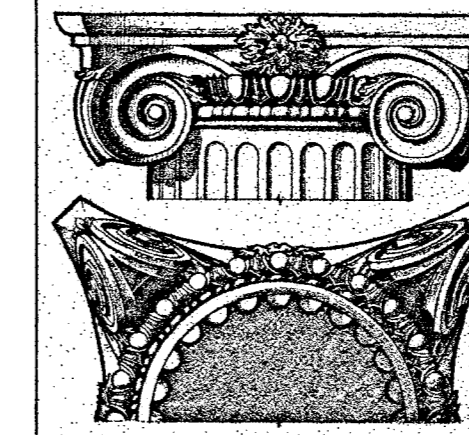


# 36 Reeder Lane

New Canaan - Connecticut



**Joseph Matto Architect**

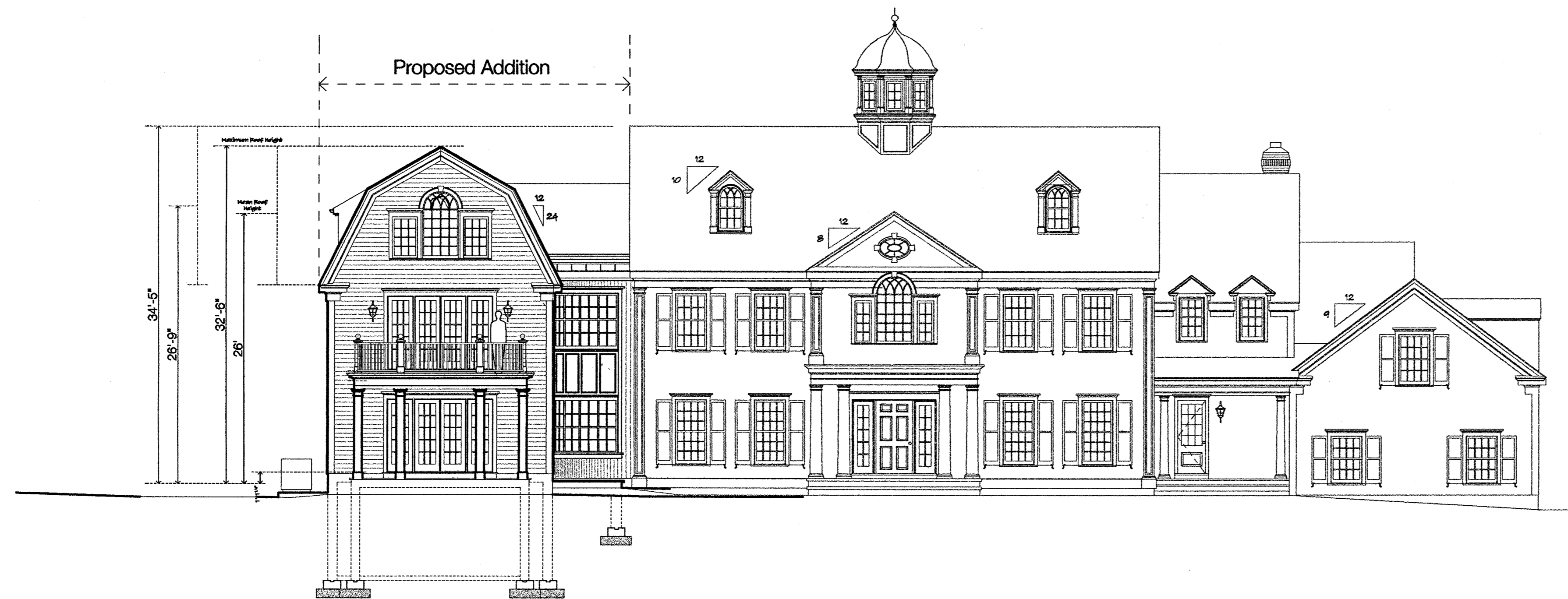
**AIA**

37 Geneva Road,  
Norwalk, CT 06850  
203-866-5777

INDEX OF DRAWINGS

9-2-08

PERMIT SET



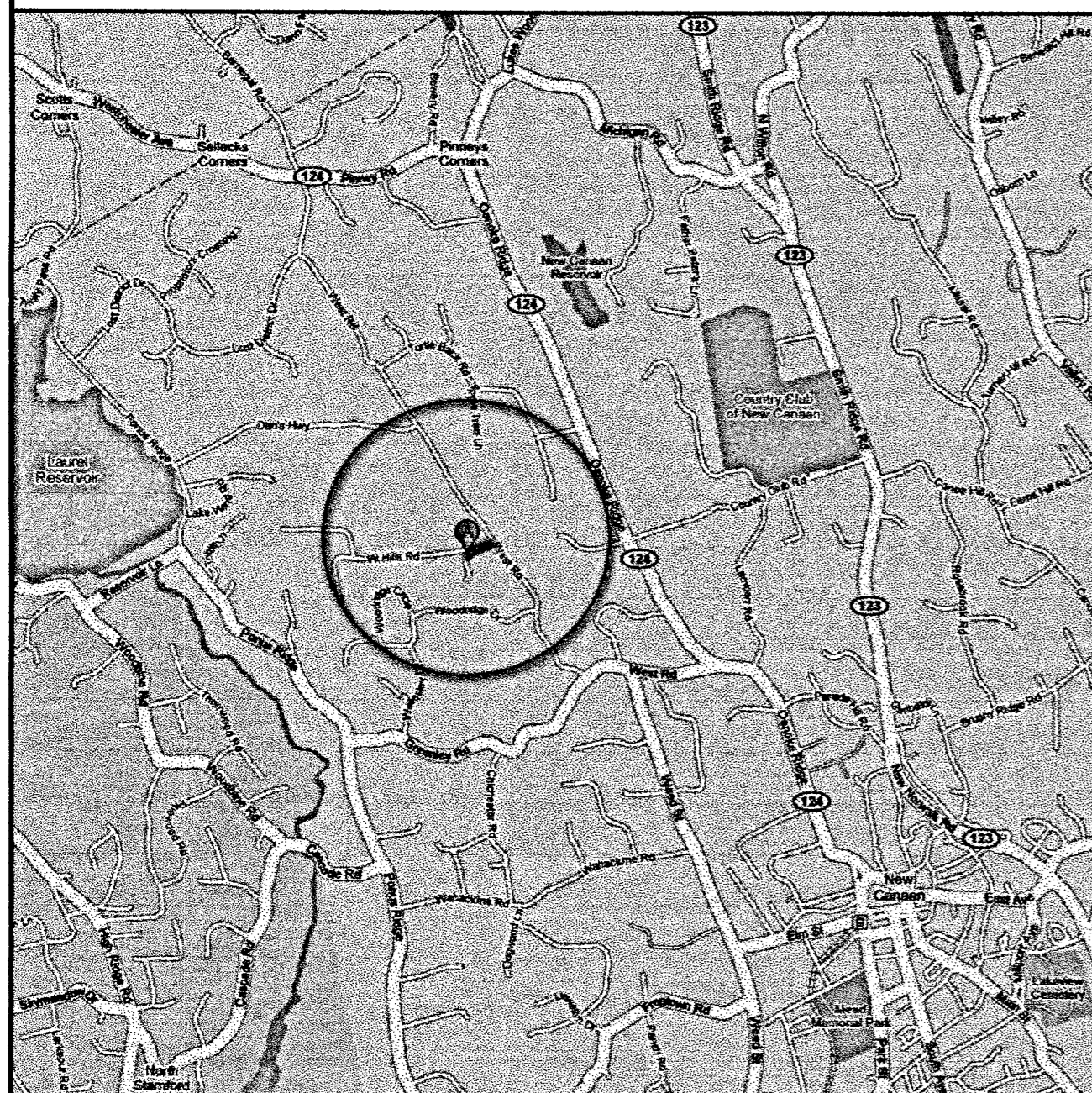
## Additions & Alterations

Master Bedroom, Library, & Study Wing. Master Bathroom & Garden Room. Closet & Hall Remodeling

Drawings to be submitted to Building Department	Additional Drawings for Construction
<b>Architectural Drawings</b> A 01 Title Page A 02 Site Plan w/ Septic Layout A 03 Foundation & Basement Plan A 04 1st Floor Plan A 05 2nd Floor Plan A 06 3rd Floor & Roof Plan A 07 North Elevation & Section A 08 West Elevation & Plan A 09 East Elevation & Plan A 10 South Elevation, Section & Plan A 11 Master Bathroom Section & Plan A 12 Wing Roof Framing A 13 Wing Deck Framing Plan A 14 Garden Rm & MB Deck Framing Plan A 15 West Terrace Sections & Details A 16 North Terrace Sections & Details A 17 North Terrace Roof Deck Plan & Details A 18 Attic Floor Area Calculations  <b>Mechanical Drawings to be Amended To Permit Drawings based on Actual Installed &amp; Completed Work</b> E 01 Basement Electrical & Lighting E 02 1st Floor Electrical & Lighting E 03 2nd Floor Electrical & Lighting E 04 Attic Electrical & Lighting  HVAC 01 Equipment locations & Specs Distribution Schematics	<b>Interior Architecture &amp; Casework</b> ID 01 Interior Door & Hardware Schedule ID 02 Interior Trim & Millwork ID 03 Stairs, Railings, Balusters & Posts ID 04 Fireplace Mantles  ID 05 Hardwood Flooring Layout & Specs ID 06 Tile & Interior Stone Layout ID 07 Carpeted Areas & Specs  ID 08 Interior Finishes Schedule ID 09 Interior Finishes Schedule ID 10 Bathroom Vanity-Tops ID 11 Decorative Hardware Schedule ID 12 Glass Enclosures & Mirrors

Location Map

36 Reeder Lane



Prepared for: Harry DeMott III and Samantha Aldred

**Use Group R-4**

**Construction Type 5A**

**Wind Design - 110 MPH**  
 Building must meet 110 mph Wind Velocity Requirements  
 See Section R301.2.1.1 of the 2003 International Residential Code.

**Code References**  
 Zoning Regulations - Town of New Canaan, Ct  
 2003 - Connecticut Building Code  
 Connecticut Fire Safety Code - 2004 ammendment  
 Wood Frame Construction Manual - 2001  
 1997 International Plumbing Code  
 1996 International Mechanical Code  
 2002 NFPA 70 National Electrical Code

**General Building Design Criteria**  
 Design Loads: Max Deflection L//360  
 1st Floor - 45 PSF Live Load, 15 PSF Dead Load  
 2nd Floor - 35 PSF Live Load, 15 PSF Dead Load  
 3rd Floor - 35 PSF Live Load, 15 PSF Dead Load  
 Roof - 30 PSF Snow Load, 15 PSF Dead Load

Zoning Data - 2 Acre Residential Zone - Rear Lot

Item	Allowed or Required	Existing	Proposed
Lot Area	87,120 sq ft	87,120 sq ft	87,120 sq ft
Lot Coverage of Building	5,342	3,615	4,754
Lot Width	225	Rear Lot	Rear Lot
Front Setback	40	40	126 +/-
Rear Setback	40	40	212 +/-
Furthest Side	40	40	57 +/-
Closest Side	40	40	40 +
Building Height	35/40	26-9"/34-5"	26-9"/34-5"
# of Stories	2-1/2	2-1/2	2-1/2

**MecCheck - Energy Code Compliance**

Energy Code Compliance has been verified using the "Whole House Method".  
 See attached MecCheck Summary forms for analysis.

**Builder**

Bob Haskell  
 Haskell Construction  
 Rowayton, Ct. 06878 203 853-0088

**Interior Design**

William McIntosh Design Inc  
 54 West 21 street, 12th Floor  
 New York NY. 212 807-8030

**Call Before You Dig:**  
 1-800-922-4445

The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate utility company or regulatory agency.

Do not scale drawings. Use given dimensions only.

**Accuracy of Drawings**  
 All dimensions & conditions described in these drawings are believed to be accurate. Any discrepancies between the drawings and actual field conditions must be promptly reported to the Architect prior to continuing construction. Any field changes to the construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible design conflicts.

**Use of Documents**  
 All drawings, data, & electronic media included or referenced in these documents are Instruments of Service and the property of Joseph Matto Architect. These documents are copyright protected and are not to be used for any other project or by any other persons other than those identified and authorized on this page.

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# Sedimentation & Erosion Control Notes

1. Land disturbance shall be kept to a minimum. All disturbed areas shall be seeded with annual rye on a weekly basis, at the end of each work week.
2. All disturbed areas shall be fine graded and seeded with an approved seed mixture. Cover newly seeded areas with mulch hay.
3. All new plantings shall be mulched with 3" depth of cedar chips or cedar mulch. Trees and Shrubs shall be mulched to the limit of the root-ball pit diameter. Groundcover bed areas shall be covered between all new plants.
4. All erosion and sediment control measures shall be constructed in accordance with the Standards & Specifications of the "2002 Connecticut Guidelines for Soil Erosion and Sediment Control".
5. All control measures shall be maintained in effective condition throughout the construction period.
6. Additional control measures shall be installed during the construction period, if required by town authorities.
7. Sediment deposits removed from filter barriers shall be placed in fill areas or spread where there is proposed vegetative cover. Any sediment deposits remaining after the filter barrier is removed shall be fine graded and planted according to Plan.
8. The Contractor shall keep public roadways clean and clear of all mud during construction and shall implement measures as directed by municipal authorities.
9. All proposed Catch Basins shall be equipped with "Silt sack; sediment filters or surrounded with staked hay bales. These shall be maintained during the construction period by checking on a weekly basis and cleaning as needed.
10. The Contractor is assigned the responsibility for implementing this "Sedimentation & Erosion Control Plan". This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the Construction Site of the requirements and objectives of the Plan, notifying the Planning and Zoning Office (and/or Conservation Commission or EPB) of any transfer of this responsibility and conveying a copy of the Erosion & Sediment Control Plan, if the Title to the Land is transferred to a New Owner.

## Silt Fence

### Installation Sequence

1. Dig 6" trench
2. Install Stakes
3. Attach Filter Fabric
4. Backfill Trench

Flow →

Dig Trench & extend Fabric 6" into soil.  
Curt edge uphill.  
Backfill Trench and compact cover.

Fasten Filter Fabric with Nylon Twine.  
Fasten at Top, Center, & Bottom.  
Allow 8" overlap at joints.

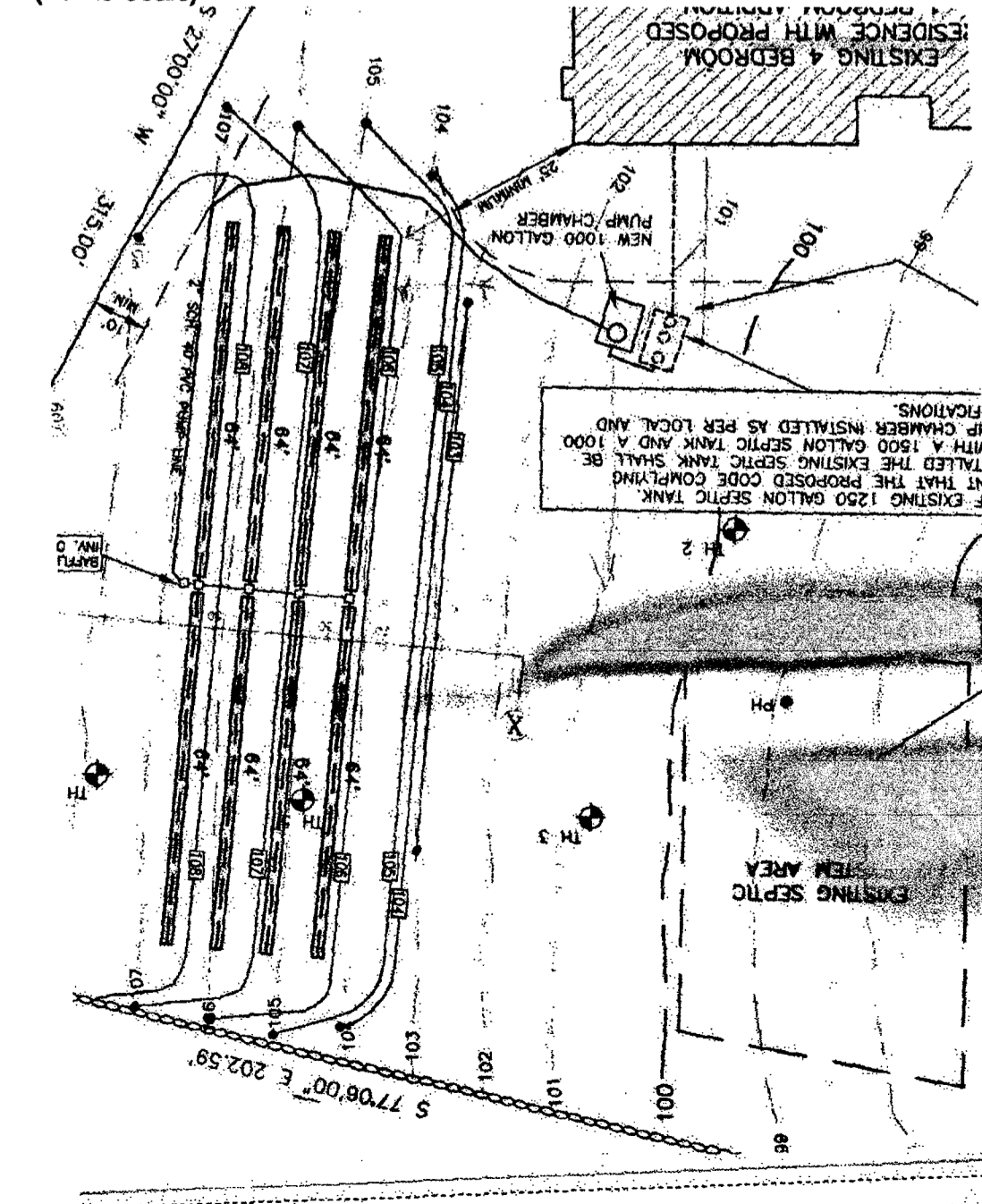
1" x 1" x 48" Hardwood Stake tilted uphill at 10° angle.  
Set Stakes @ 10' o/c min.

36" Minus #100X Filter Fabric or approved equal.

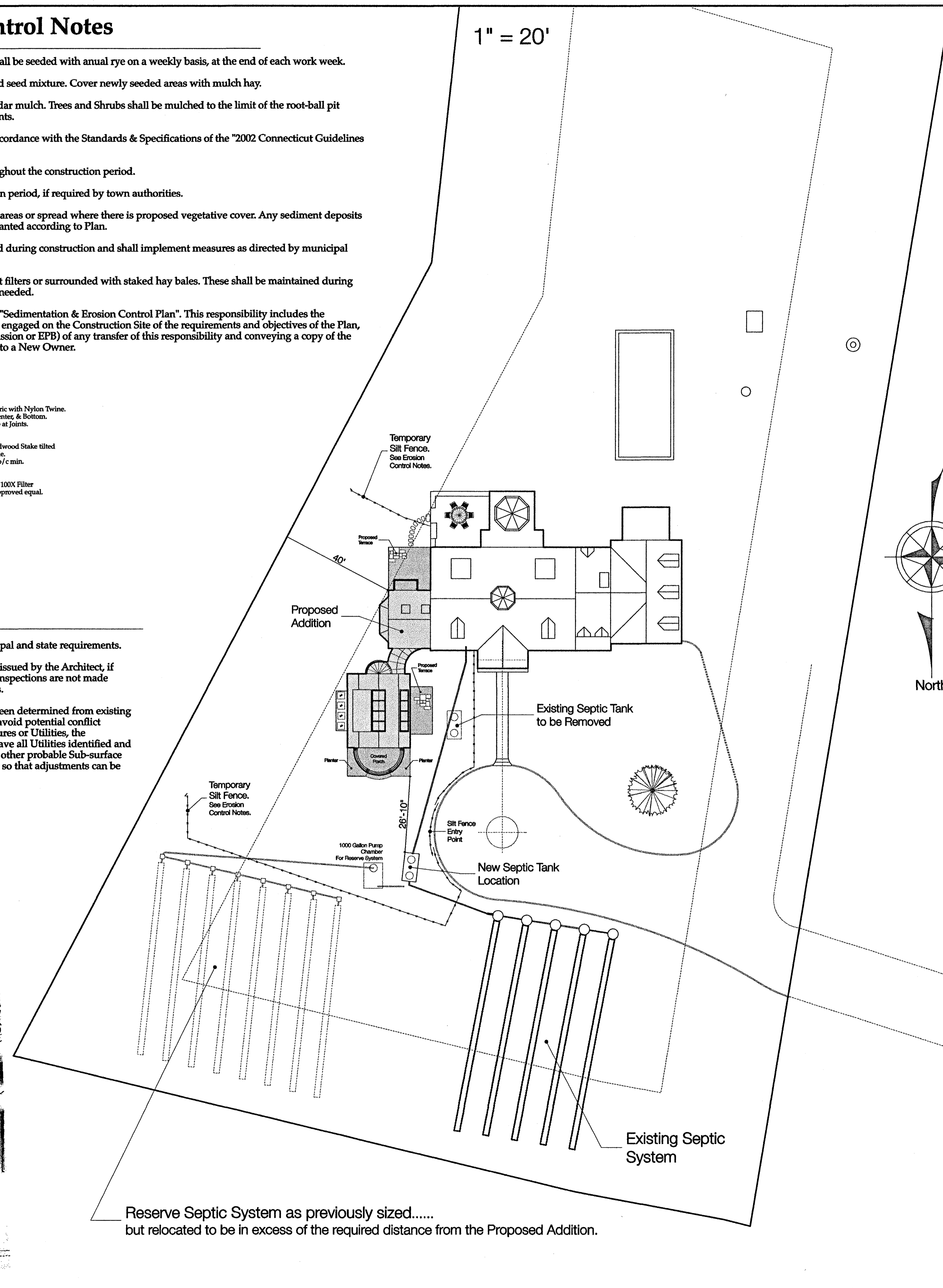
## General Construction Notes

1. All Construction and Structures shall comply with applicable municipal and state requirements.
2. Certificates of Conformance to applicable requirements will NOT be issued by the Architect, if proper notice is not provided by the Contractor for inspections, and if inspections are not made prior to backfilling of any below ground Structures and Appurtenances.
3. Location of Subsurface Structures and Utilities on these Plans have been determined from existing records and are not guaranteed to be complete or accurate. In order to avoid potential conflict between the work proposed by these Plans and any Sub-surface Structures or Utilities, the Contractor shall notify CALL BEFORE YOU DIG (1-800-922-4455) to have all Utilities identified and marked, and shall excavate test holes as required to identify and locate other probable Sub-surface Structures. Any conflicts shall be reported immediately to the Architect so that adjustments can be made to the Plans.

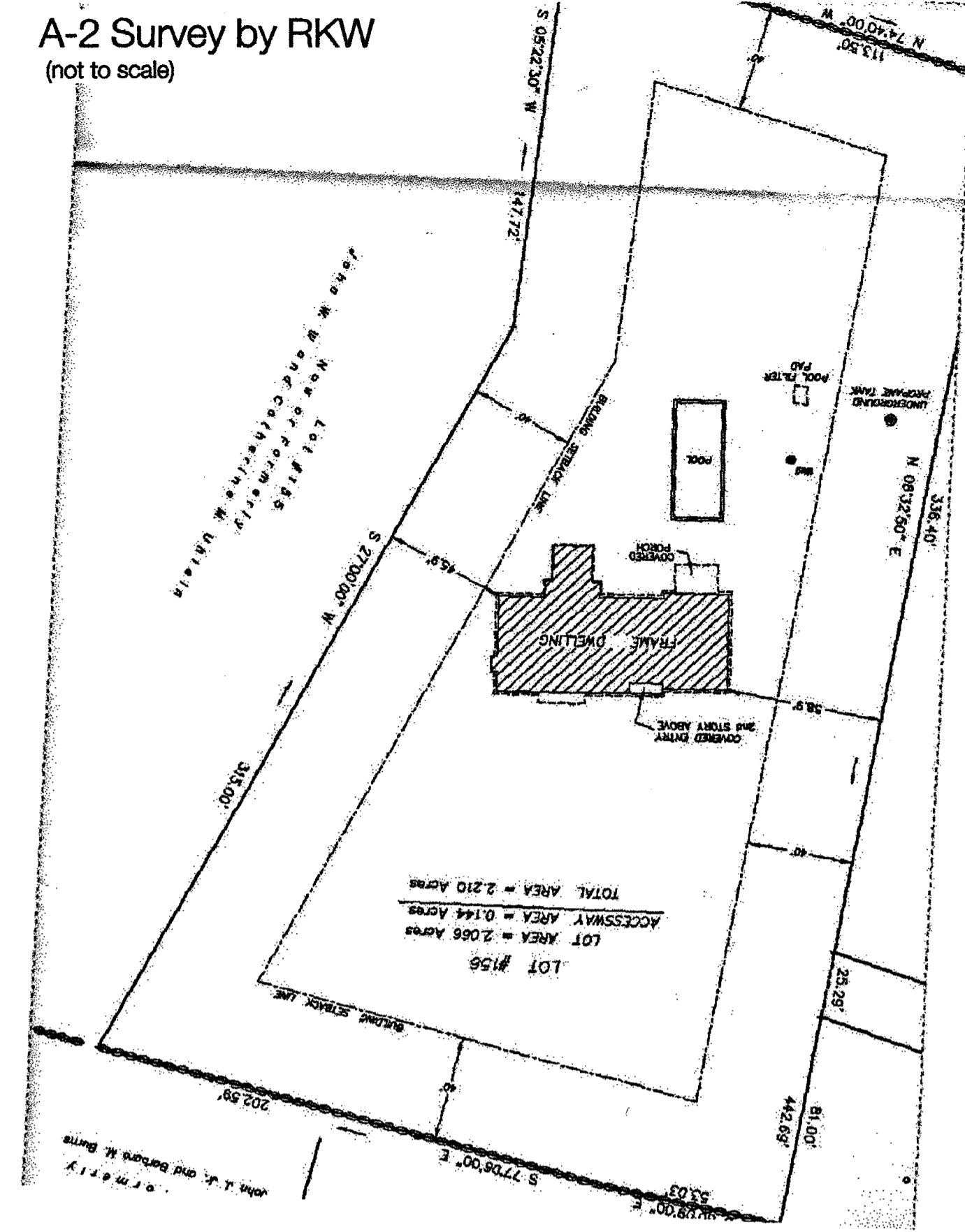
## Previously Designed Reserve Septic System (not to scale)



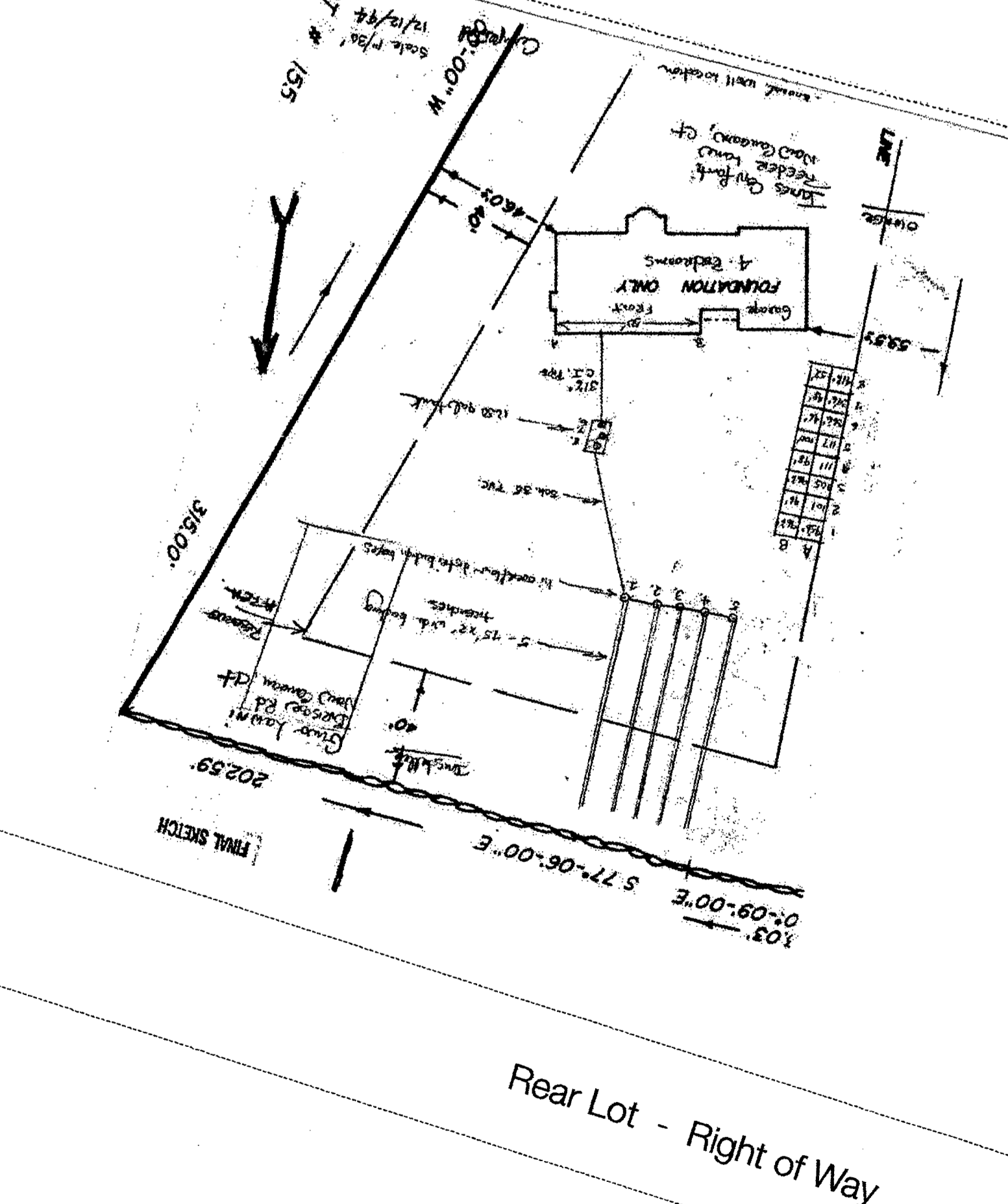
1" = 20'



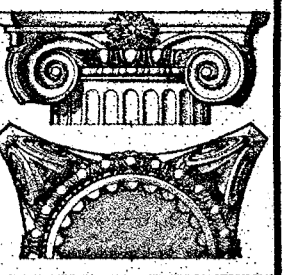
## A-2 Survey by RKW (not to scale)



## Plan of Existing Septic System (not to scale)



Reserve Septic System as previously sized.....  
but relocated to be in excess of the required distance from the Proposed Addition.



Issue Date

9/2/08

Revisions

Site Plan

Scale (s)

As Shown

36 Reeder Lane  
New Canaan,  
CT

Joseph Matto Architect AIA  
Harry Devott III & Samantha Aldred

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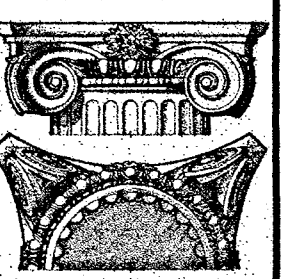












Issue Date

9/2/08

Revisions

North Elevation & Section

Scale (s)

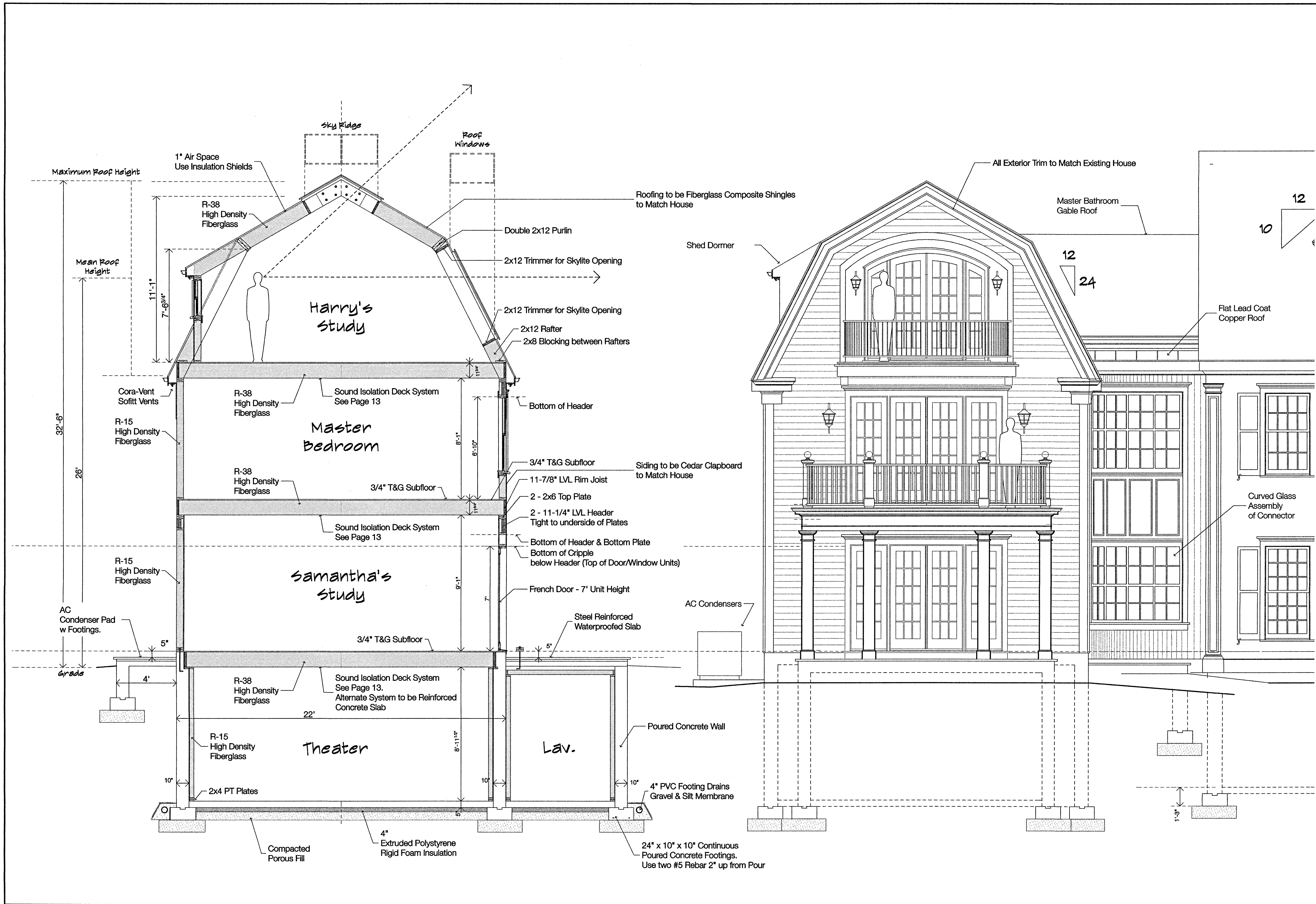
3/8" = 1'-0"

Joseph Matto Architect AIA  
36 Reeder Lane  
New Canaan, Ct.

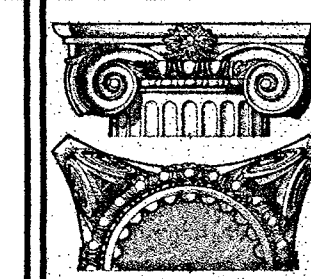
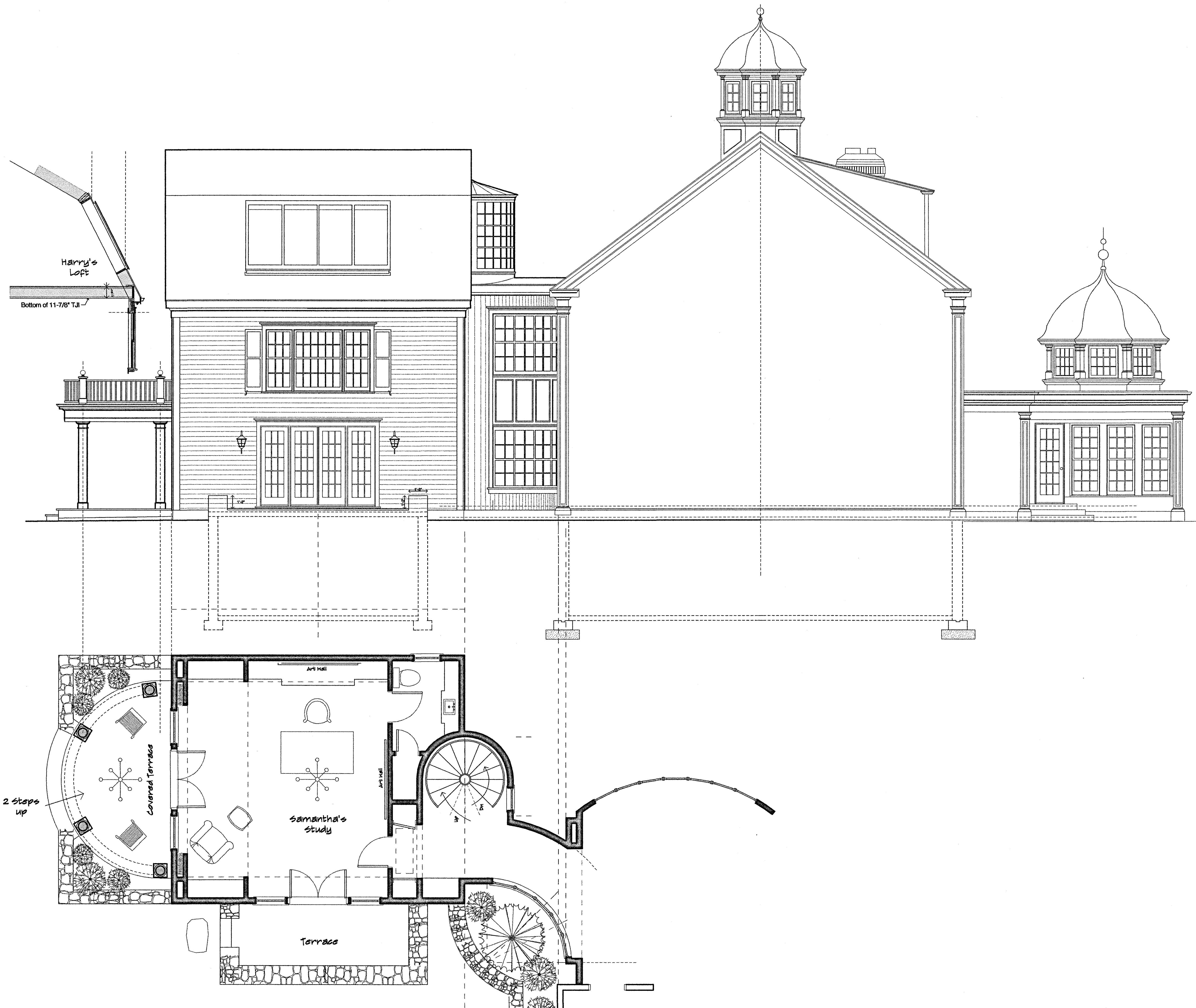
Harry DeVett III & Samantha Aldred

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Issue Date

9/2/08

Revisions

West Elevation & Plan

Scale(s)

1/4" = 1'-0"

37 Central Road  
Newtown, CT  
203.866.5777

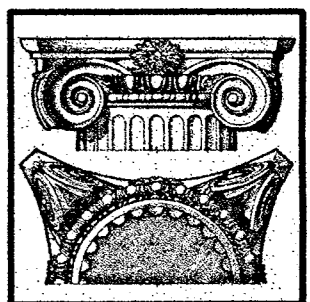
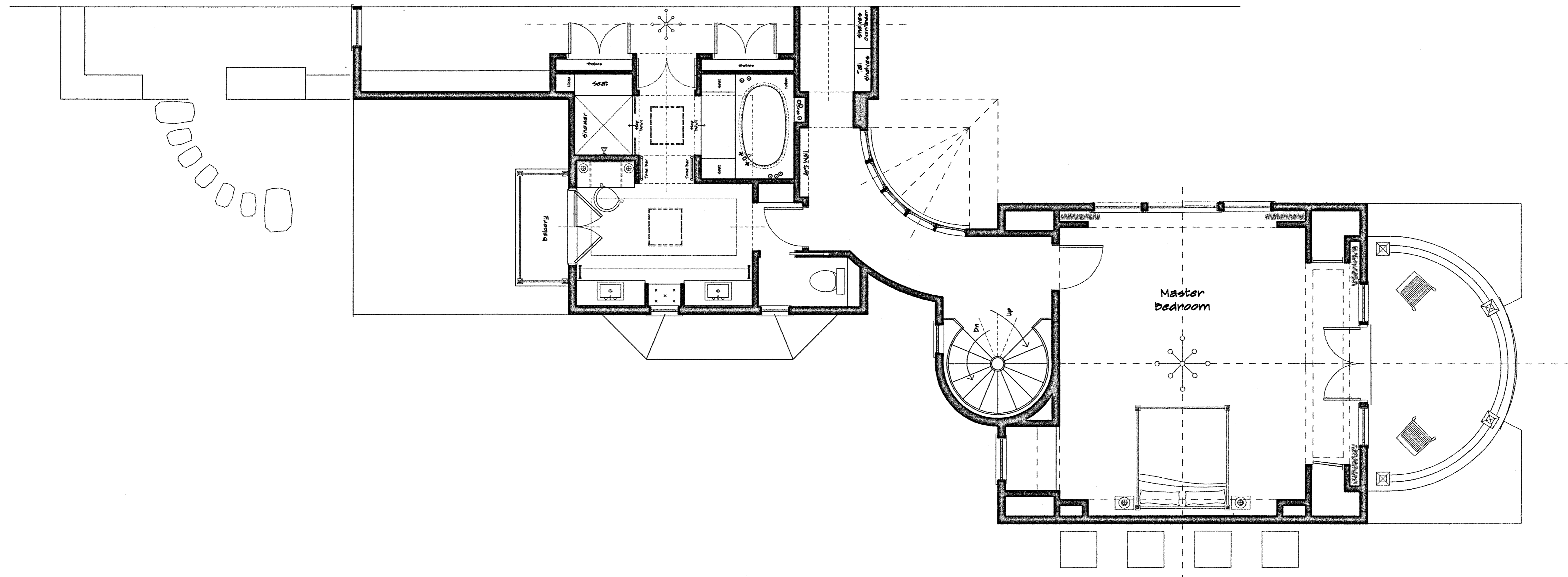
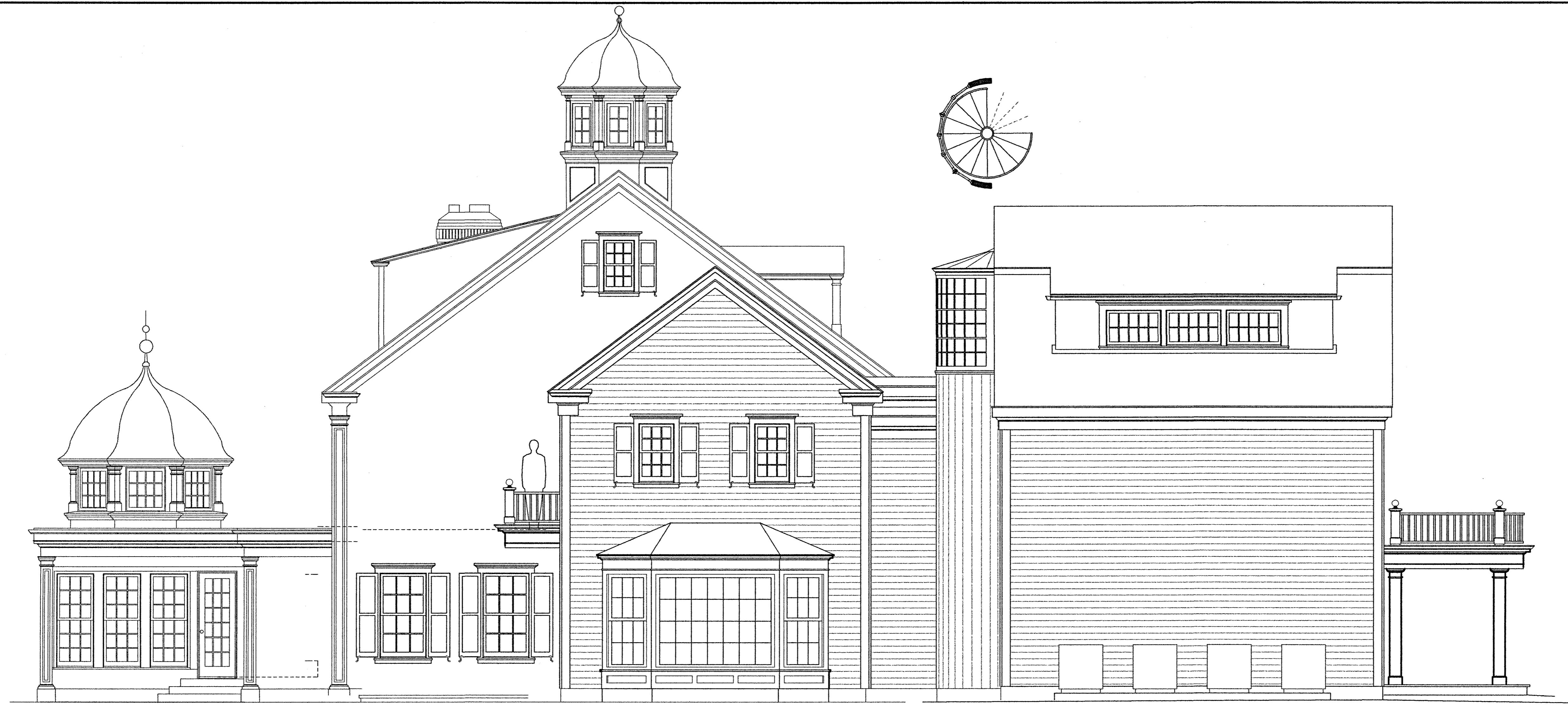
Joseph Matto Architect AIA

Harry Demott III & Samantha Alred

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Issue Date  
9/2/08

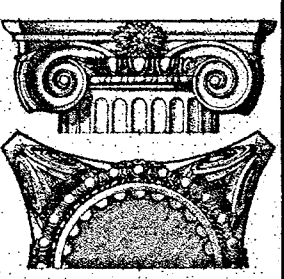
East Elevation & Plan	Revisions

Scale(s)  
1/4" = 1'-0"

37 Century Road  
Narragansett, Ct.  
01886-5777

**Joseph Matto Architect AIA**  
Harry Demott III & Samantha Aldred





Issue Date

9/2/08

Revisions

South Elevation section & Plan

Scale (s)

3/8" = 1'-0"

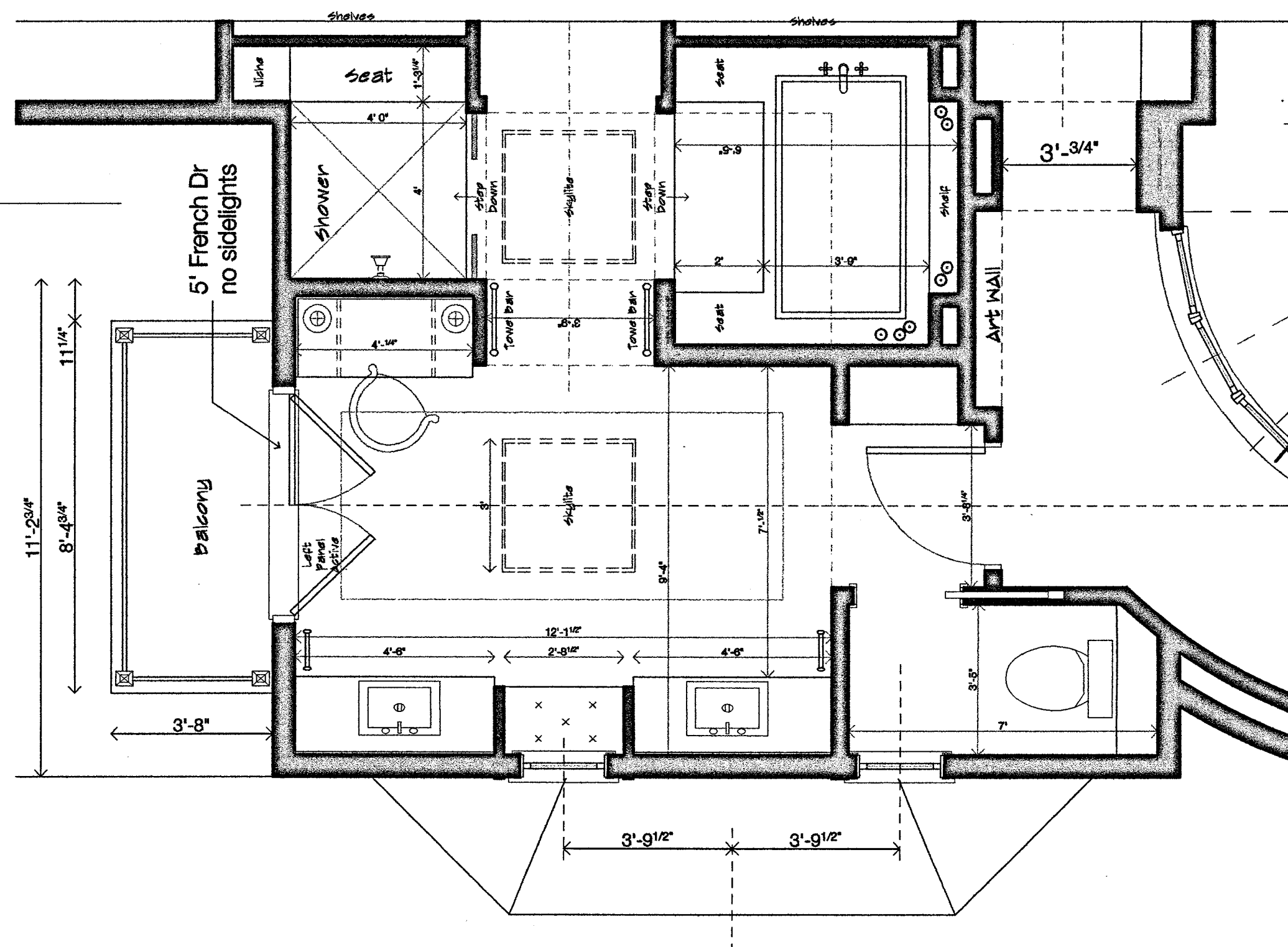
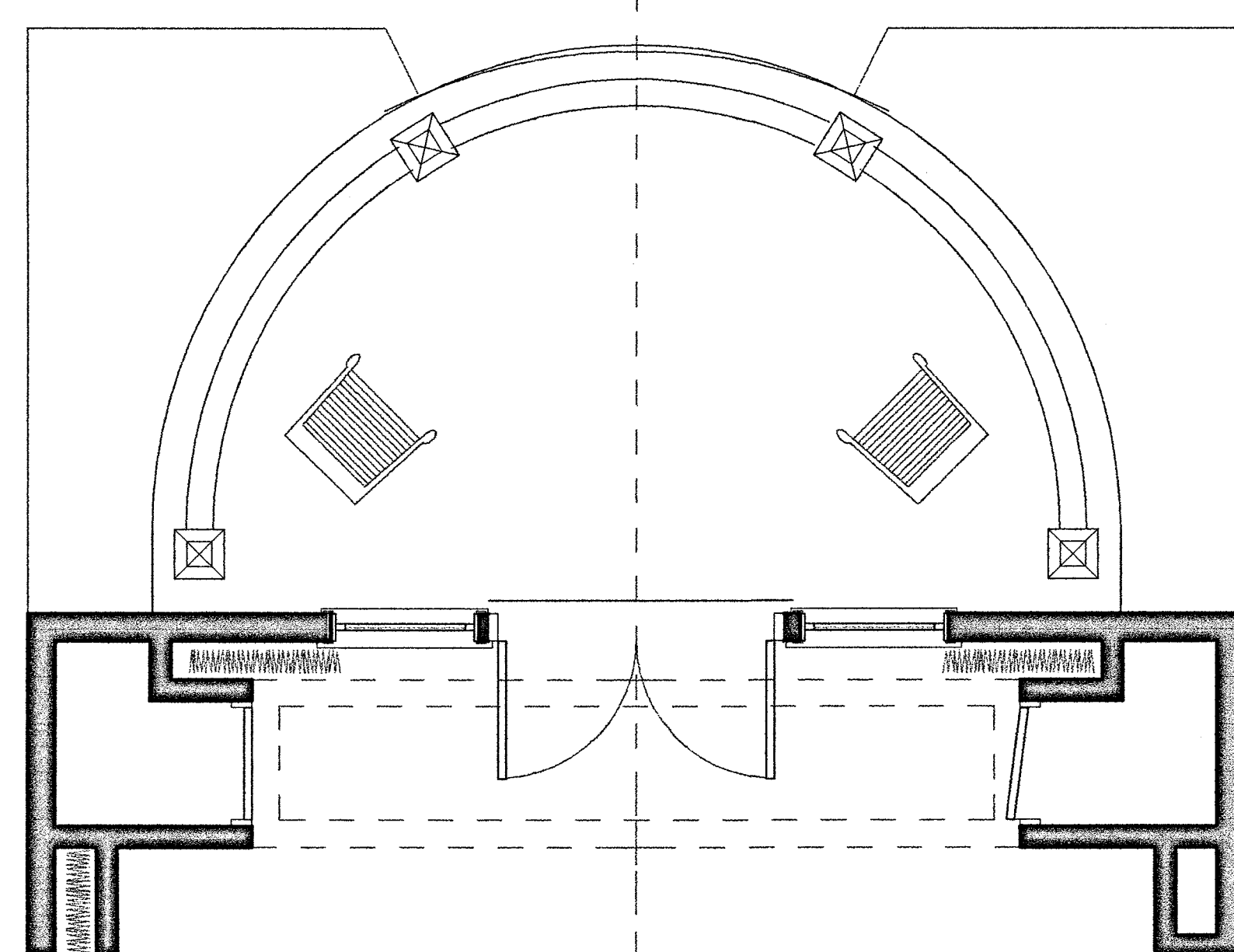
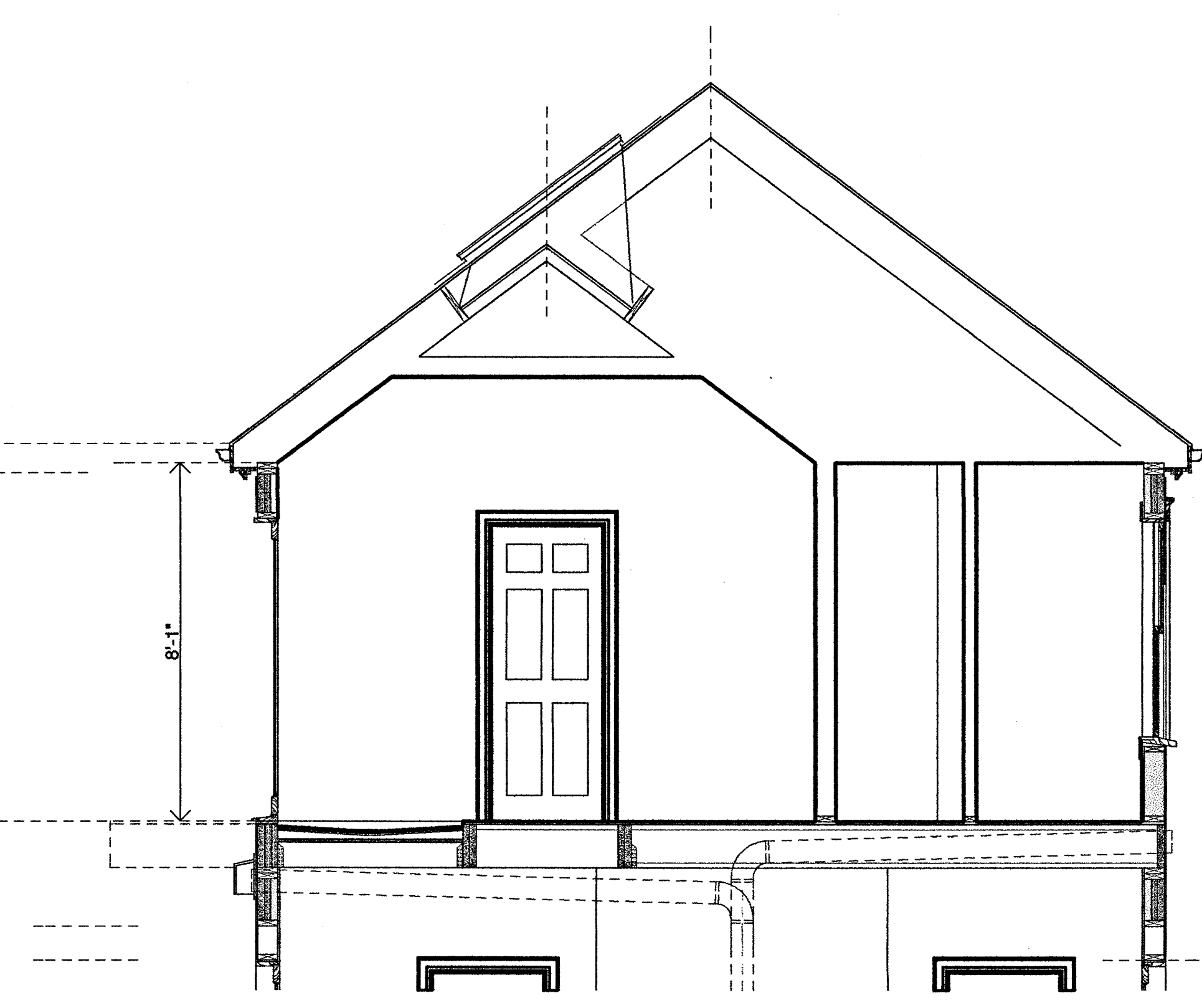
37 Central Road  
Newbury, Ct.  
783 863-5777

36 Packer Lane  
New Canaan,  
Ct.

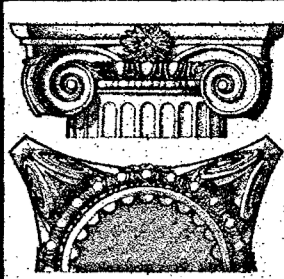
Joseph Matto Architect AIA  
Harry Demott III & Samantha Aldred

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Issue Date

9/2/08

Revisions

Master Bathroom Section & Plan

Scale(s)

1/2" = 1'-0"

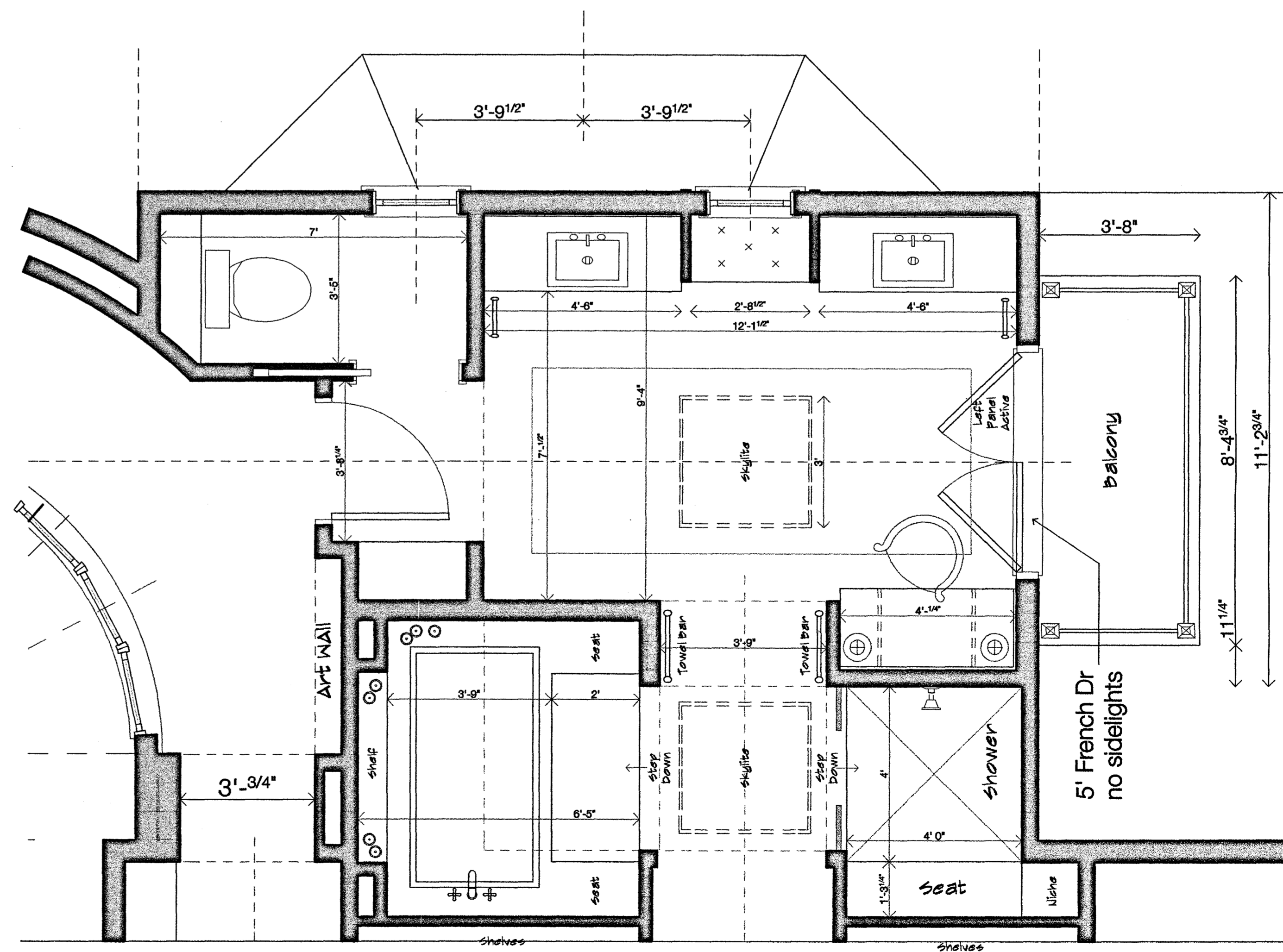
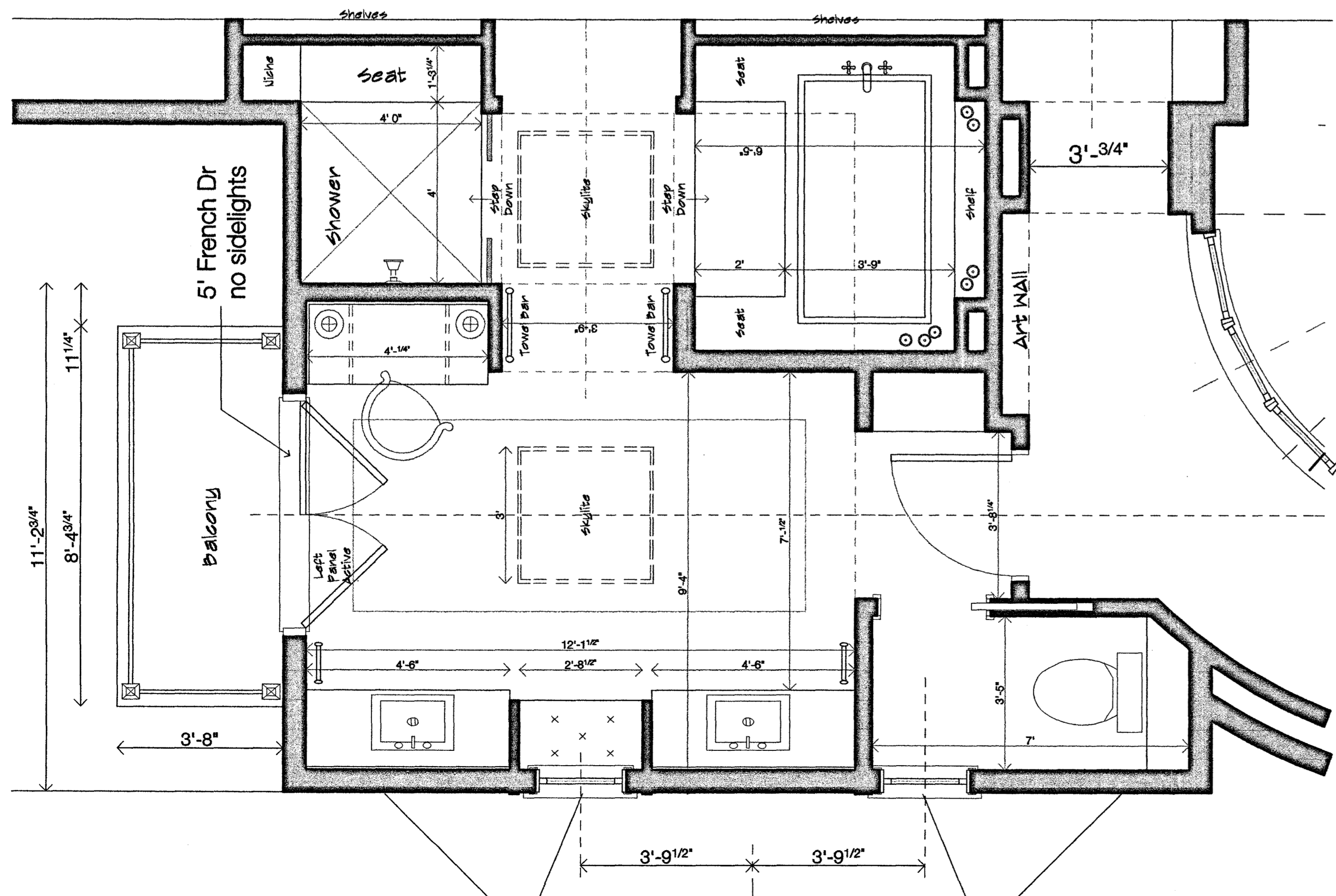
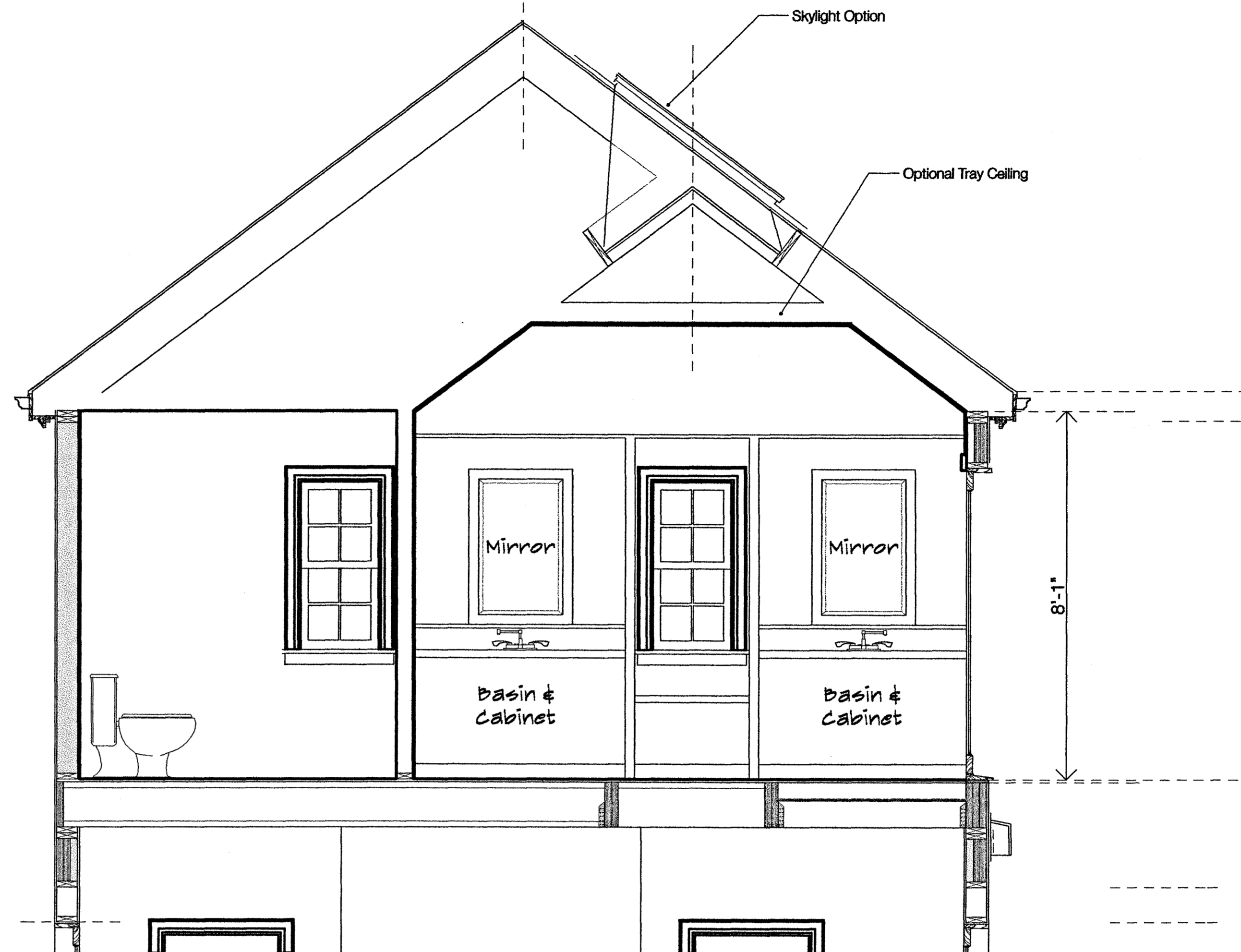
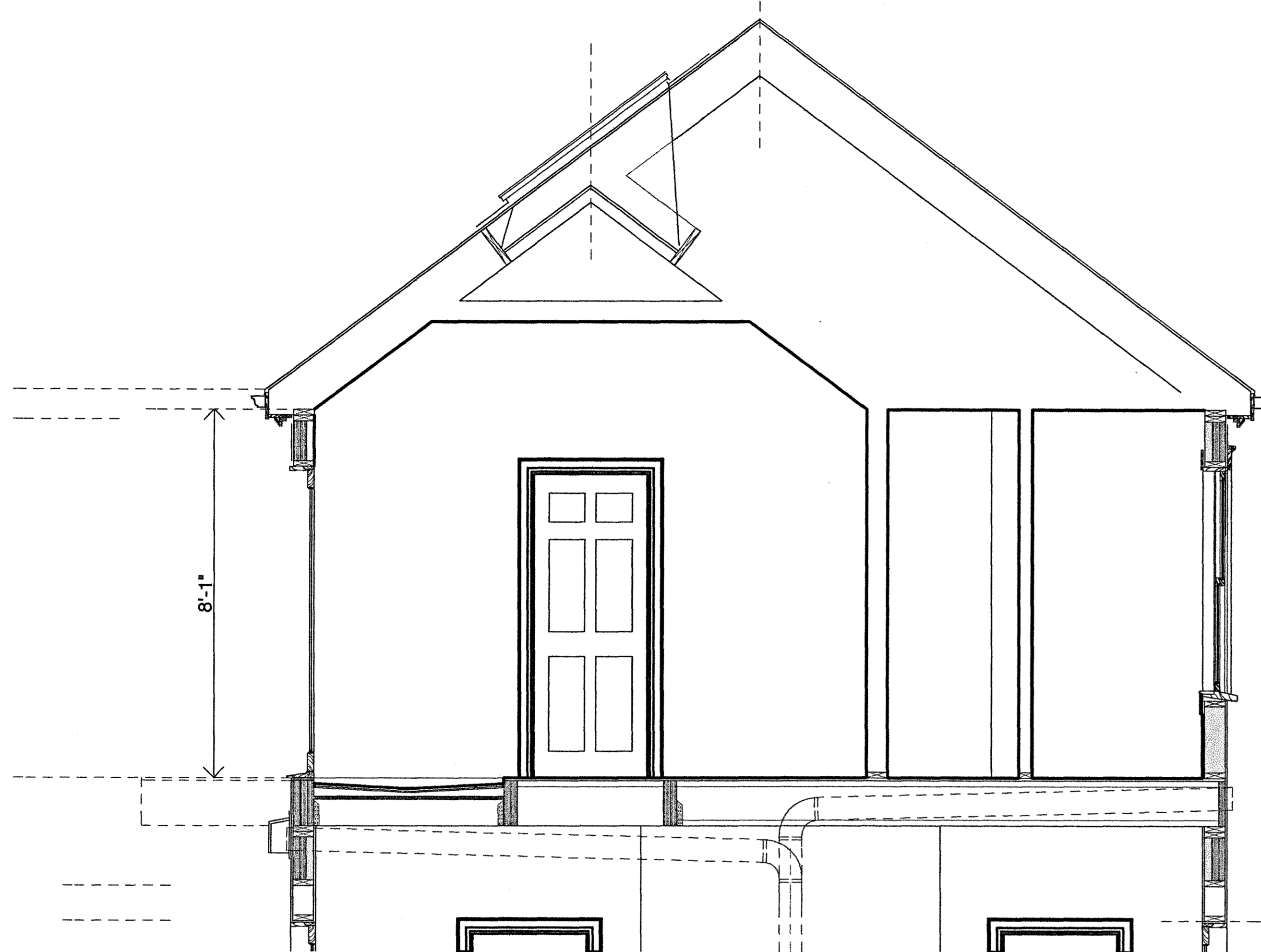
36 Beecher Lane  
New Canaan,  
Ct.

Joseph Matto Architect AIA

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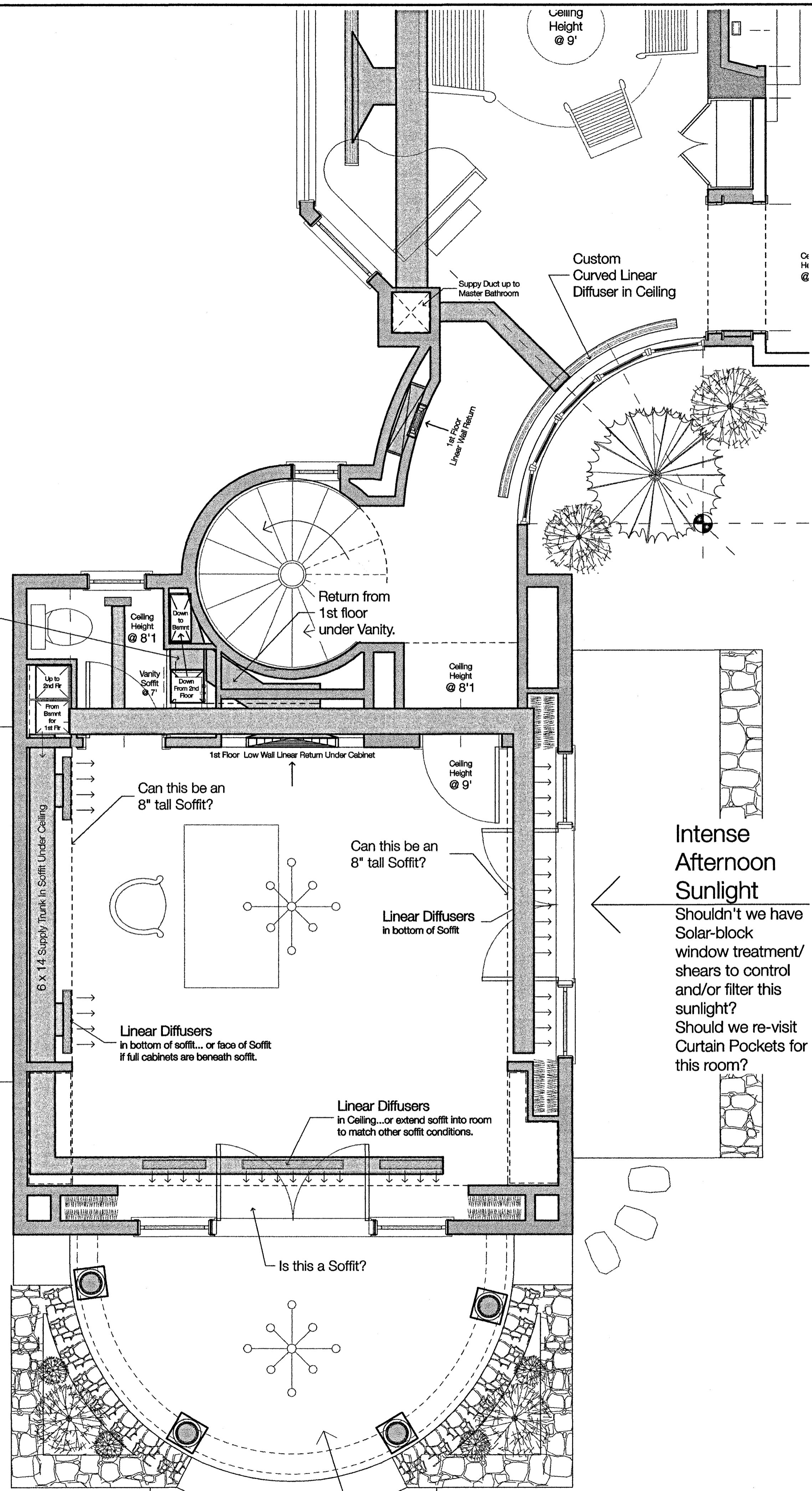
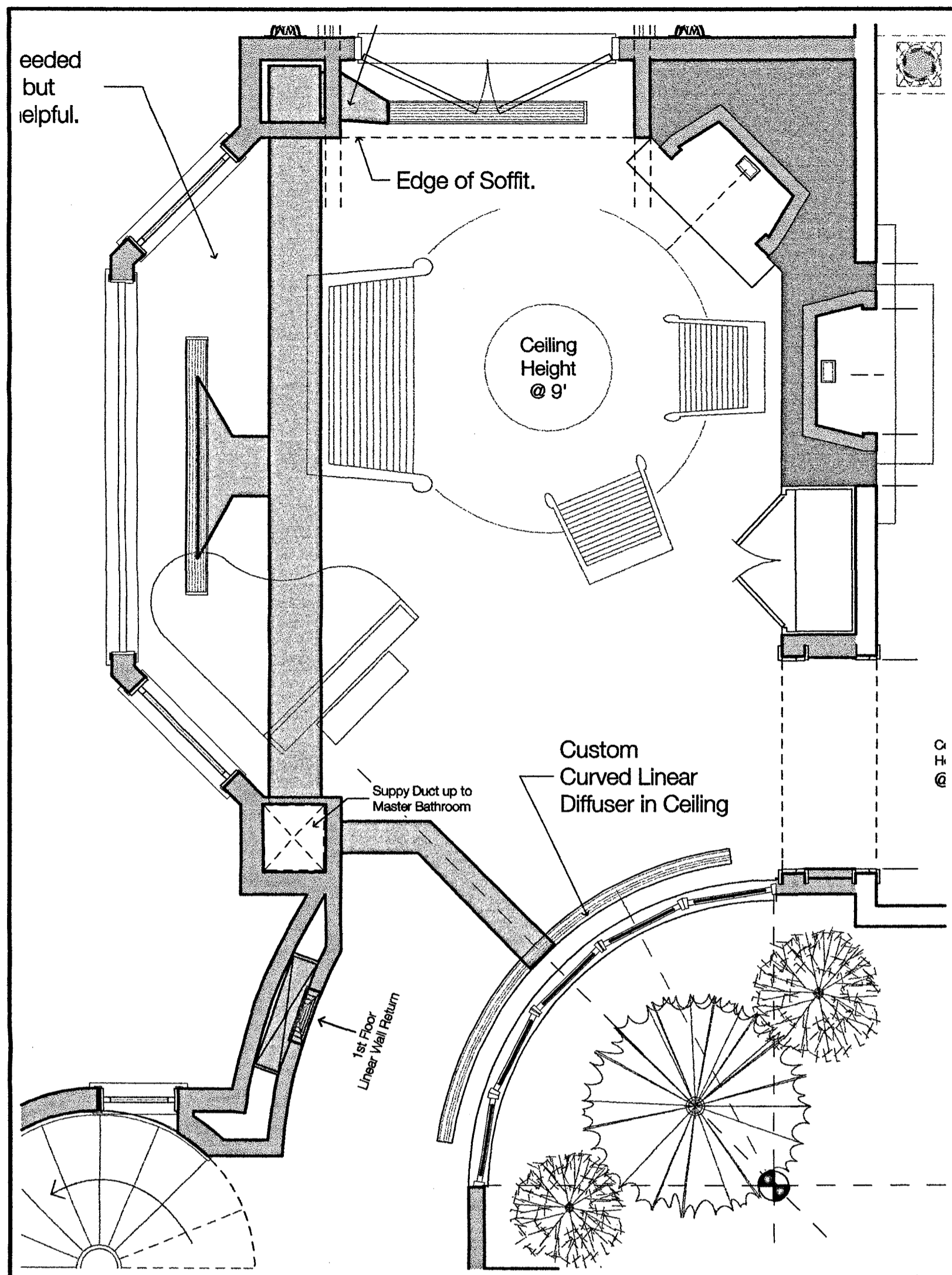
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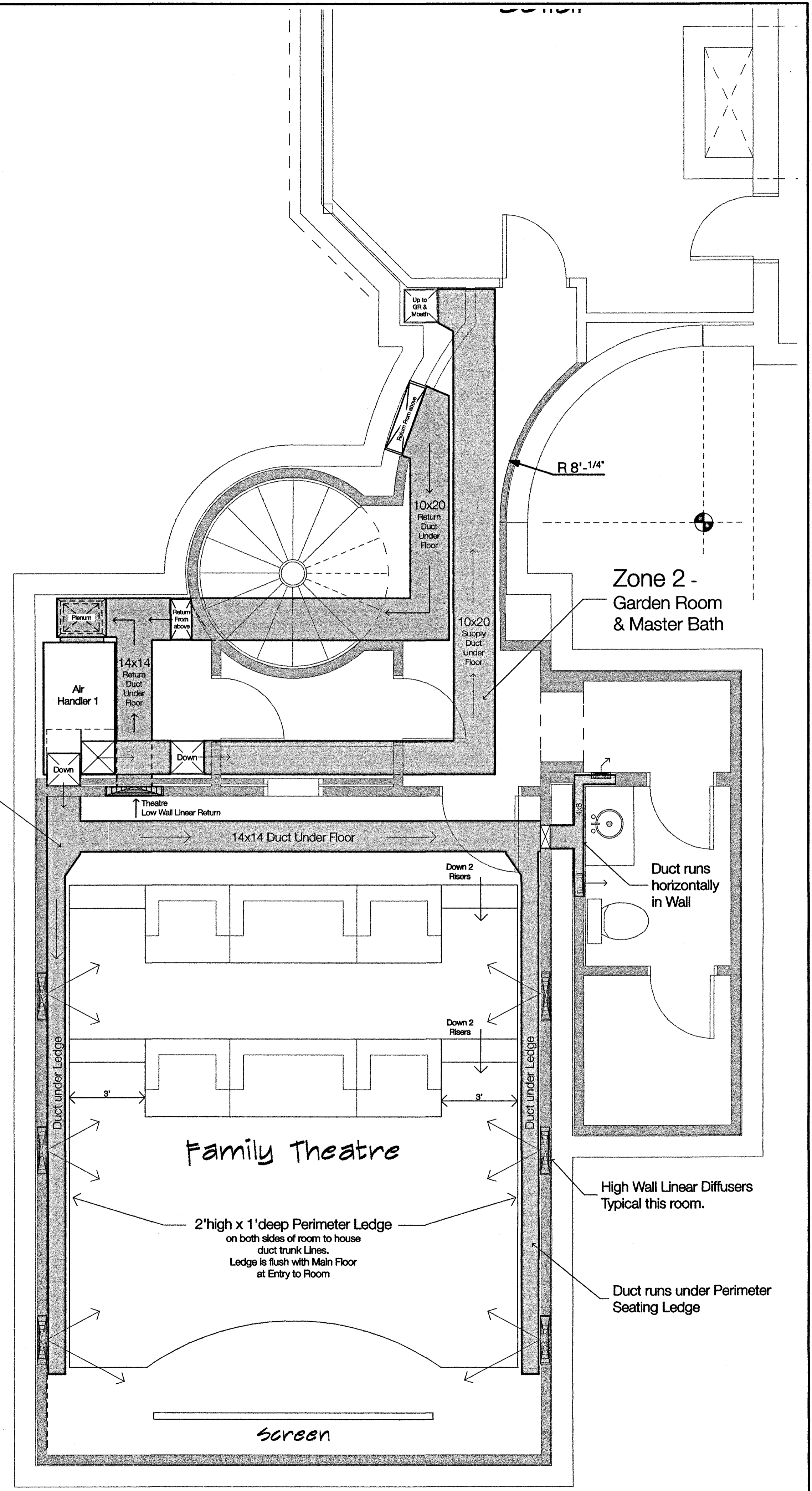






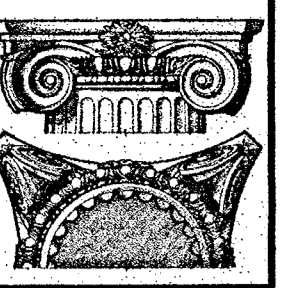


**Intense Afternoon Sunlight**  
 Shouldn't we have Solar-block window treatment/shears to control and/or filter this sunlight?  
 Should we re-visit Curtain Pockets for this room?



Issue Date 9/12/08
Revisions
HVAC Layout
Scale(s) 3/8" = 1'-0"
Joseph Matto Architect AIA Harry Demott III & Samantha Alford
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Issue Date

9/12/08

Revisions

HVAC Layout 2nd & 3rd Floor

Scale(s)

3/8" = 1'-0"

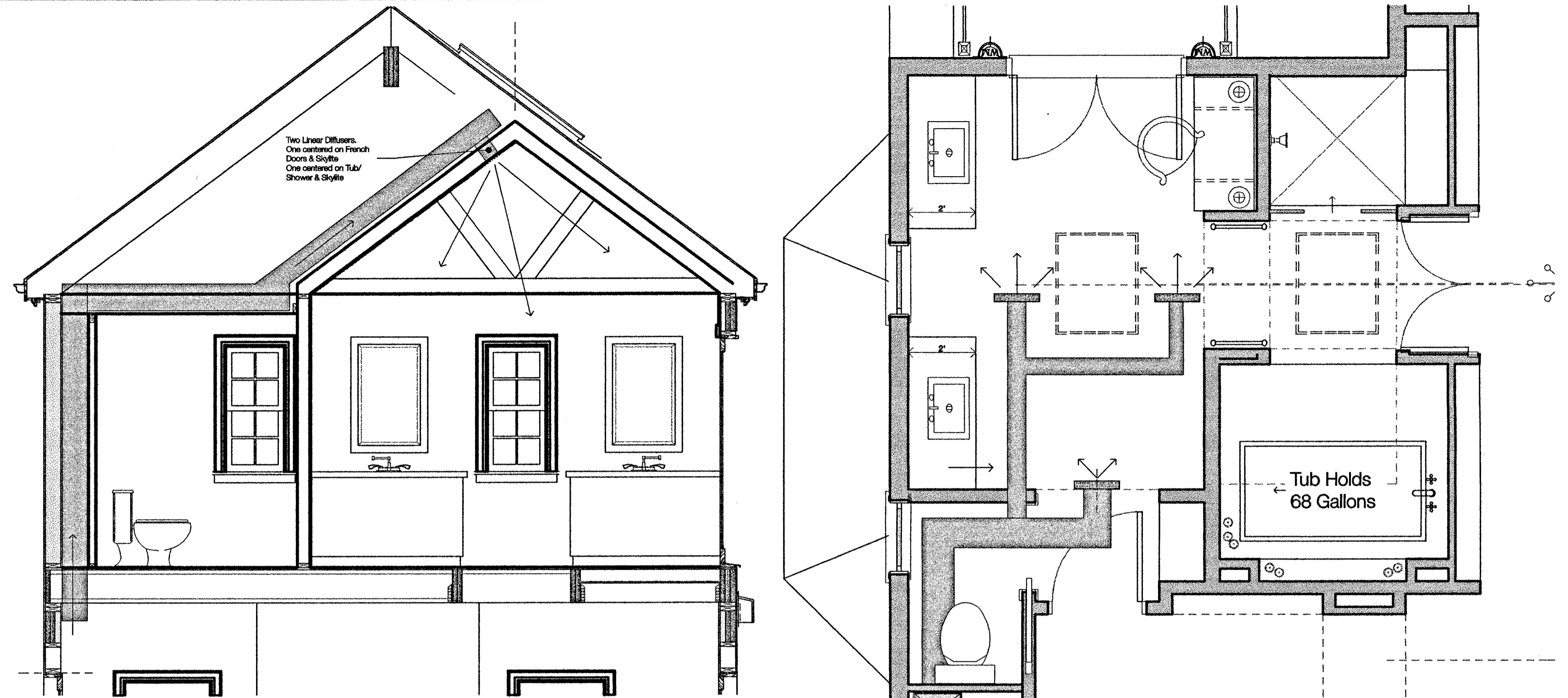
37 Genes Road  
Newtown, Ct  
203 866-7777

Joseph Matrto Architect AIA

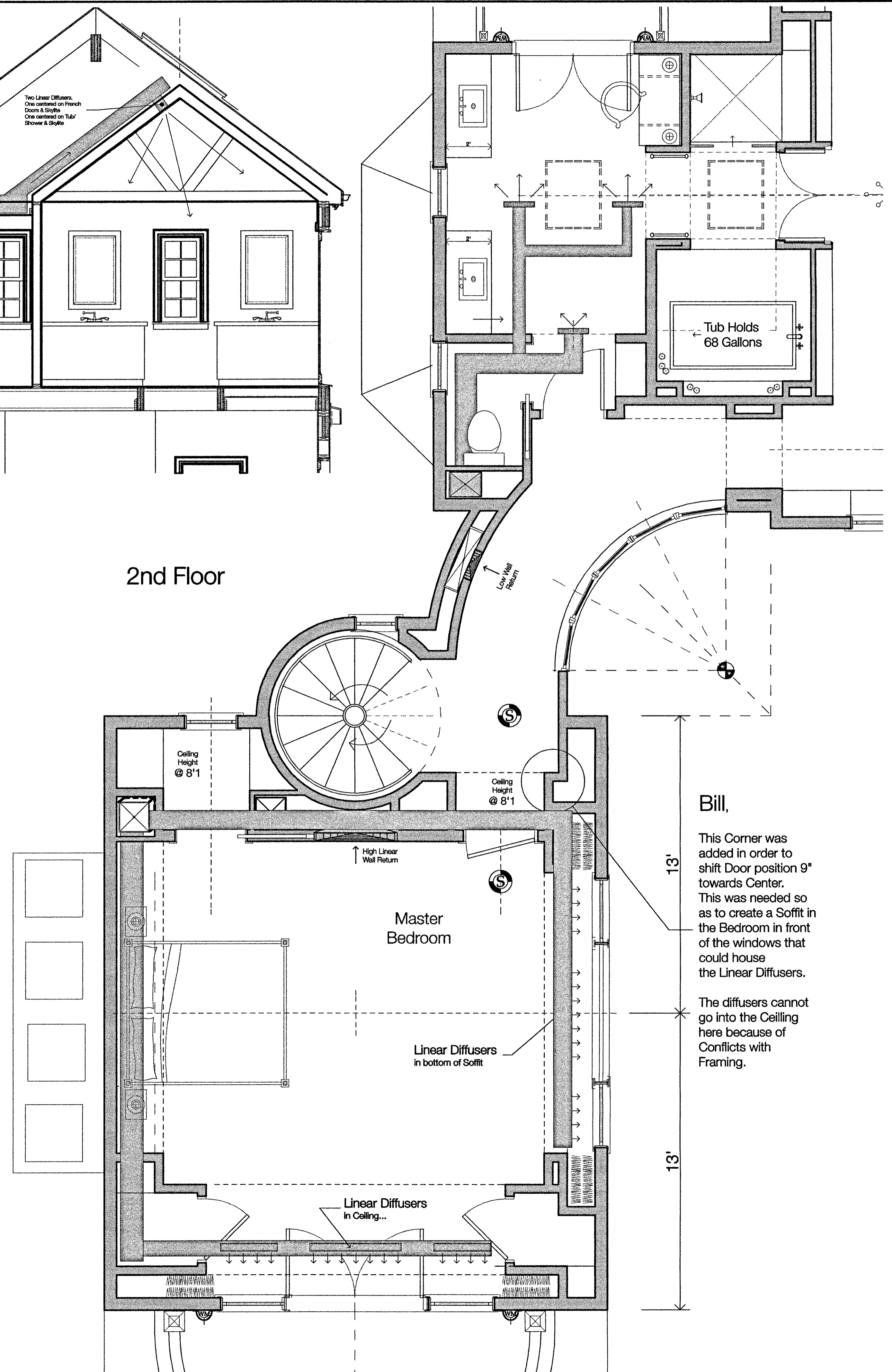
HARRY DENOTT III & SAMANTHA ALDRED

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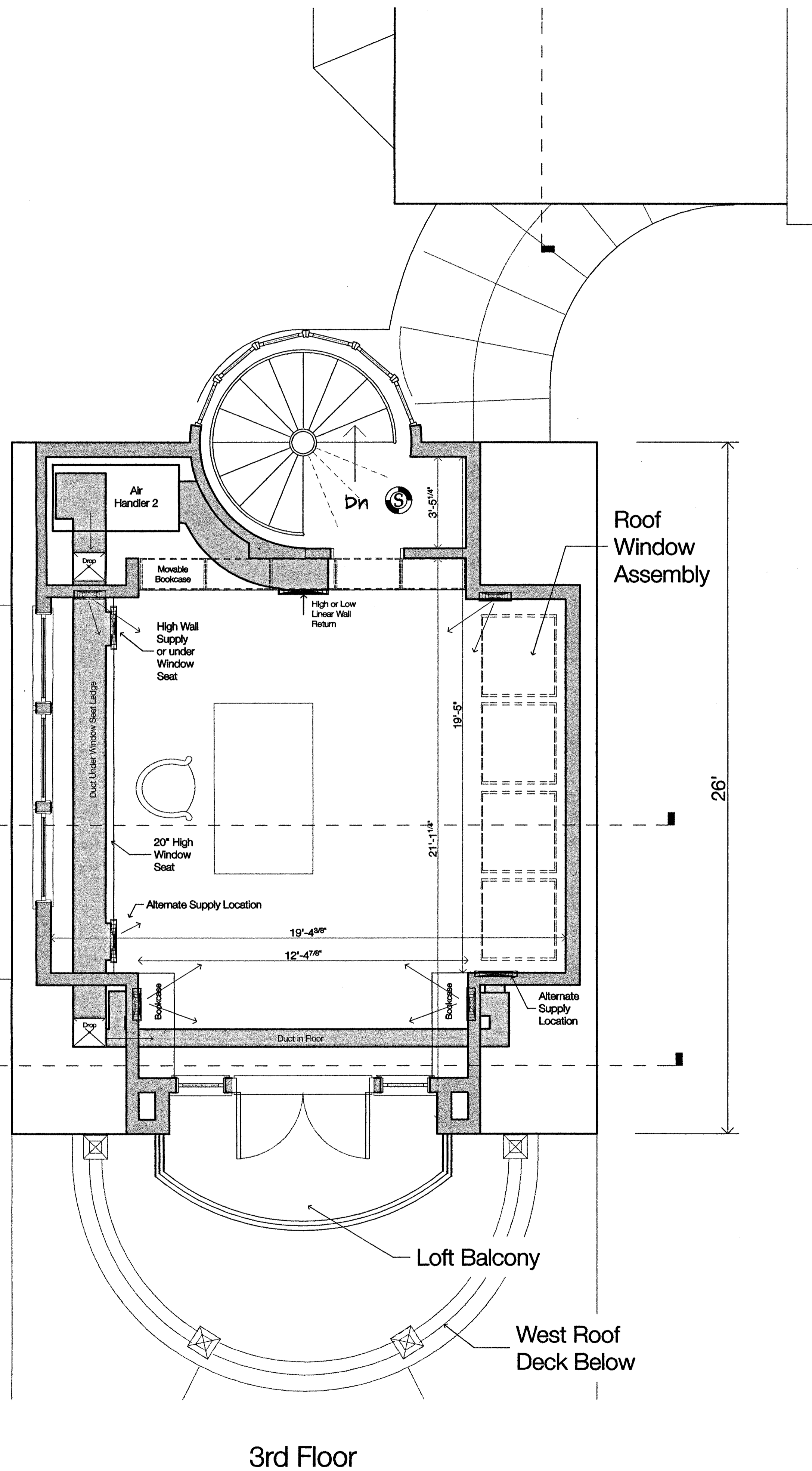
2nd Floor



Bill,

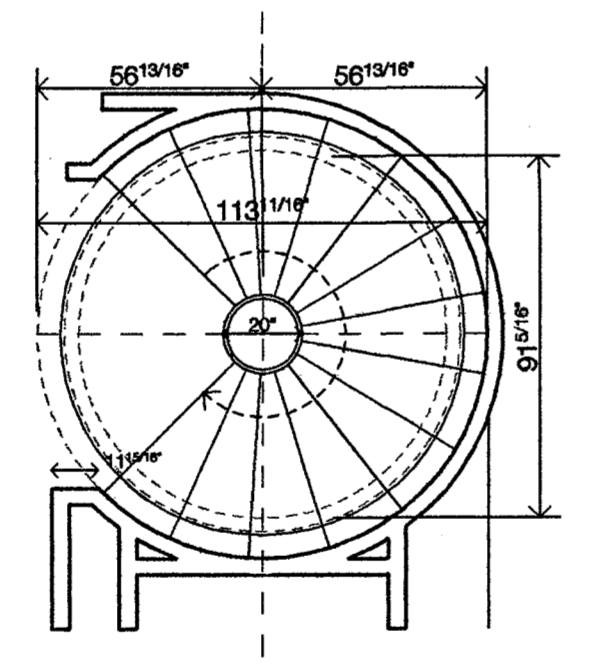
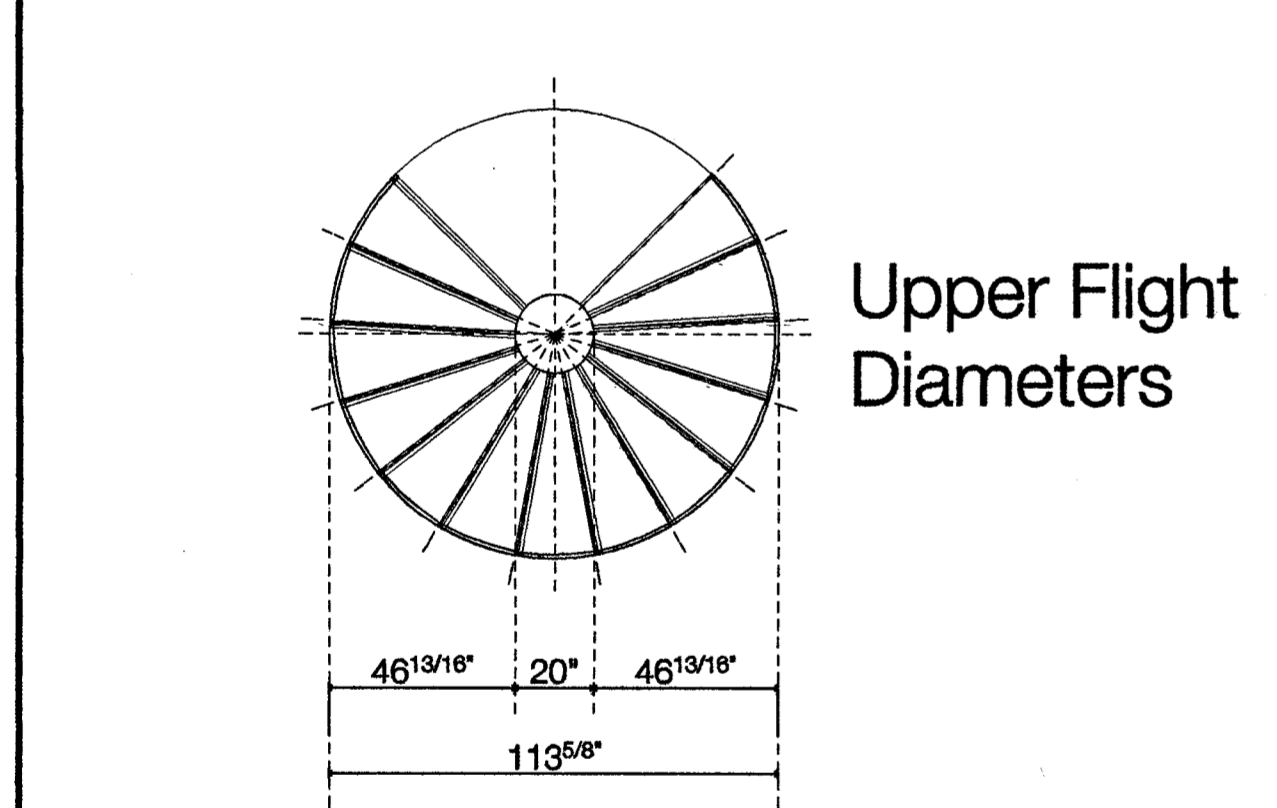
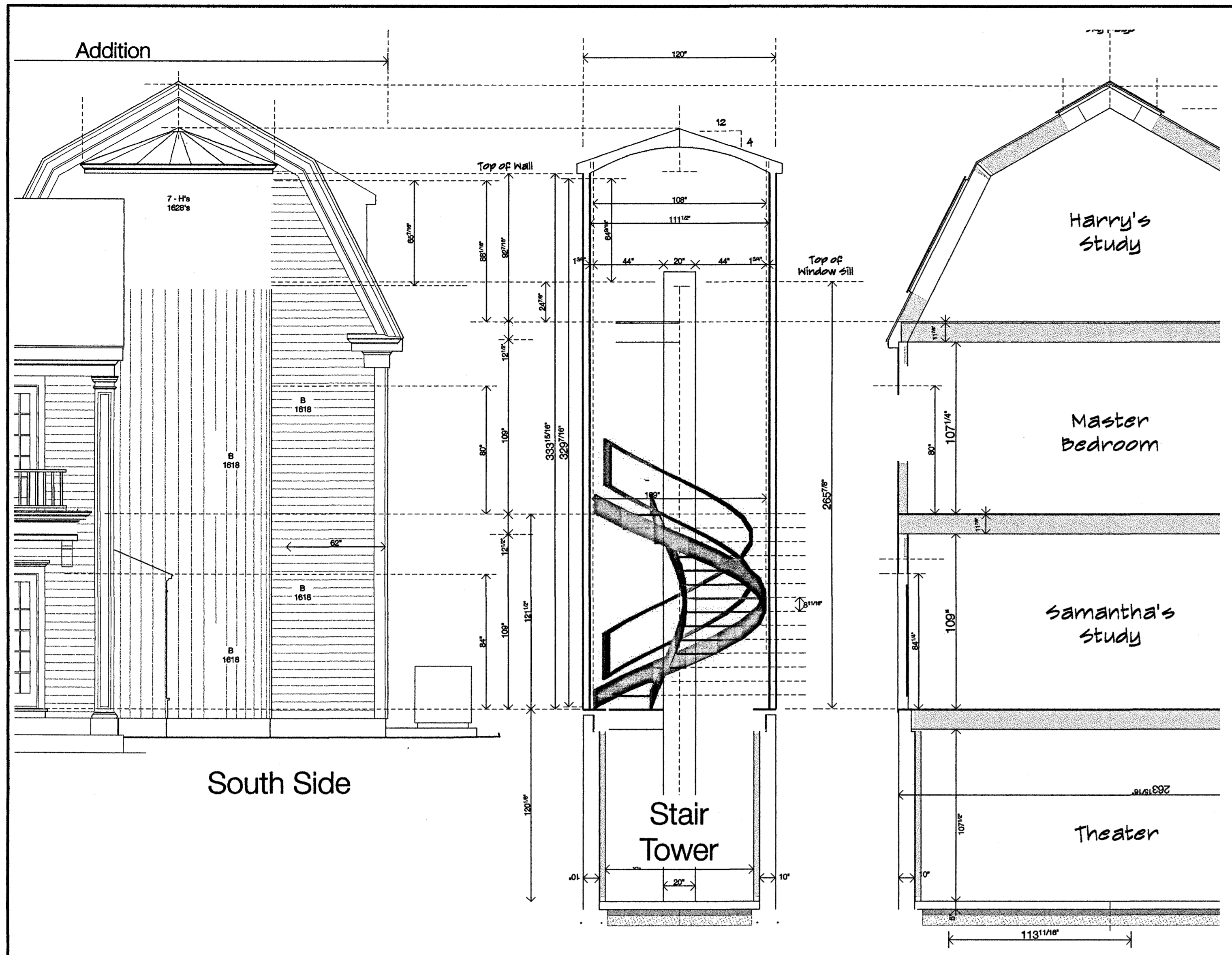
This Corner was added in order to shift Door position 9" towards Center. This was needed so as to create a Soffit in the Bedroom in front of the windows that could house the Linear Diffusers.

The diffusers cannot go into the Ceiling here because of Conflicts with Framing.



3rd Floor



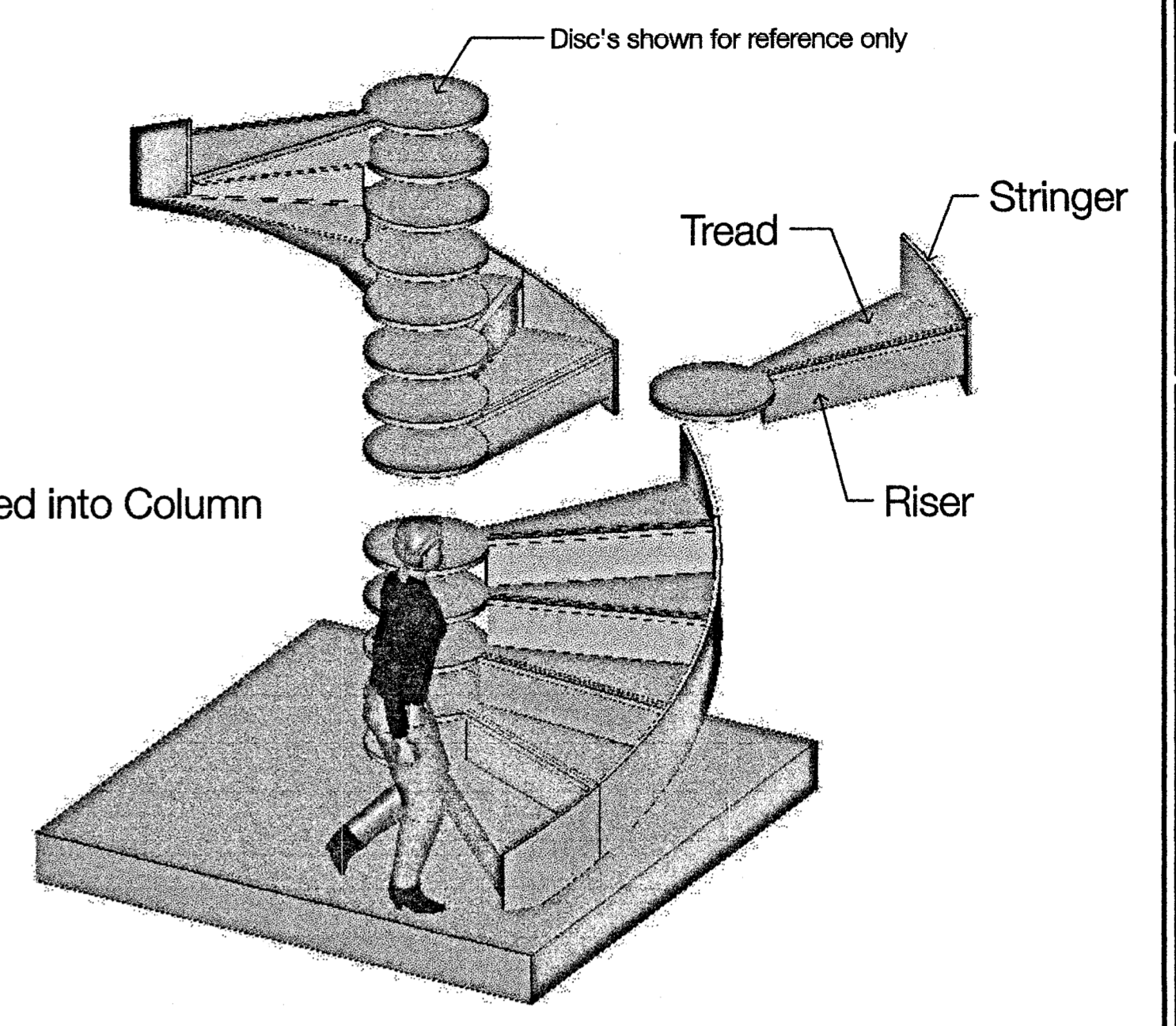
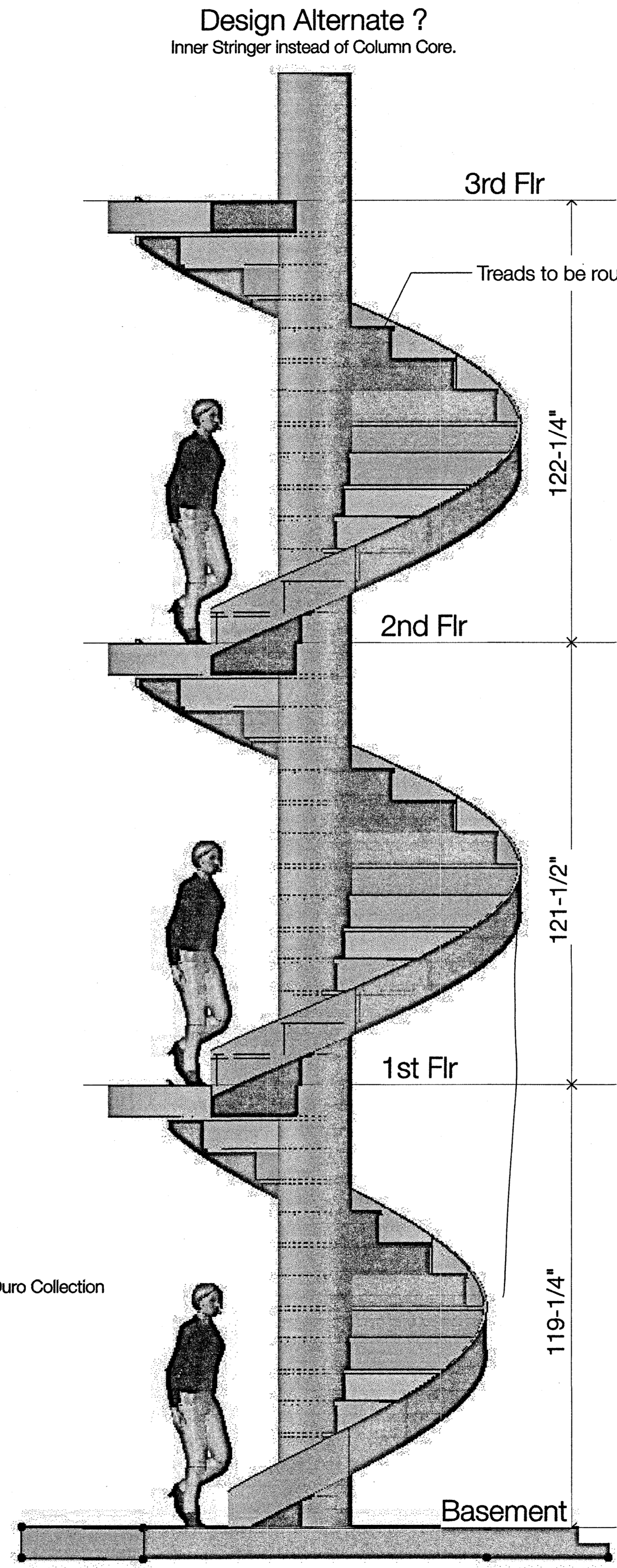


**Material Specifications - Option 1**

Column Core - Painted 2-1/2\"/>

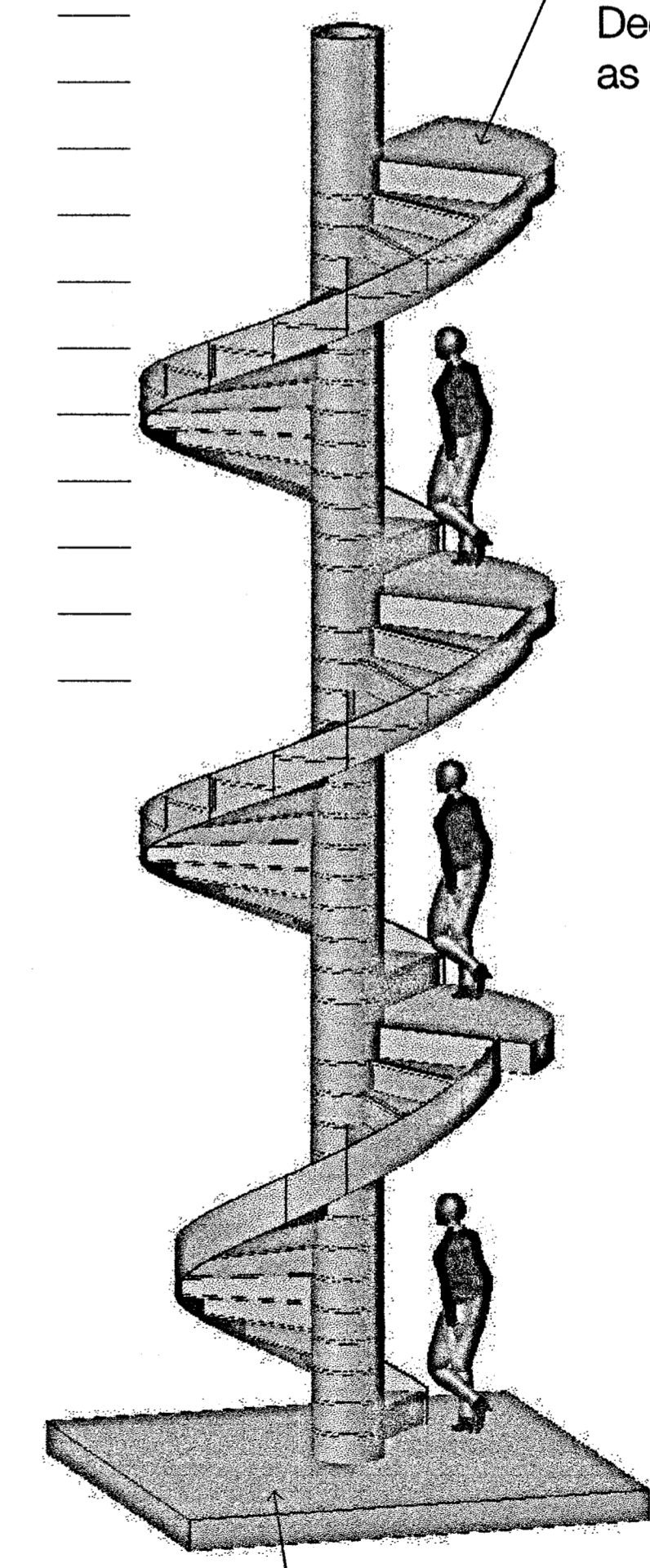
**Material Specifications - Option 2**

Column Core - Painted 2-1/2\"/>



Typical Rise 8-11/16\"/>

Landings are full 90° quadrants and are part or Deck Framing. Not included as Stairs



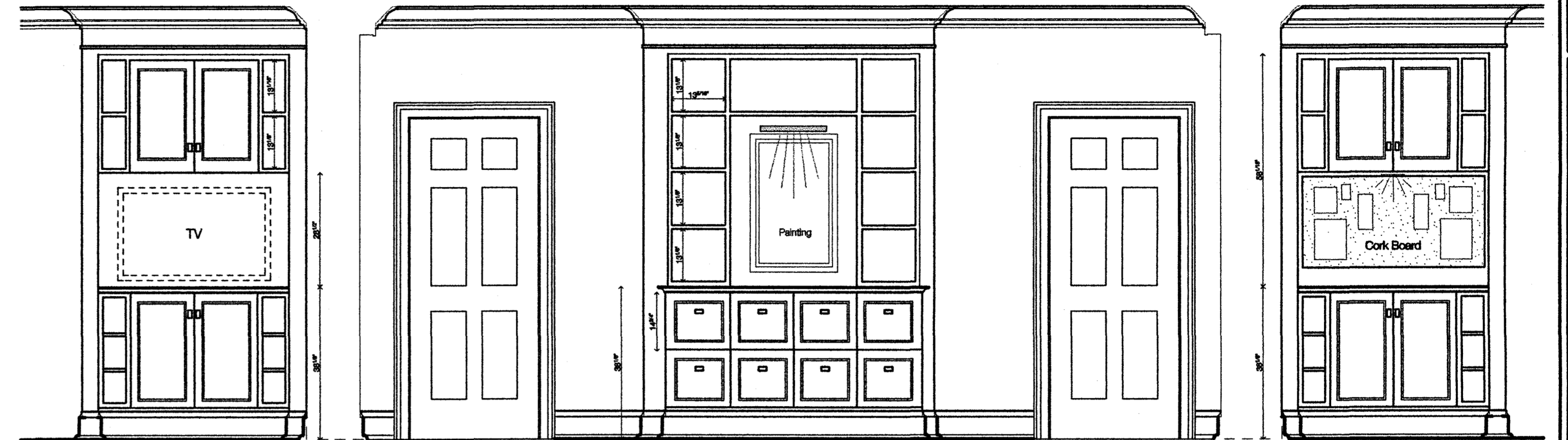
Basement Floor...exact height to be determined.

Issue Date	7/17/09
Revisions	
Scale (s)	1/4" = 1'-0"
Project Name	Spiral Stairs
Architect	Joseph Matto Architect AIA 36 Reeder Lane New Canaan, Ct.
Client	Harry DeVott III & Samantha Aldred
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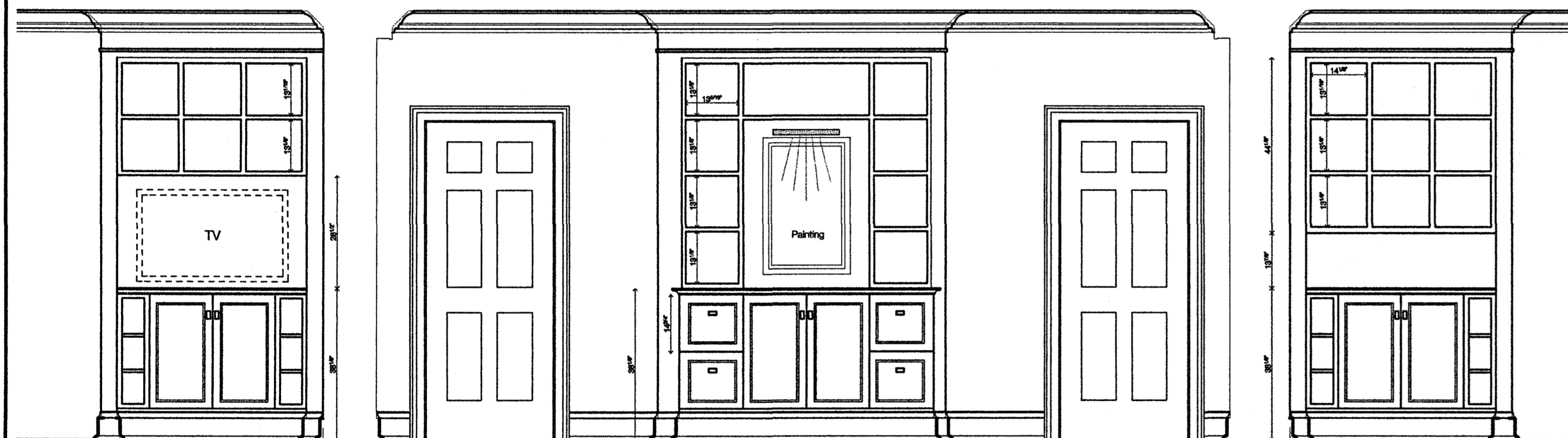




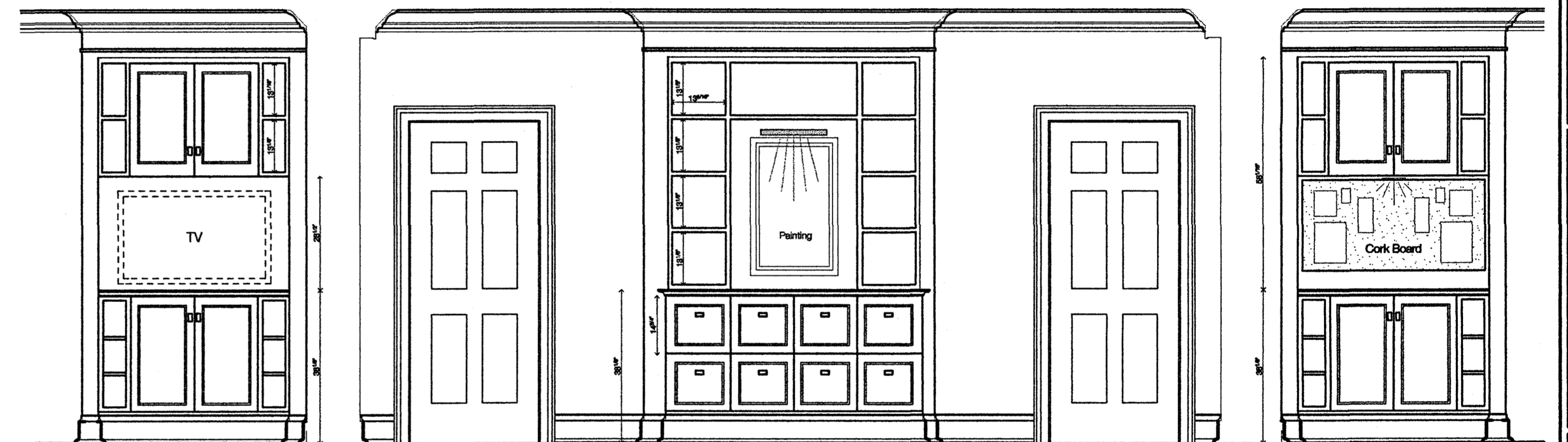
Variation 5



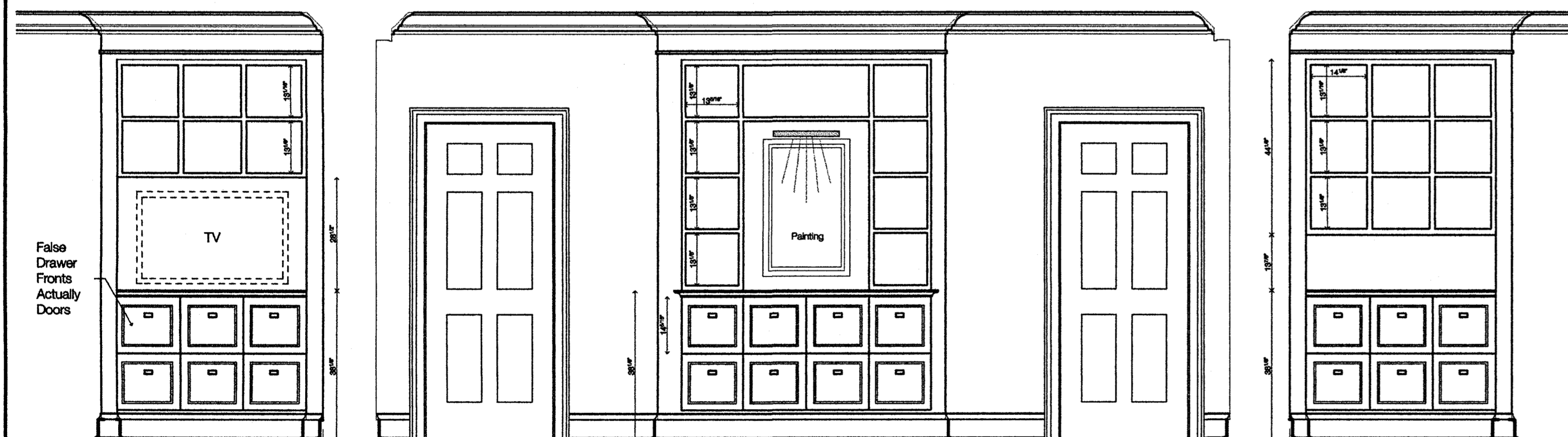
Variation 7



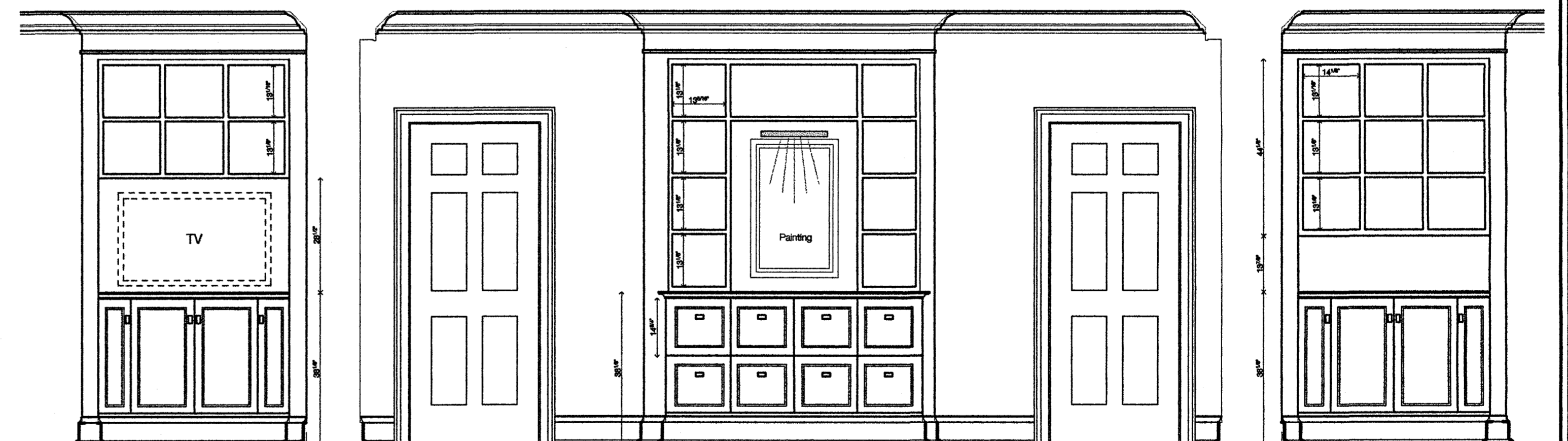
Variation 4



Variation 7



Variation 3



Variation 6

Issue Date

5/11/09

Revisions

Sam's Cabinets

Scale(s)

1/2" = 1'-0"

37 Geneva Road  
Norwalk, CT  
203 865-5777

36 Reeder Lane  
New Canaan,  
CT

Joseph Matto Architect AIA

Harry Demott III & Samantha Aldred

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