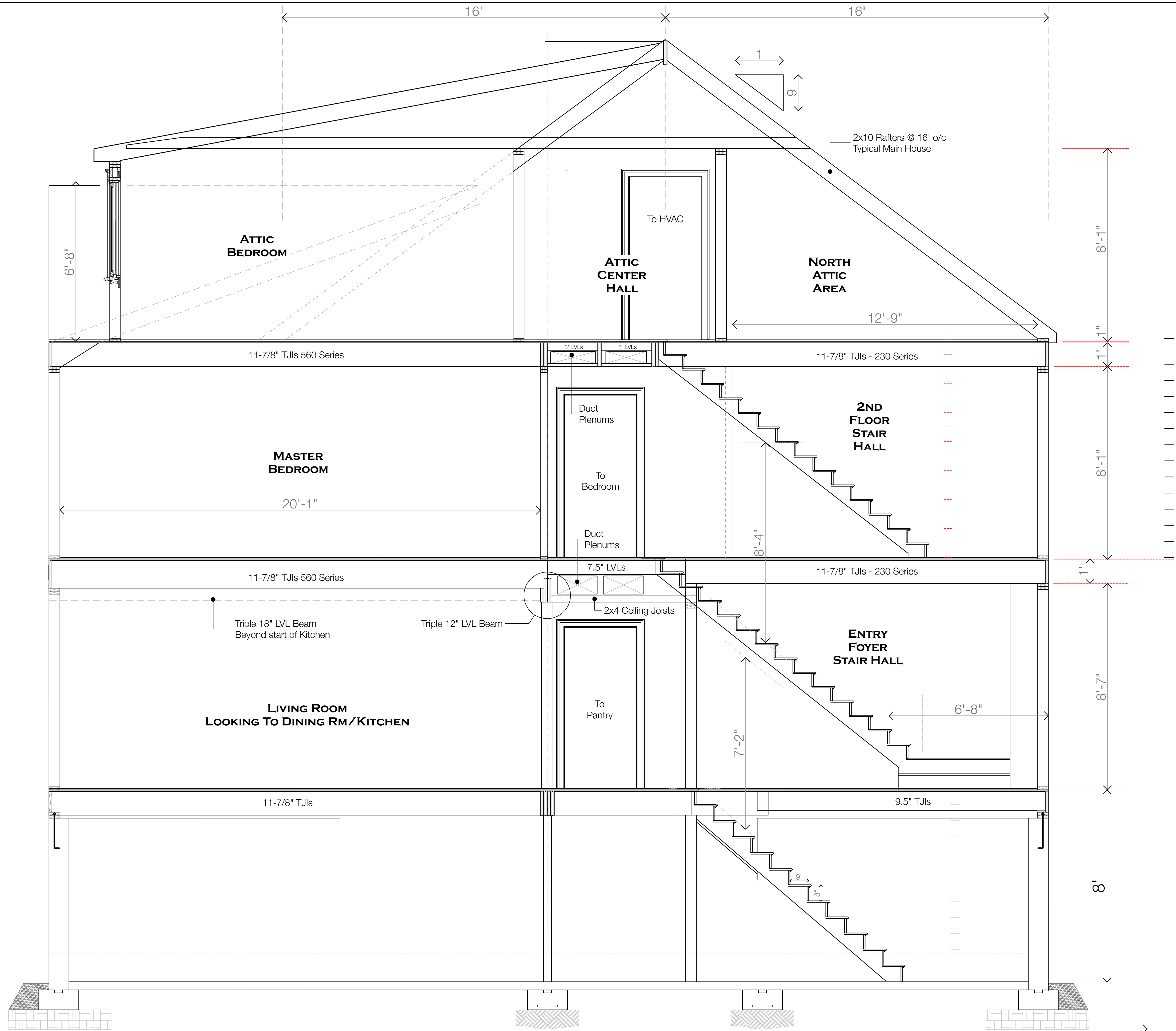
Issue Date
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Building Section Thru Garages

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20 Crockett St
Rowayton, CT
Doug & Ali Milne

1 CROSS SECTION - THRU GARAGE BAYS - LOOKING WEST
3/16" = 1'-0"

ST-05



1 CROSS SECTION - THRU CENTER FOYER -LOOKING WEST
3/16" = 1'-0"

Issue Date
11/14/16

Building Section Center Foyer

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Rowayton, CT
Doug & Ali Milne

ST-06