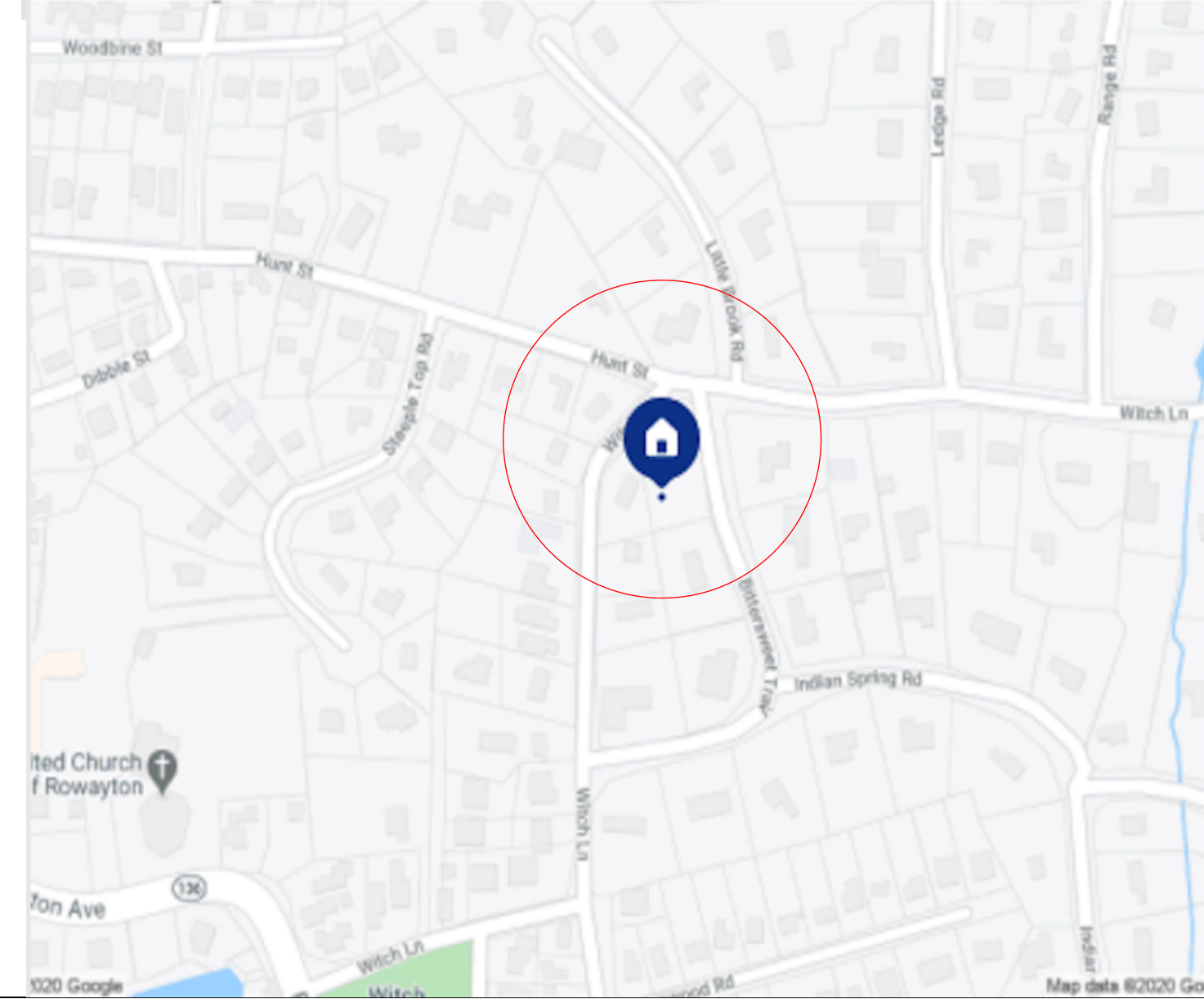
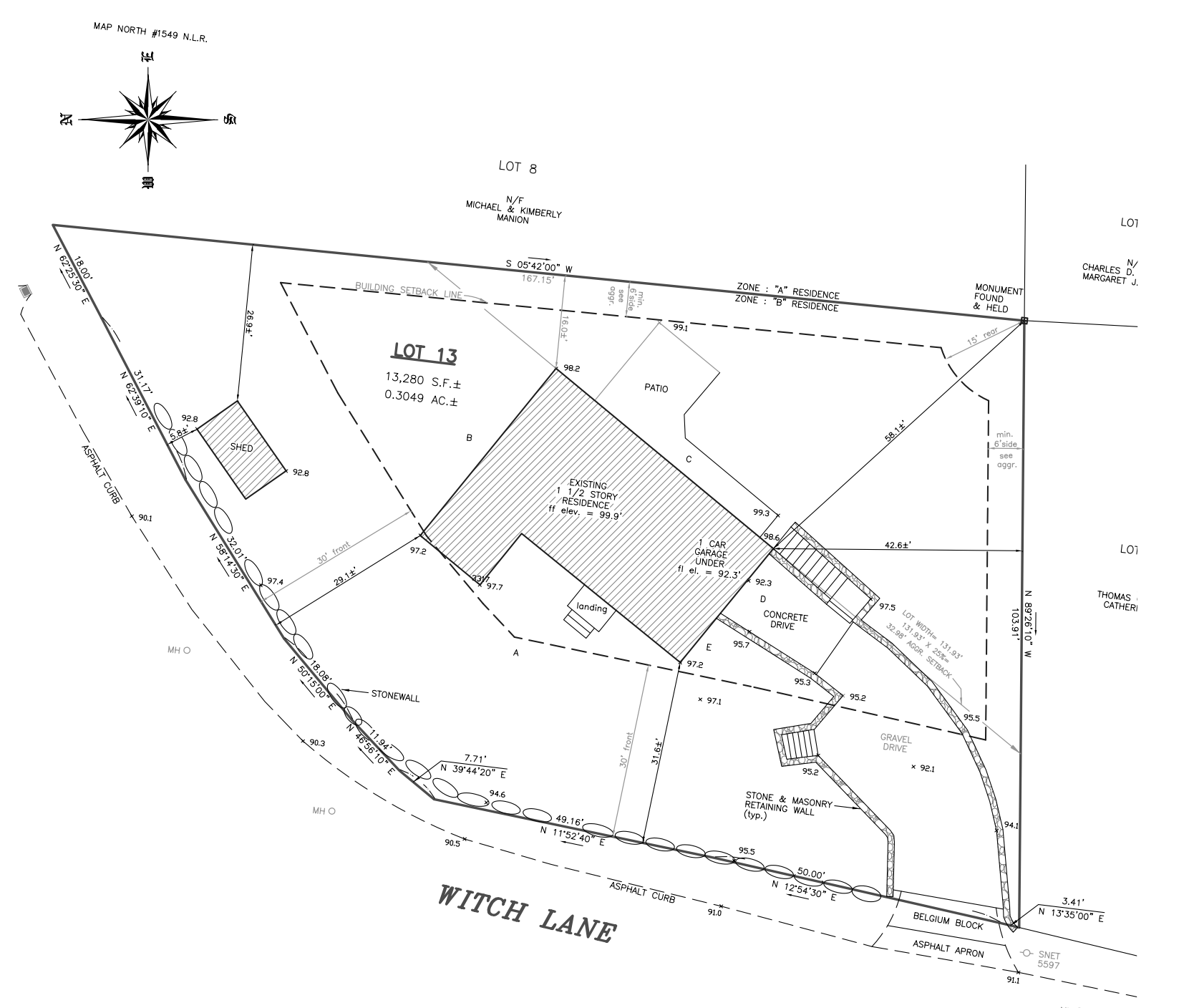


Project Location Maps
40 Witch Lane
Rowayton, Ct



40 Witch Lane - Rowayton
Existing Front View from Witch Lane

Proposed Additions & Alterations



Map Taken from A-2 Survey by Wayne Arcamone, Land Surveyor

Code References

Zoning Regulations
Current promulgation of the

NORWALK ZONING REGULATIONS

Current, 2021, promulgation of the
CONNECTICUT STATE BUILDING CODE
and all referenced and adopted codes as
applicable with current & standing amendments.

Use Group R-3 Construction Type 5B

General Building Design Criteria
Design Loads: Max Deflection L/360

1st Floor - 45 PSF Live Load, 15 PSF Dead Load
2nd Floor - 35 PSF Live Load, 15 PSF Dead Load
3rd Floor - 35 PSF Live Load, 15 PSF Dead Load
Roof - 30 PSF Snow Load, 15 PSF Dead Load

ResCheck - IECC (International Energy Code Compliance)
Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

Reminder - Call Before You Dig! 1-800-922-4445
The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

Prepared for:
Denise & Leslie Kelly
40 Witch Lane - Rowayton

Index to Drawings

Architectural Drawings

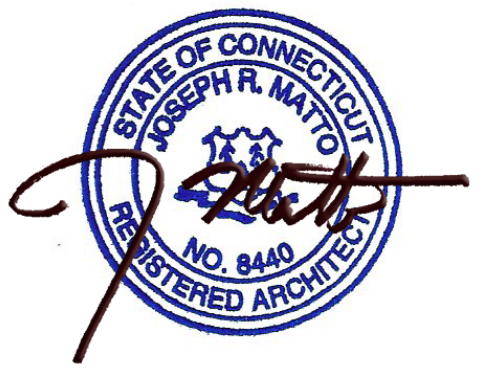
These Drawings are required to be submitted to the Town of Greenwich as part of the Building Permit Application.

A1	Title Page
A2	Existing Floor Plan & Exterior
A3	Elevations
A4	Foundation Plan & Details
A5	1st Floor Plan
A6	2nd Floor Plan
A7	Cross Sections A & C - Long Section & Shed Dormer
A8	Cross Sections A & D - Shed Dormer & Rear Banquette Bumpout
A9	Section Details - Banquette Roof/Ceiling
A10	Section Details - Front Porch Column, Landing Details
A11	High Wind Connection Details
A12	Window & Door Schedules

Interior Design Drawings

These Drawings are related to surface finishes, furnishings and furniture and are NOT being submitted with the Building Permit Application.

E1	1st Flr Light & Switch Layout (New Work)
ID1	Family Room Built-ins & Banquette



NOTE: Only Drawings that are Signed & Sealed by the Architect may be used for obtaining Building Permits, Approvals & for Constructing the Project. Be careful not to use Progress Drawings or Bid Documents that are not the most recently revised or updated architectural plans.

Instruments of Service:
These Drawings are "Instruments of Service" provided to The Client only, for several purposes. They are used for documenting the "Design Process" between the Client and the Architect, Defining the Scope of Work to be built, preparing Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect. These drawings may not be published in commercial media without the architect's permission.

Use of Documents:
All drawings, data, & electronic media included or referenced in these documents are included as Instruments of Service and as such, are the property of Joseph Matto Architects. These documents are copyright protected and not to be used for any other project, or by any other persons other than those identified and authorized as the Patrons or Clients on this page.

Accuracy of Documents:
All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible unanticipated design & construction conflicts.

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Builder & General Contractor
Patrick Sweeney - Sweeney Construction Co, LLC
44 Chestnut Hill Road, Stamford, Ct. 06903

Surveyor - Civil Engineers
Arcamone Land Surveyors - 4 Taft St, Norwalk, Ct.

Professional Consultants

Client
Denise & Leslie Kelly
Phone: _____ 40 Witch Lane - Rowayton, Ct. 06853
Email: _____



JOSEPH MATTO ARCHITECT
(203) 203-856-5552
JOEMATTOARCHITECTS@GMAIL.COM
JOEMATTOARCHITECT.COM

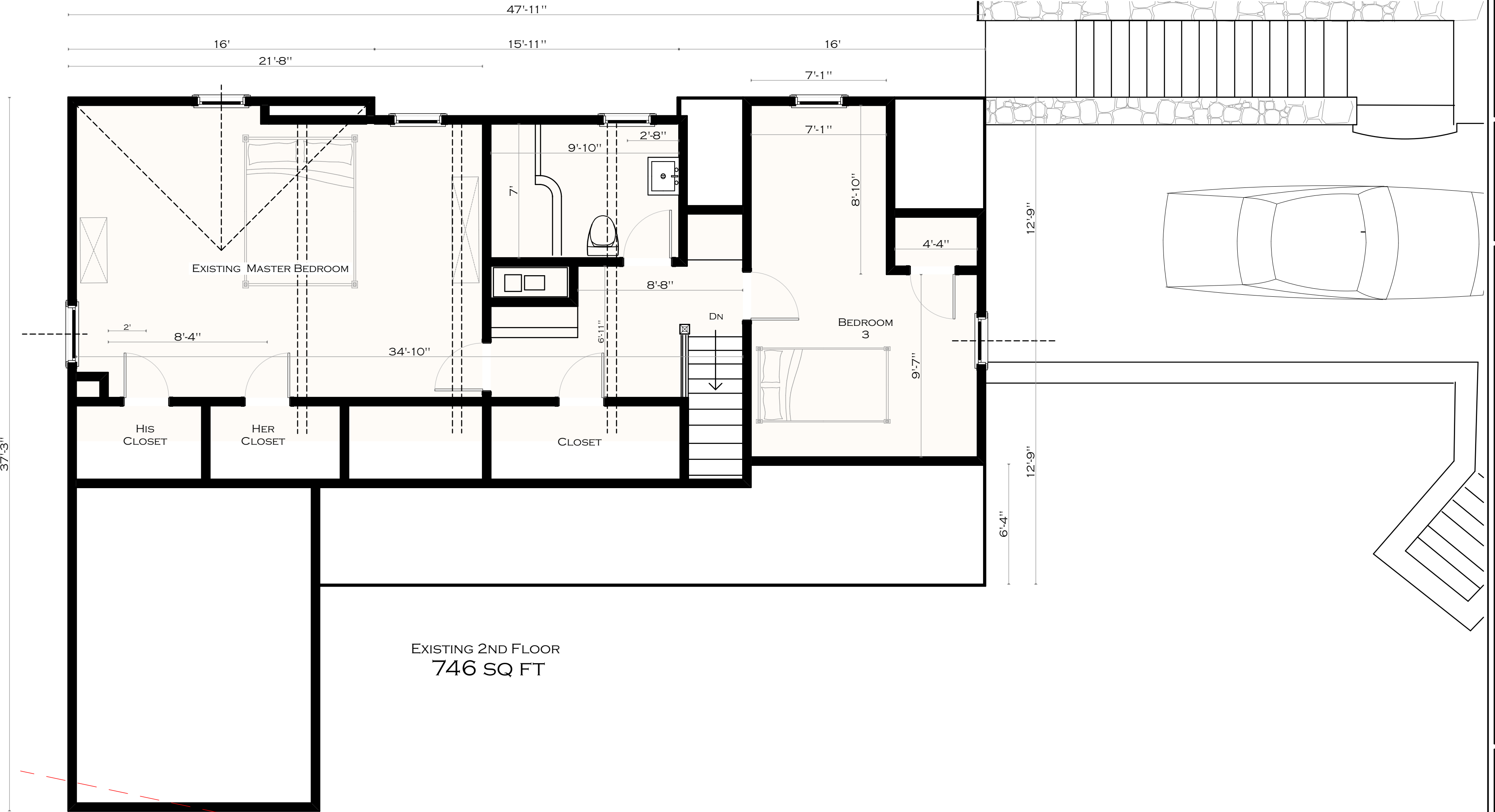
A Member of the American Institute of Architects
And The American Society of Interior Designers

JMA PROJECT YEAR

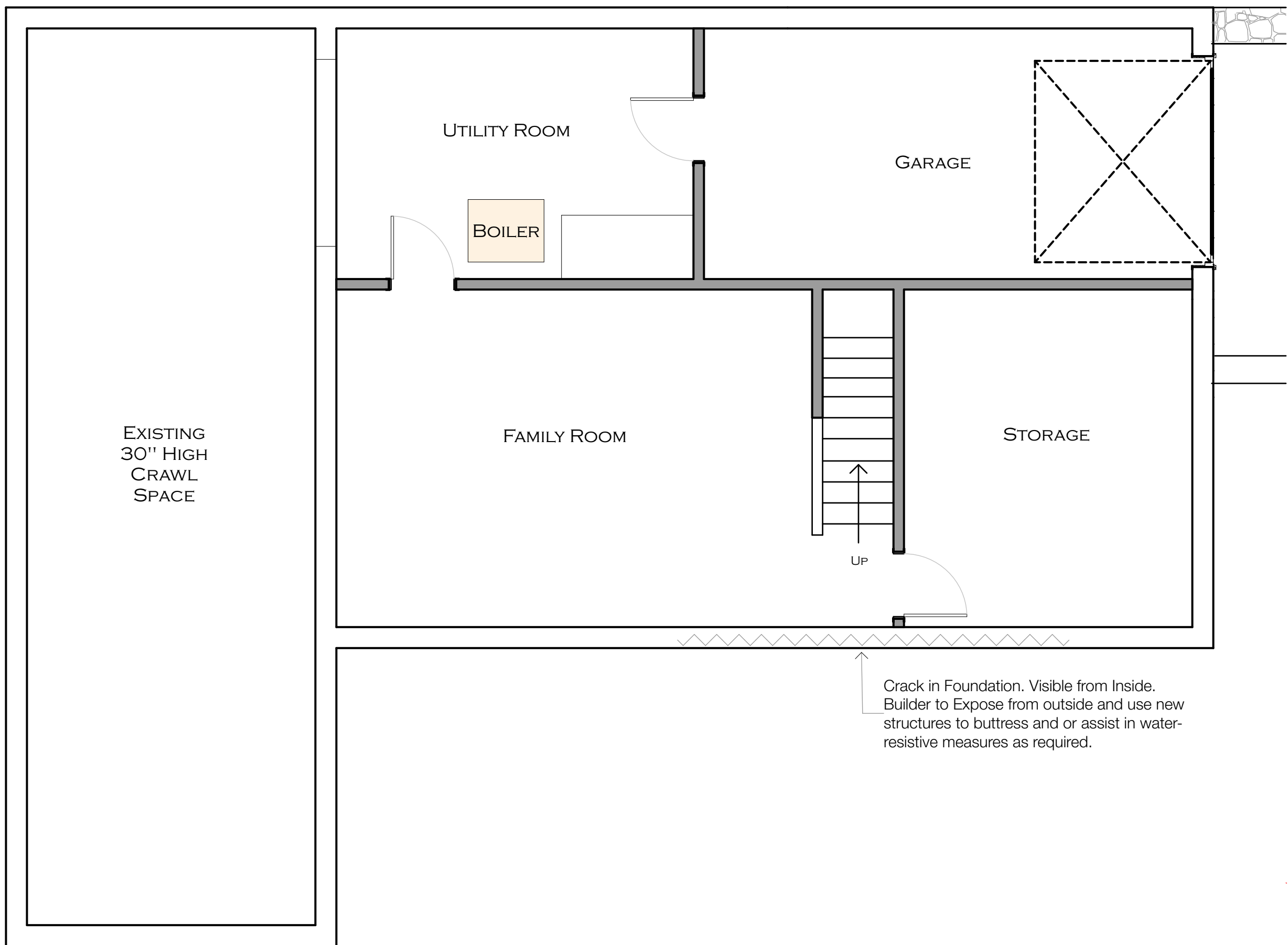
2020 KELLY RESIDENCE



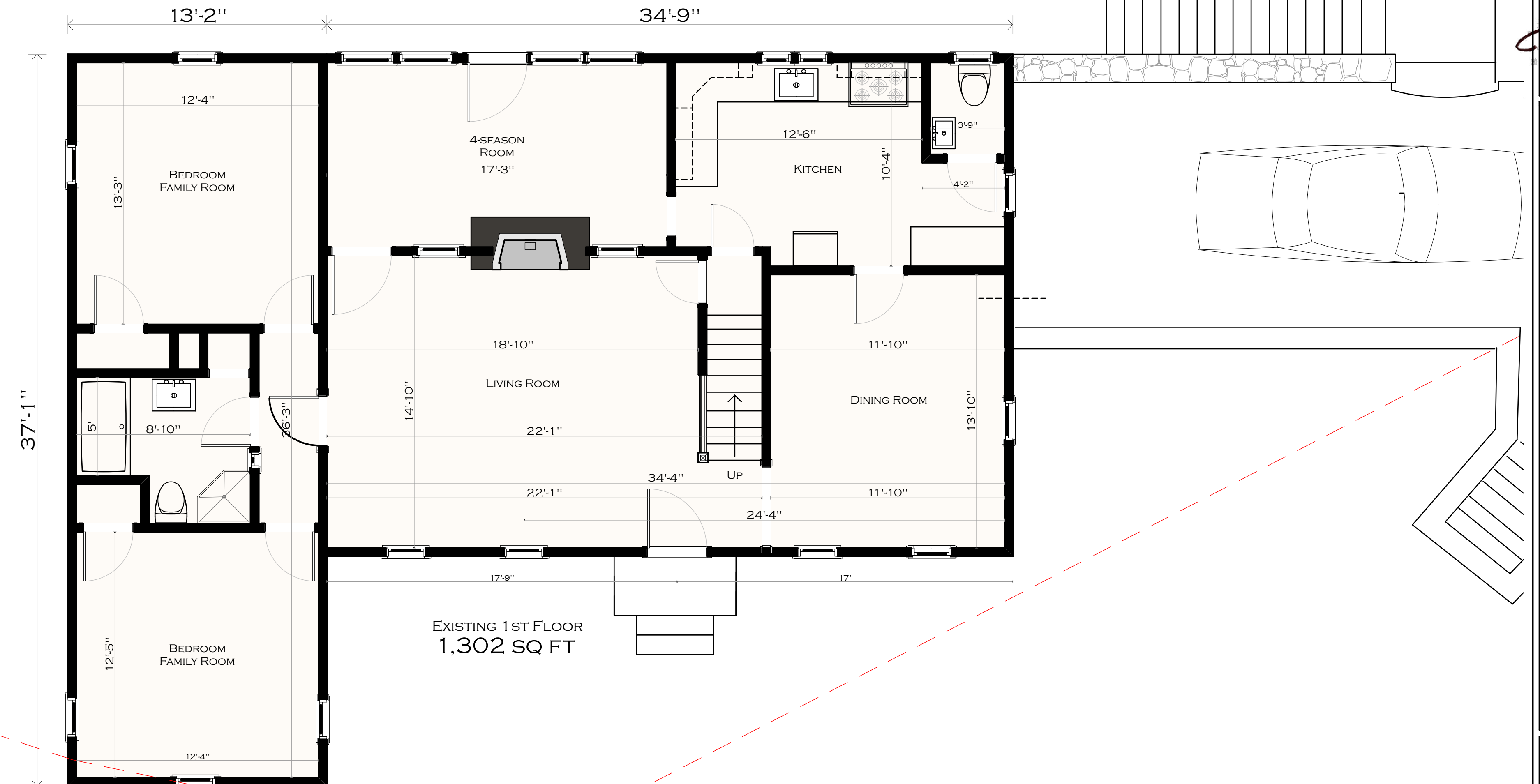
4 EXISTING EXTERIOR VIEWS



1 EXISTING 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED LEFT SIDE (NORTH) ELEVATION



2 EXISTING 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Issue Date: 4/30/21

 Revisions:

 Existing Floor Plan & Exterior

 Scale (s): 1:80, 1/4" = 1'-0"

 72 Bridge Street, Shelton, Ct. 06484

 40 Witch Lane, Flowayton, Ct.

 Joseph Matto Architect AIA

 Denis and Leslie Kelly

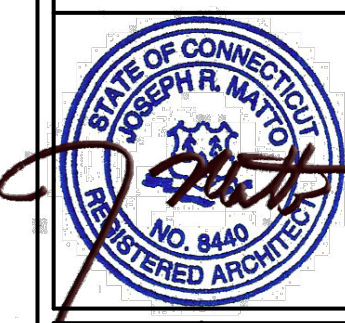
 Page A2



Issue Date
4/30/21

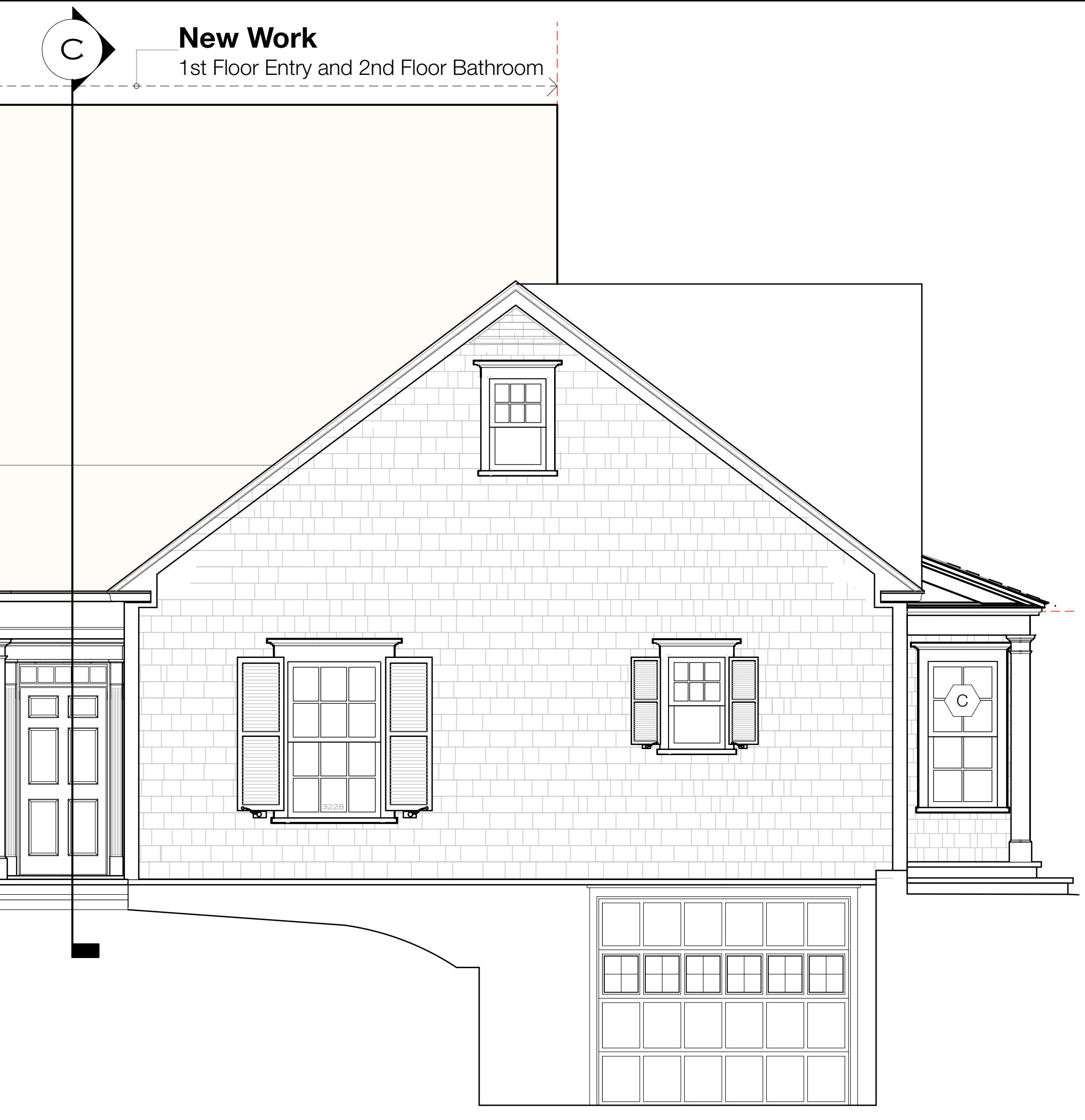
Revisions

Scale (s)
1:38,400

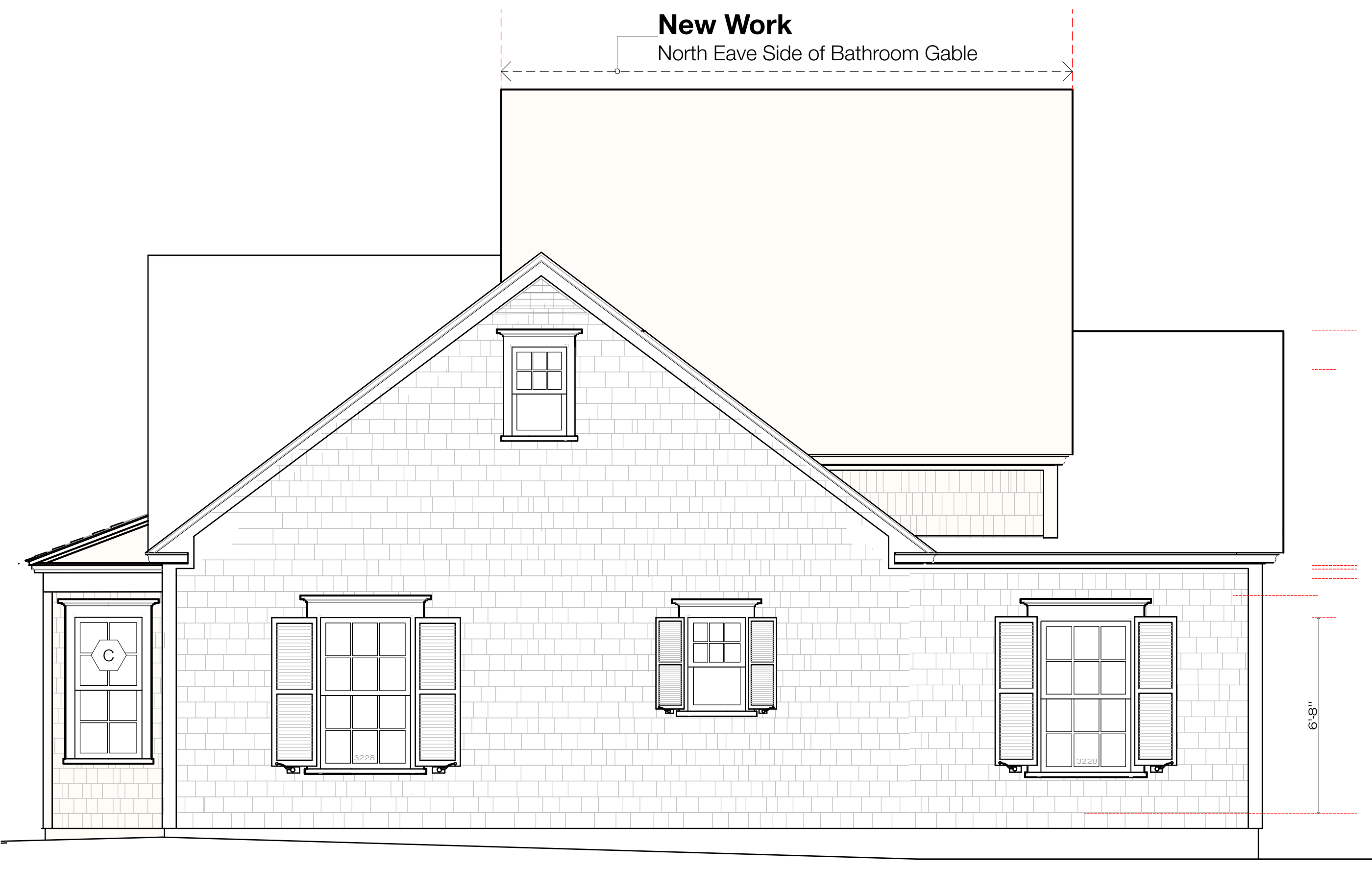


72 Bridge Street
Shelton, Ct.
06484
40 Witch Lane
Flowayton, Ct

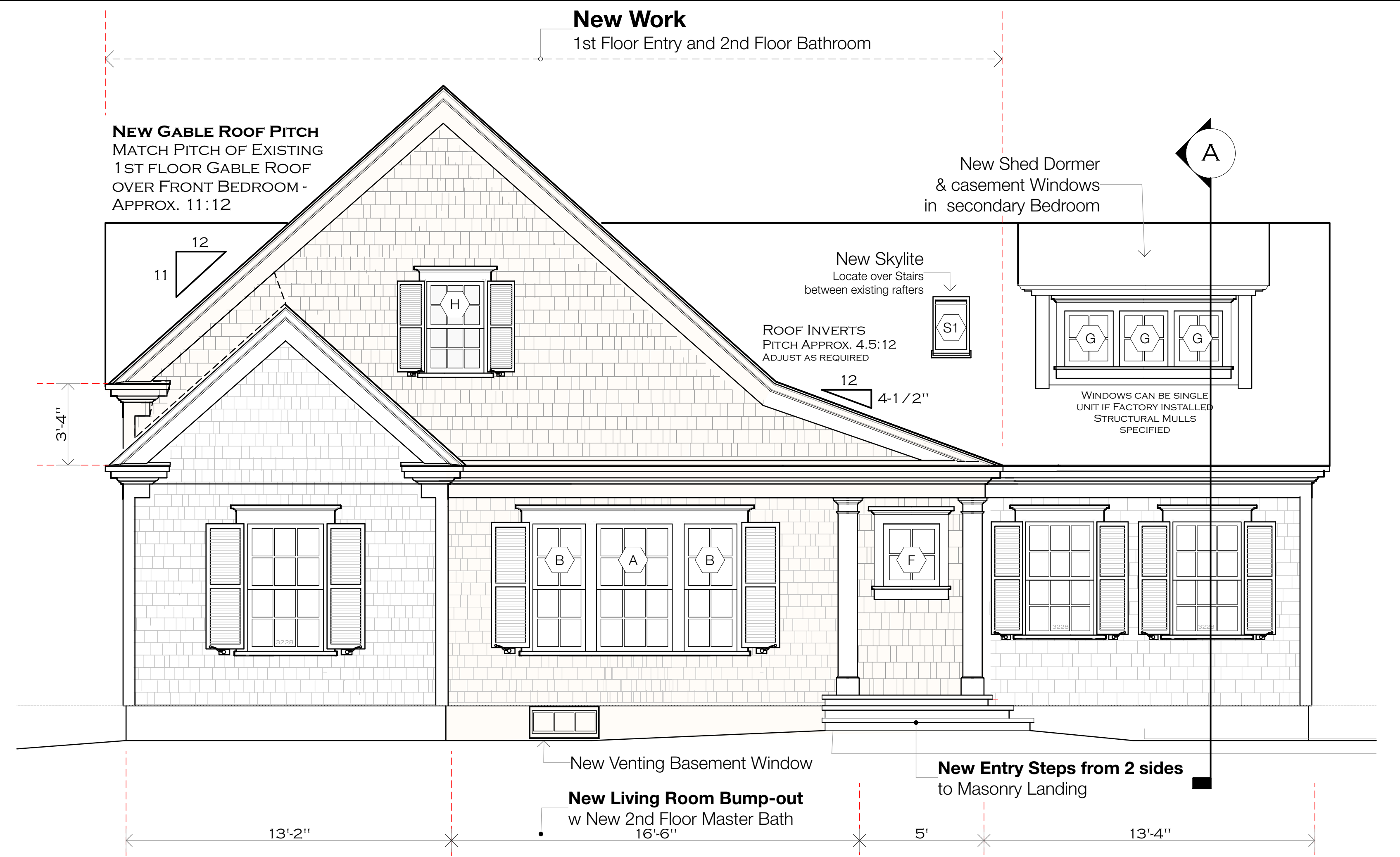
Joseph Matto Architect AIA
Denis and Leslie Kelly



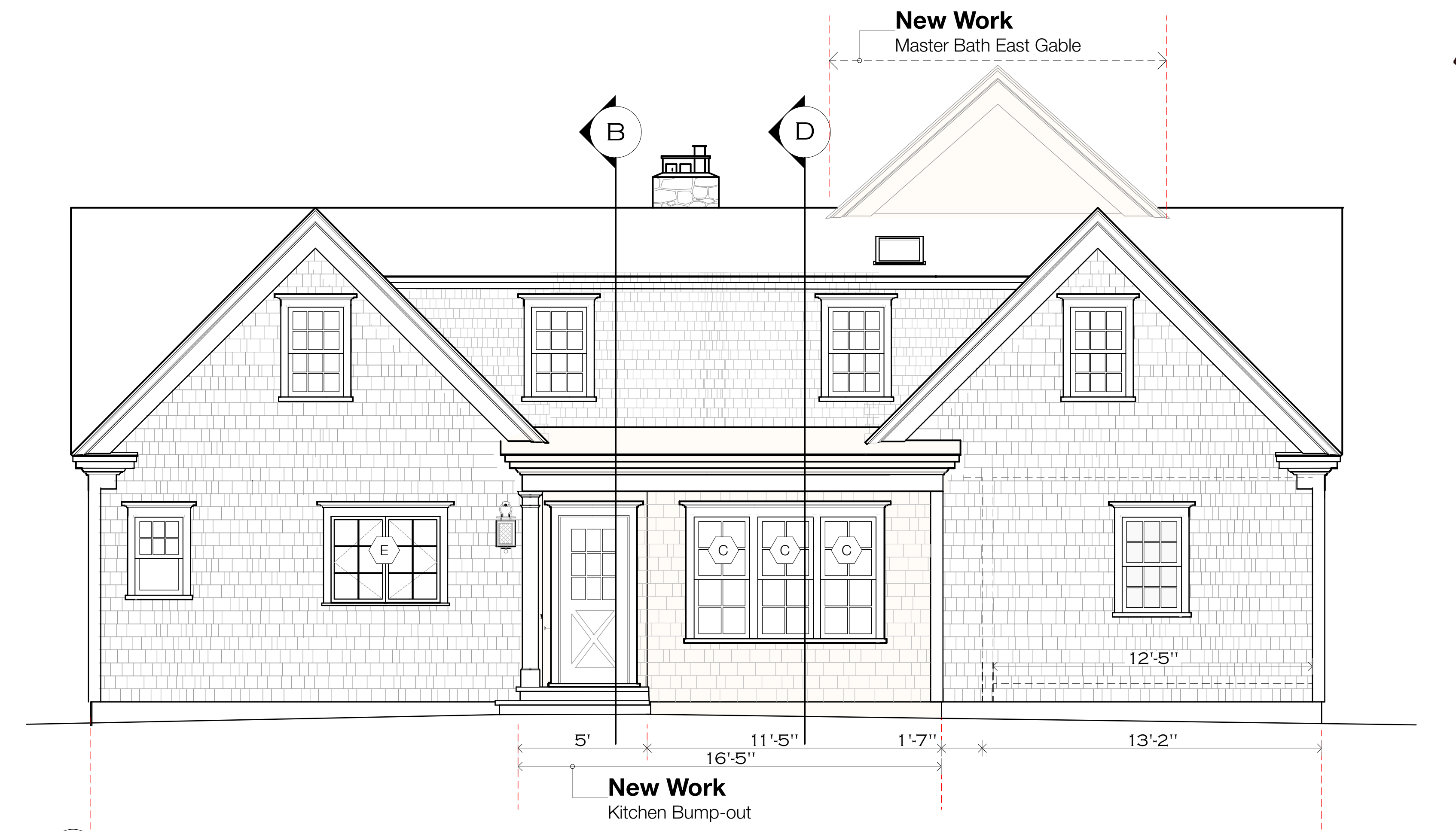
4 PROPOSED RIGHT SIDE (SOUTH) ELEVATION



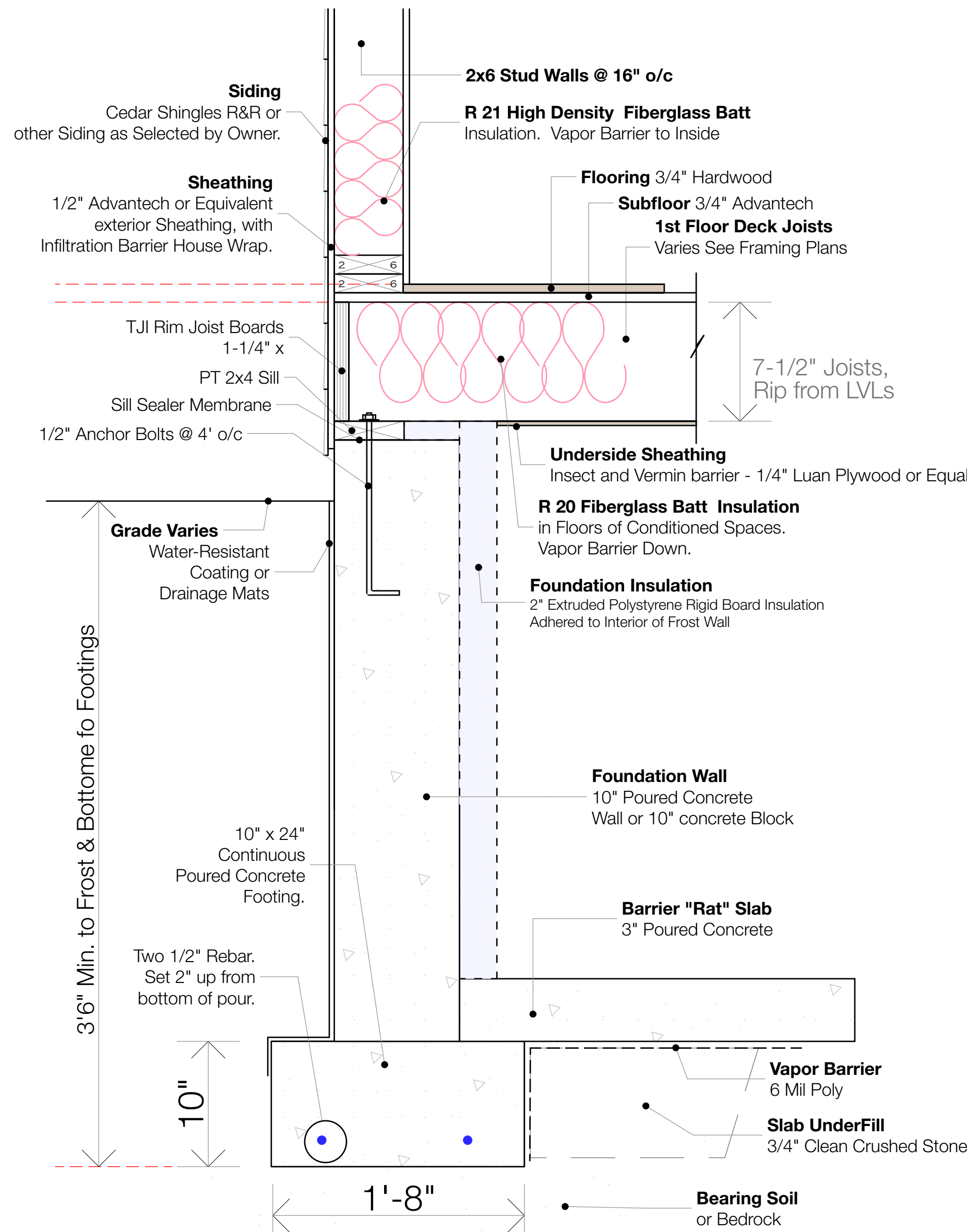
3 PROPOSED LEFT SIDE (NORTH) ELEVATION



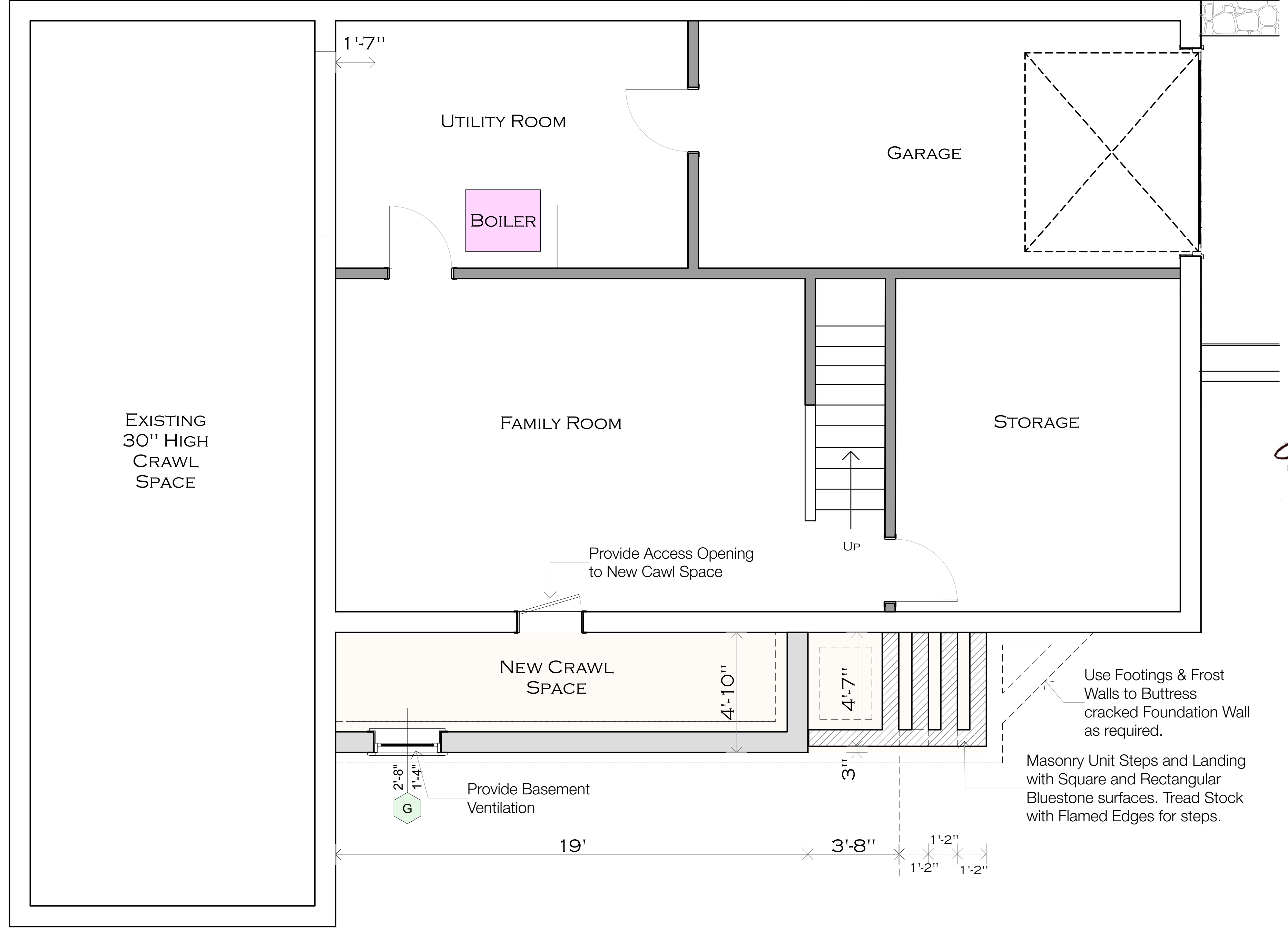
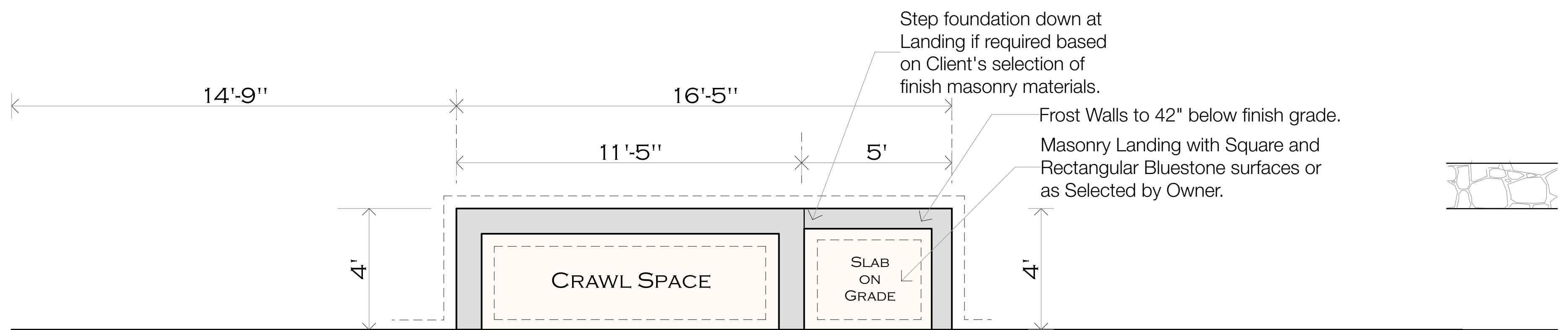
1 PROPOSED FRONT SIDE (WEST) ELEVATION



2 PROPOSED REAR (EAST) ELEVATION



2 PROPOSED LEFT SIDE (NORTH) ELEVATION



1 PROPOSED FOUNDATION ALTERATIONS

GENERAL FOUNDATION NOTES:

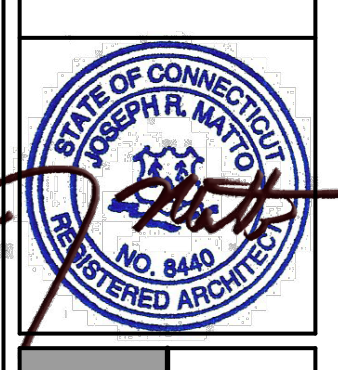
1. Concrete walls and slabs to be 3,000 PSI concrete (28 day compressive strength).
2. Provide expansion and control joints as per code.
3. All footings to be installed on undisturbed soil, and of suitable bearing capacity.
4. All footings to be installed a minimum of 3'6" below finished grade and a minimum of 1'6" below existing grade.
5. Do not backfill foundation walls until slab is in place unless a 2" x 4" continuous keyway is used on top of footings.
6. Anchor bolts to be 1/2" (unless otherwise specified) and to be spaced 48" o/c and 1' from corners. Embed bolts 7" minimum into foundation wall.
7. Steel columns are to exceed a minimum load carrying capacity of 24,000 lbs. @ 11" in height.
8. All multiple member LVL or Microlam beams to be thru-bolted with 1/2" diameter bolts, 2 rows @ 24" o/c, or as specified by manufacturer.
9. Field verify depth & location of stone veneer shelves or penetrations, etc., with Architect prior to pouring.
10. Field verify height of terrace and step foundation walls with Architect prior to pouring.
11. Reinforce foundation WALLS as follows if wall heights exceed 8':
2-#4 bars top & Bottom.
1 #4 bar @ 12" o/c vertically, set 2" in from the inside.
1 #4 bar @ 24" o/c horizontally, set to the inside of the vertical bars.
12. All building columns to be 4" steel on 36" x 36" x 12" poured concrete footings with 2-#4 rebar each direction, 2" from bottom of pour.
13. General Contractor to be responsible to ensure that all materials, methods, and structure are built in strict compliance of all governing municipal codes - City, state & federal.



Issue Date
4/30/21

Revisions

Scale (s)
3/8" = 1'-0", 1
1/2" = 1'-0"



72 Bridge Street
Shelton, Ct.
06484
40 With Lane
Flowayton, Ct.

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2x6 Pressure Treated Rim Joist
 2x6 Pressure Treated Sill
New Floor Joists
 2x6's @ 16"
 2x6 PT Sleepers @ 16"
 10" Poured Concrete Frost Wall

Masonry Entry Landing
 4" Poured Concrete Slab on 8" Poured Concrete Frost Wall.
 Compact if Fill is required. Use 3/4" crushed stone.
 Finish surface 1" Bluestone Square & Rectangular or as selected by Owner

Provide EPDM Membrane, flashing or other water resistant system as required to isolate Main House from Masonry Landing

Existing Bedroom
 Existing Mudroom/ Sunporch
 Existing Kitchen & Bathroom Areas

Existing Living Room
 Existing Dining Room
 Existing Stair well for Basement Stairs

Provide EPDM Membrane, flashing or other water resistant system as required to isolate Main House from Masonry Landing

Existing 2x10 Floor Joists (VERIFY IN FIELD)
 Add hangers as Accessible or required.

New 9-1/2" LVL Flush Ledger
 Bolt alongside and into exterior of EXISTING 1st Floor Rim Joists

9-1/2" TJI's @ 16" o/c SERIES 230
 Fasten with TJI Joist Hangers

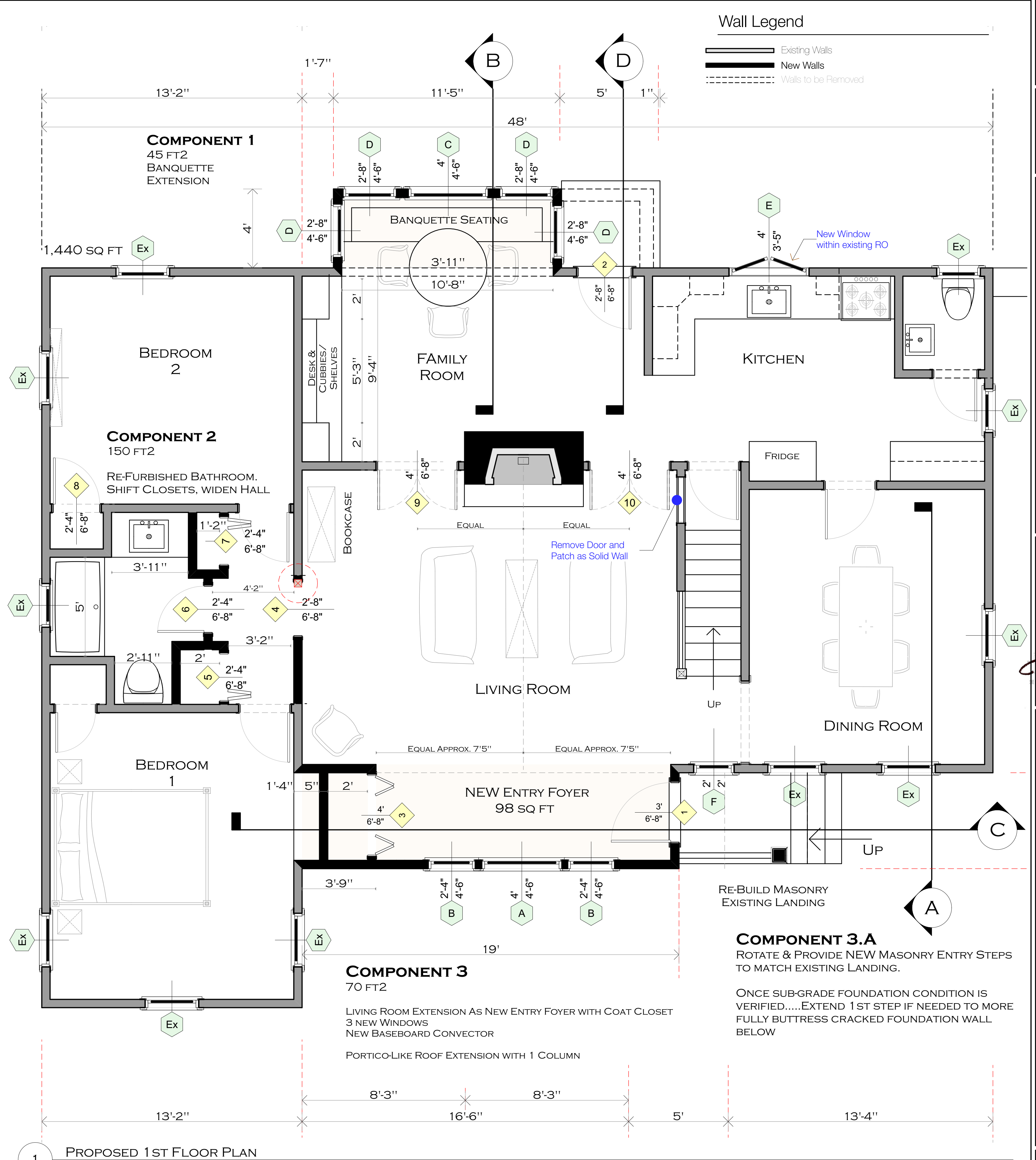
New 9-1/2" Rim Joist
 Use 1-3/4" LVL in place of "1-1/4" Rim Board"

APPROX. DISTANCE TO 1ST RISER OF MASONRY LANDING

New 9-1/2" Flush LVL LEDGER.
 Bolt 24" O/C alongside and into exterior of EXISTING 1st Floor Rim Joists

RE-BUILD EXISTING MASONRY
 REFURBISH EXISTING LANDING
 FINISH MATERIALS AS SELECTED BY OWNER

2 1ST FLOOR ADDITIONS - FRAMING PLANS



1 PROPOSED 1ST FLOOR PLAN

Issue Date
 4/30/21

Revisions

1st Floor Plan

Scale (s)
 1:33.103

STATE OF CONNECTICUT
 JOSEPH R. MATTO
 REGISTERED ARCHITECT
 NO. 8440

72 Bridge Street
 Shelton, Ct. 06484
 40 Witch Lane
 Flowayton, Ct.

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Issue Date

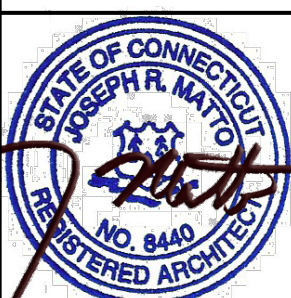
4/30/21

Revisions

2nd Floor Plan

Scale (s)

3/8" = 1'-0", 1
1/2" = 1'-0"



72 Bridge Street
Shelton, Ct.
06484

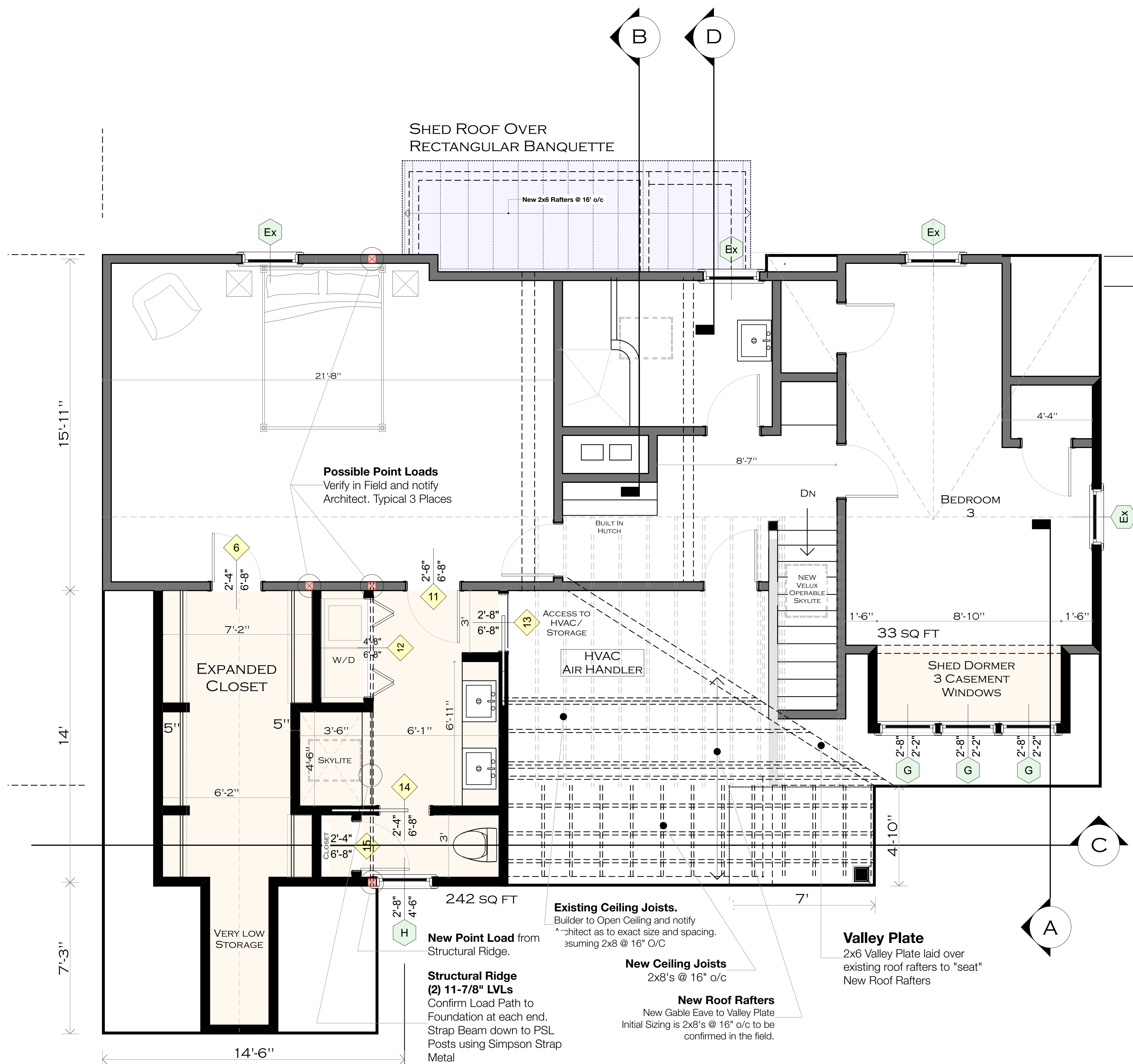
Joseph Matto Architect AIA

40 Witch Lane
Flowayton, Ct

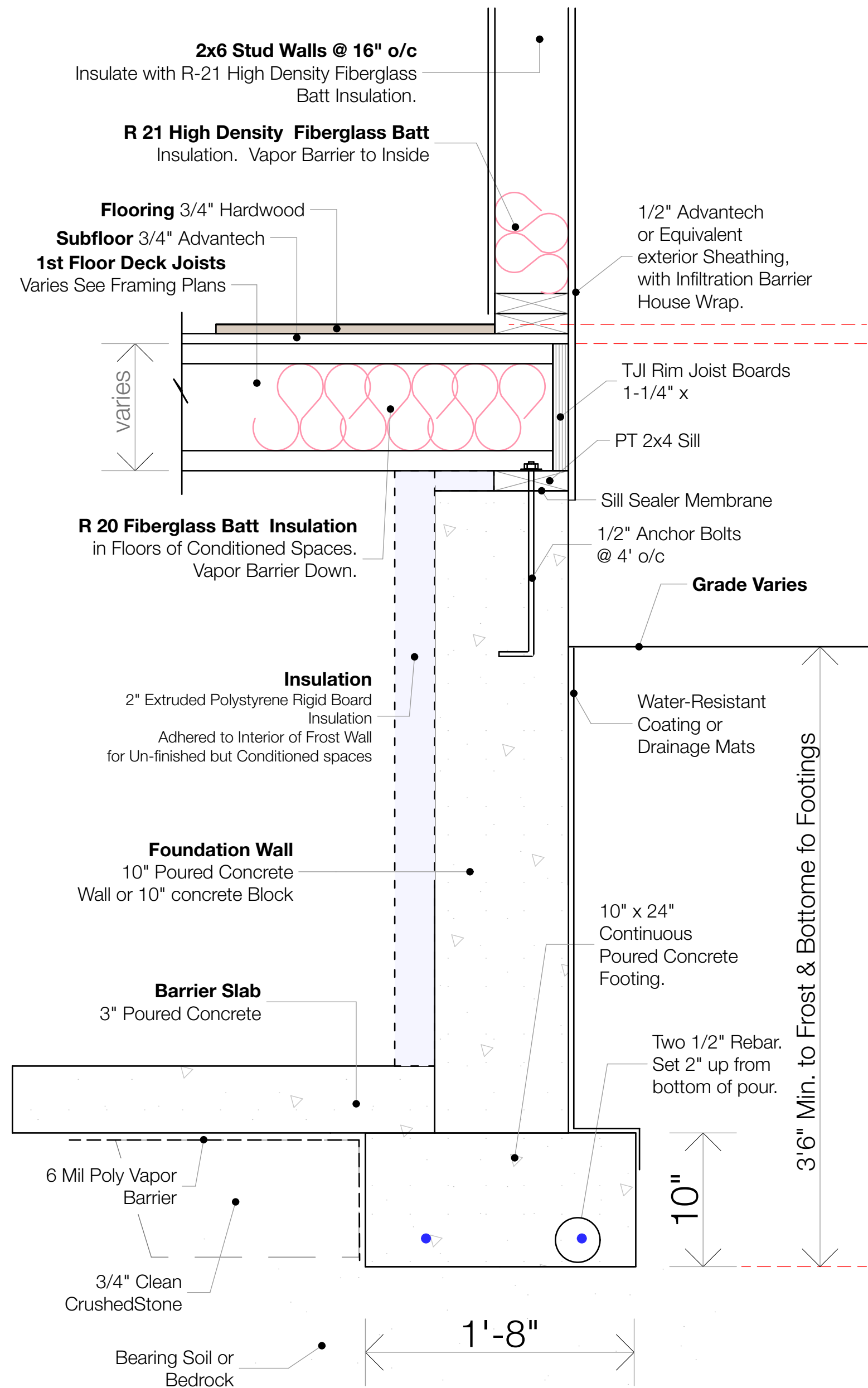
Denis and Leslie Kelly

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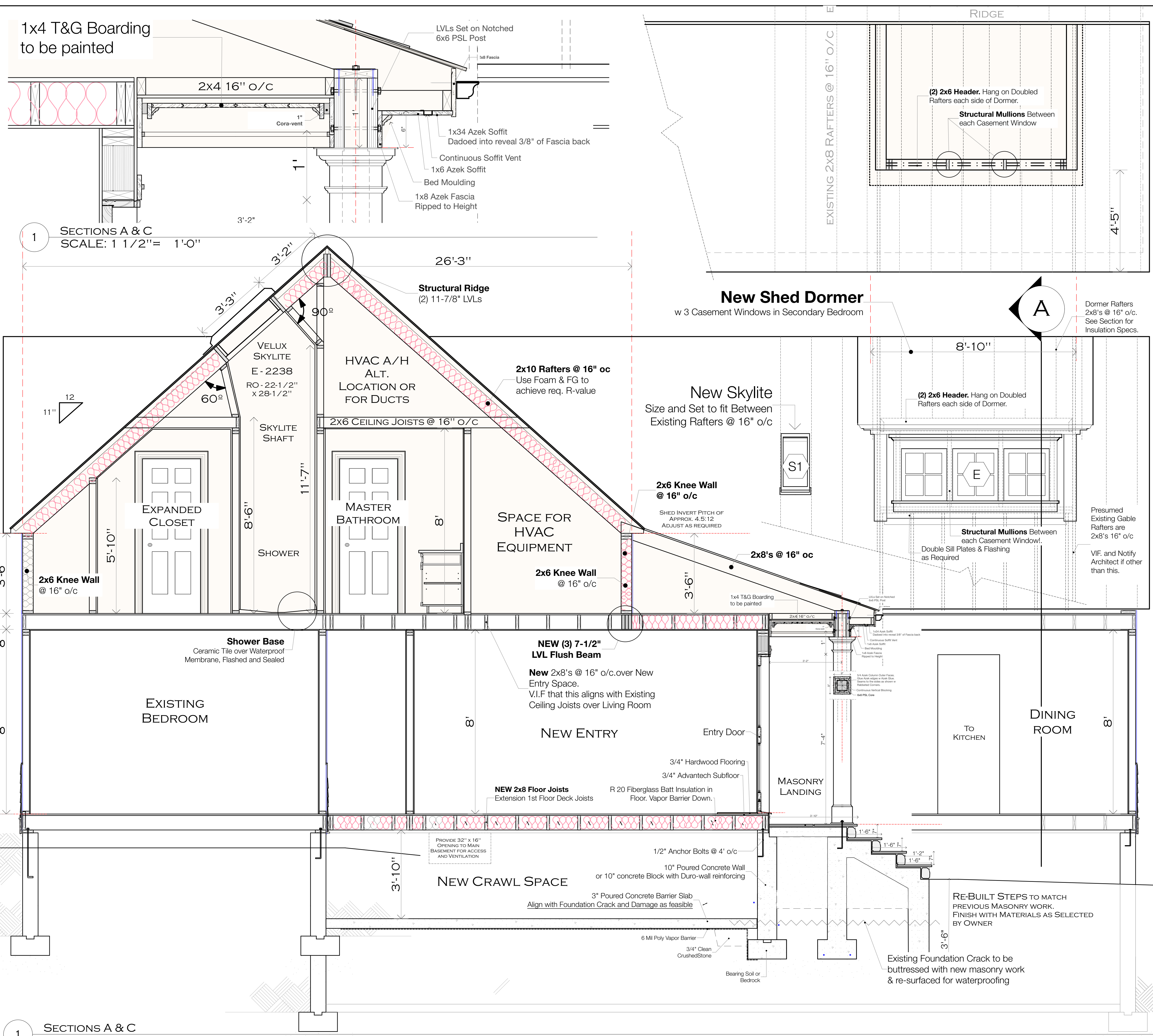
A6



1 PROPOSED 2ND FLOOR PLAN

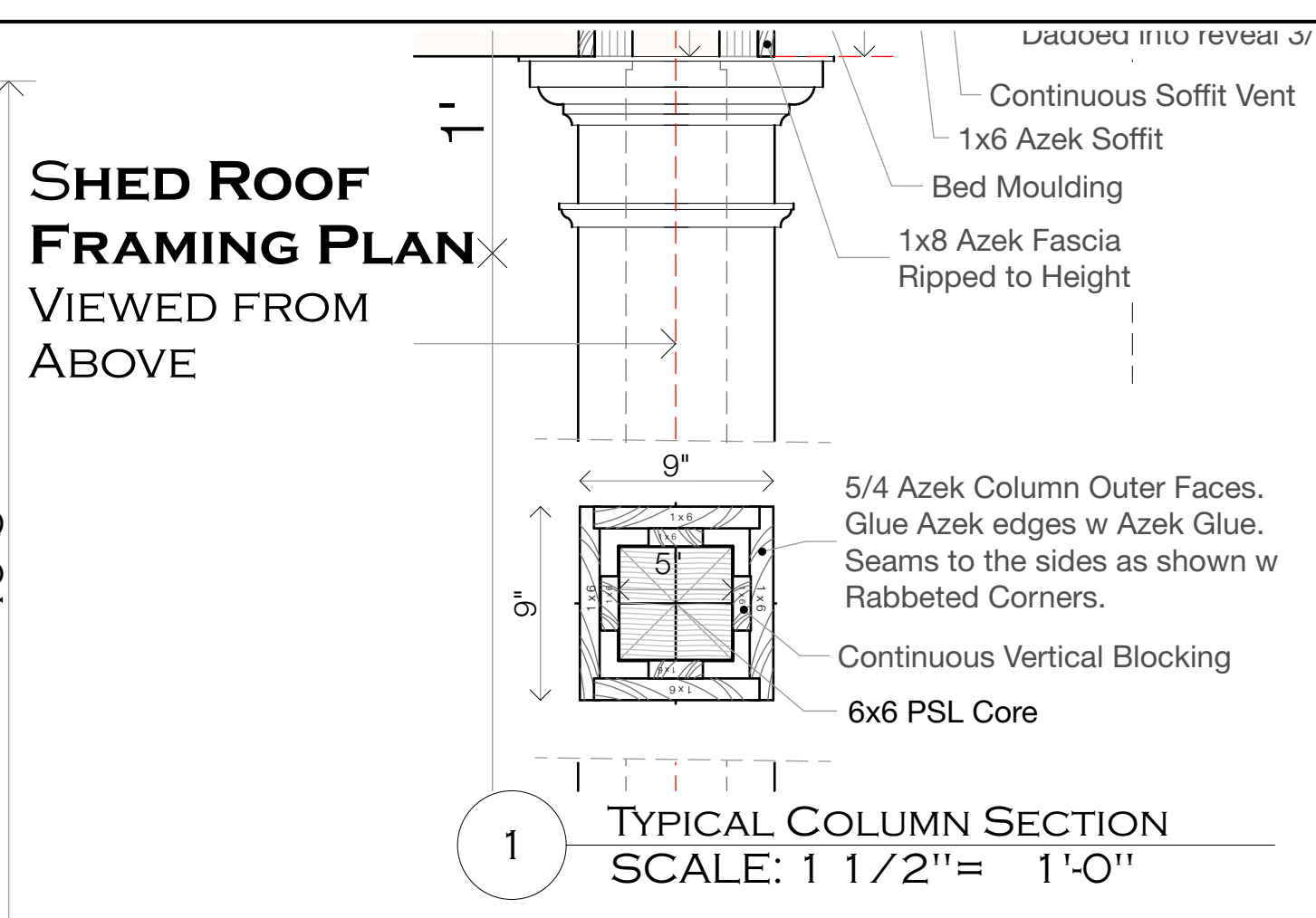


3 FRONT FOYER BUMP-OUT CARWL SPACE & FROST WALL
SCALE: 1 1/2" = 1'-0"

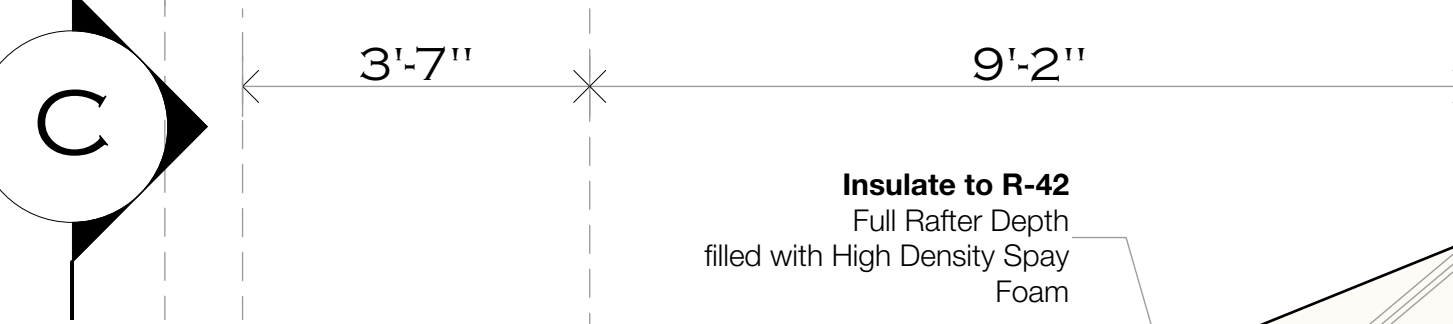


1 SECTIONS A & C
SCALE: 1/2" = 1'-0"

New Shed Dormer
w 3 Casement Windows in Secondary Bedroom



SHED ROOF FRAMING PLAN
VIEWED FROM ABOVE



New Shed Dormer Roof
with 3 Casement Windows.
Egress requirement met with other windows in this room.

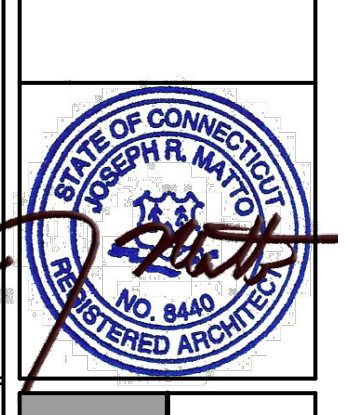


Issue Date
4/30/21

Revisions

Cross Sections A & C - Long Section & Shed Dormer

Scale (s)
1/2" = 1'-0", 1
1/2" = 1'-0"

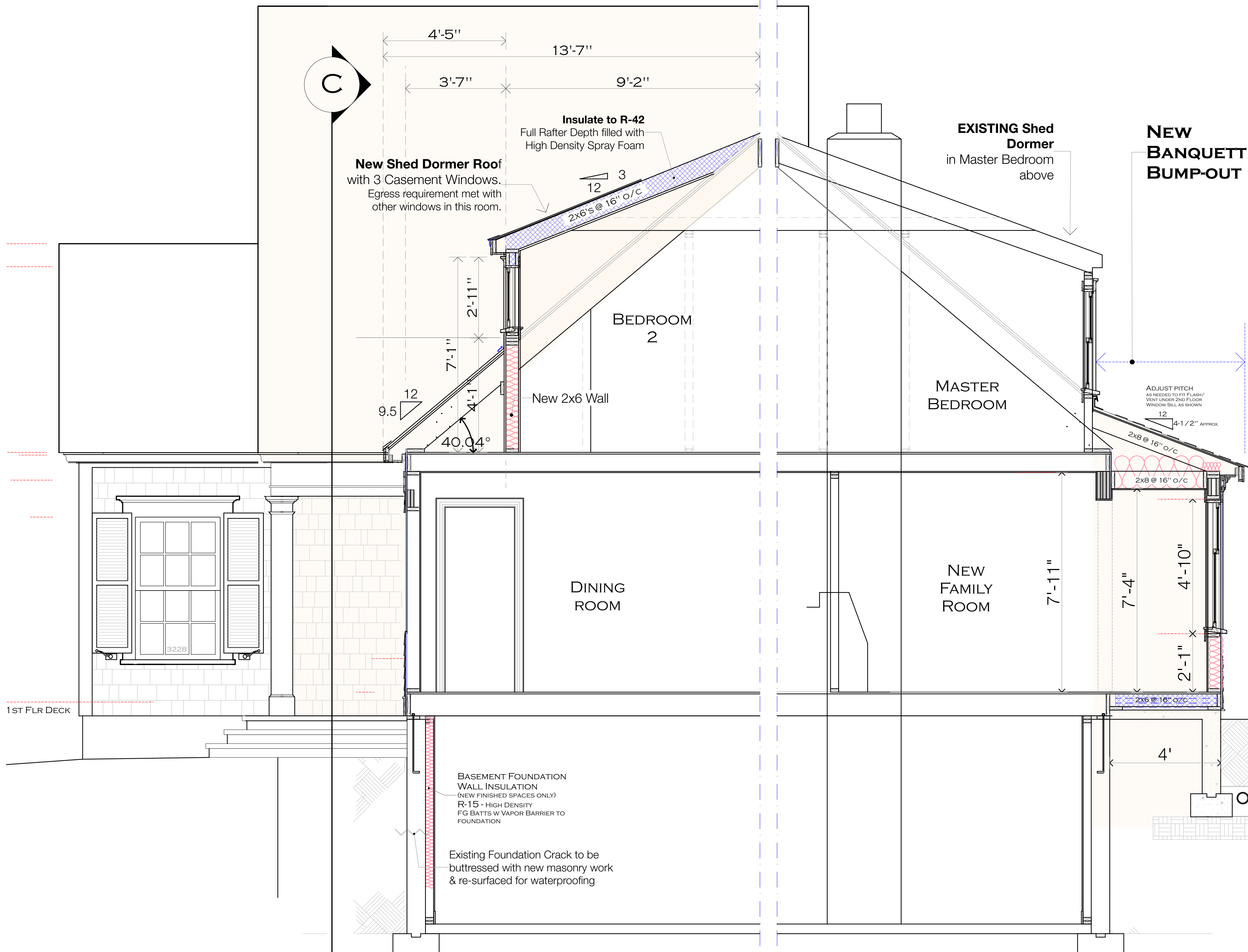


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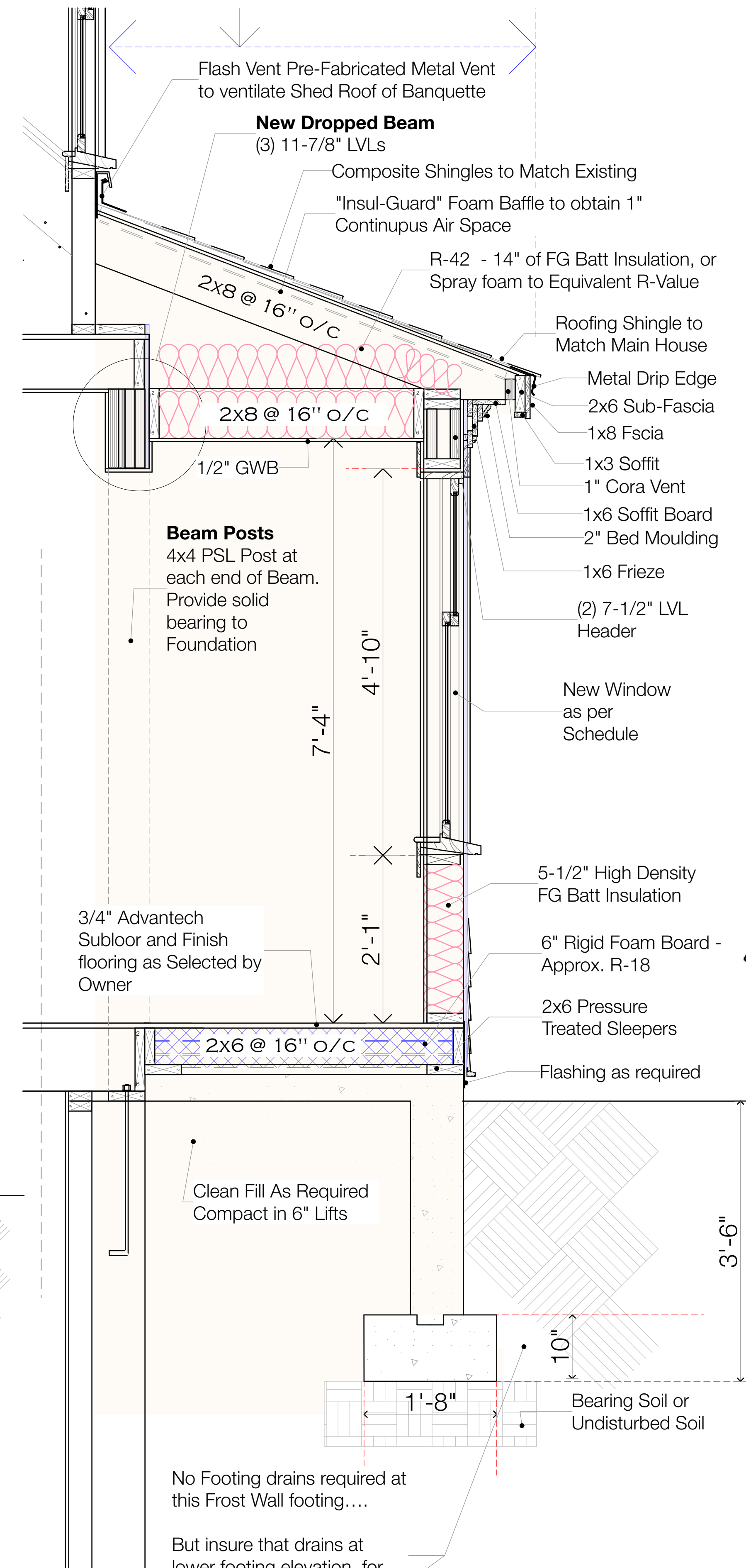
40 Witch Lane
Flowayton, Ct

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CROSS SECTION D THRU MAIN BODY OF HOUSE AT MBR & NEW FR LOOKING NORTH



SECTION D - DETAILS & MATERIAL SPECS
SCALE: 1" = 1'-0"



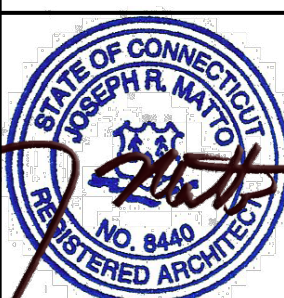


Issue Date
4/30/21

Section Details - Banquette Roof/Ceiling

Revisions

Scale (s)
1 1/2" = 1'-0", 1/2" = 1'-0", 1" = 1'-0"

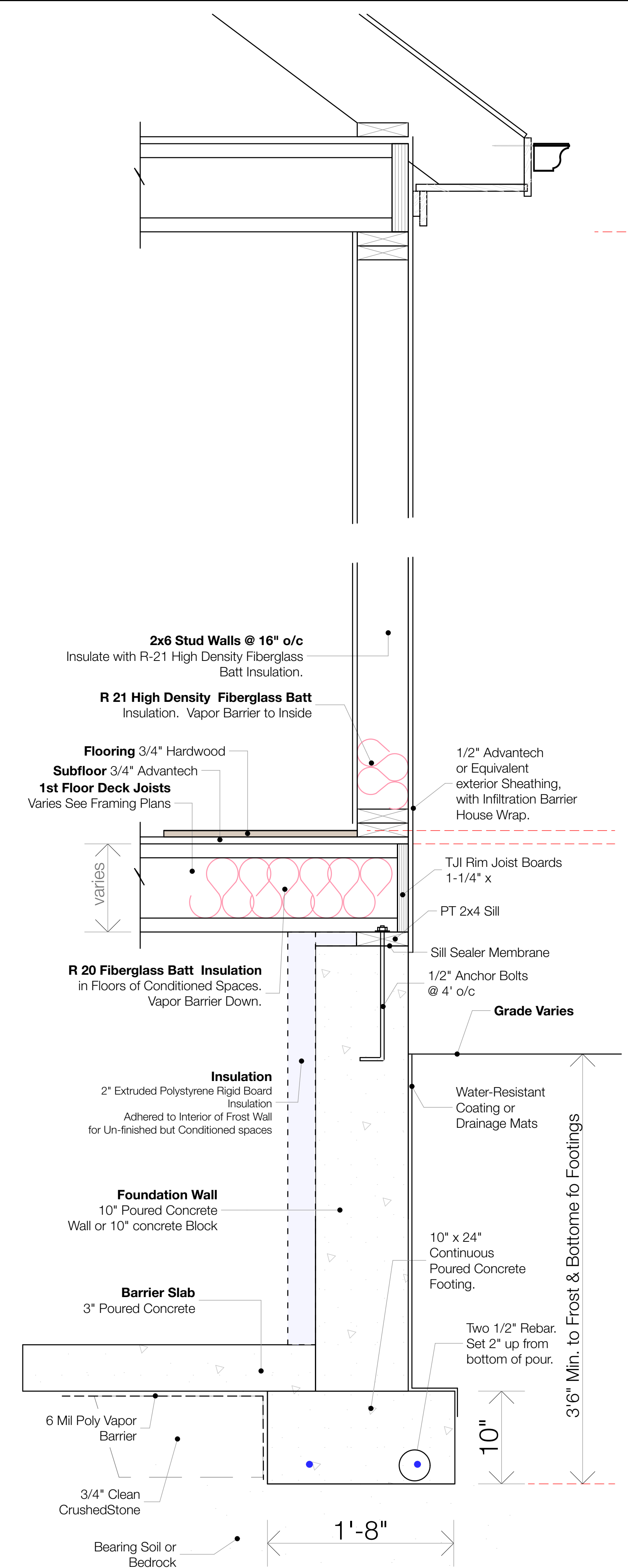


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3 TYPICAL WALL CONDITIONS FOR CRAWL SPACES
SCALE: 1 1/2" = 1'-0"

Wall Legend

- Existing Walls
- New Walls
- - - Walls to be Removed

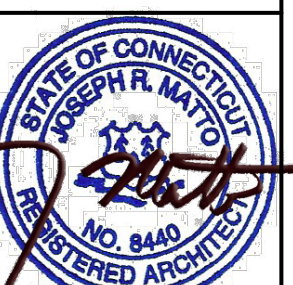


Issue Date
4/30/21

Revisions

NO.	DESCRIPTION

Scale (s)
1:30, 3/8" = 1'-0"

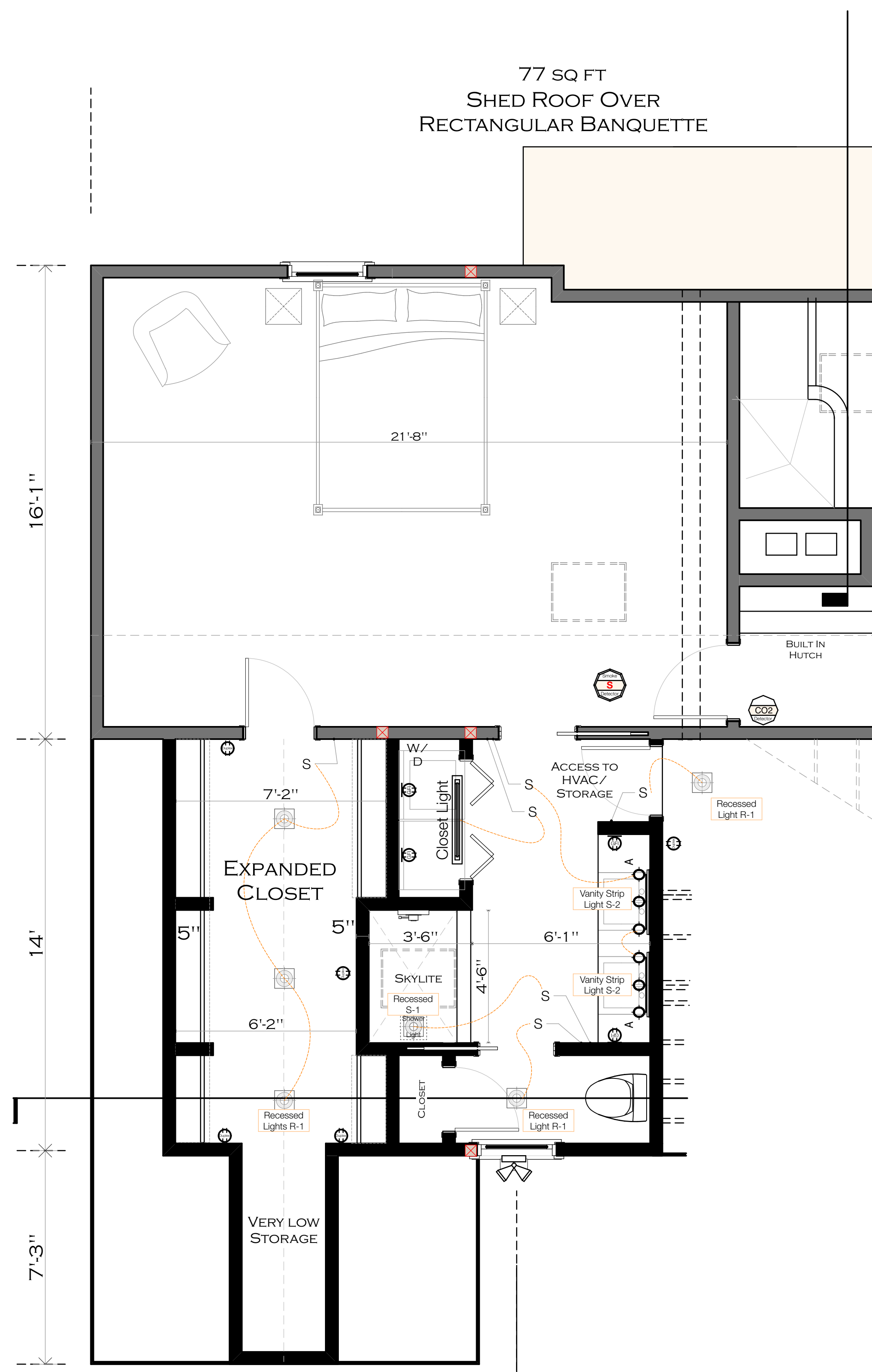


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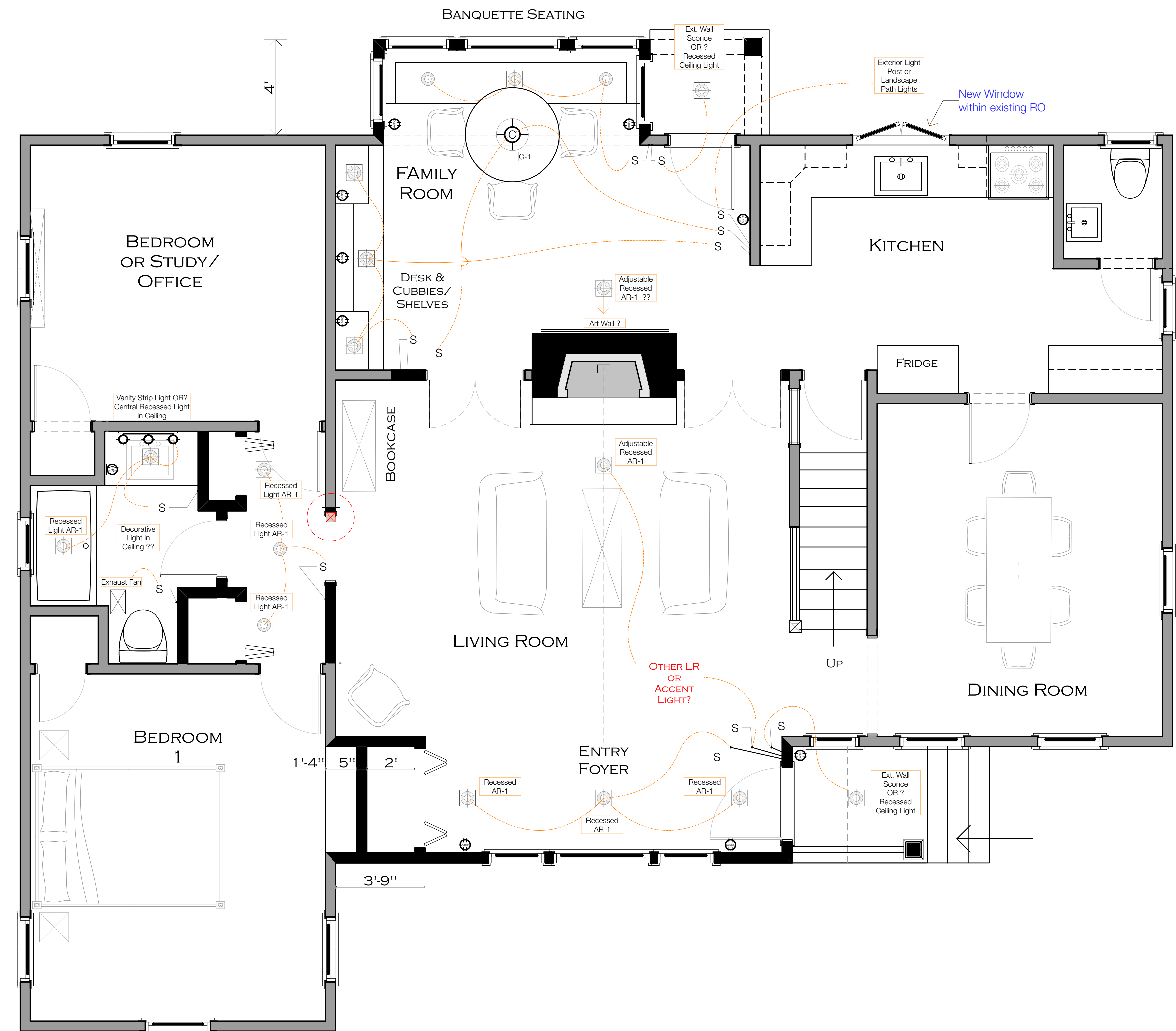
40 Witch Lane
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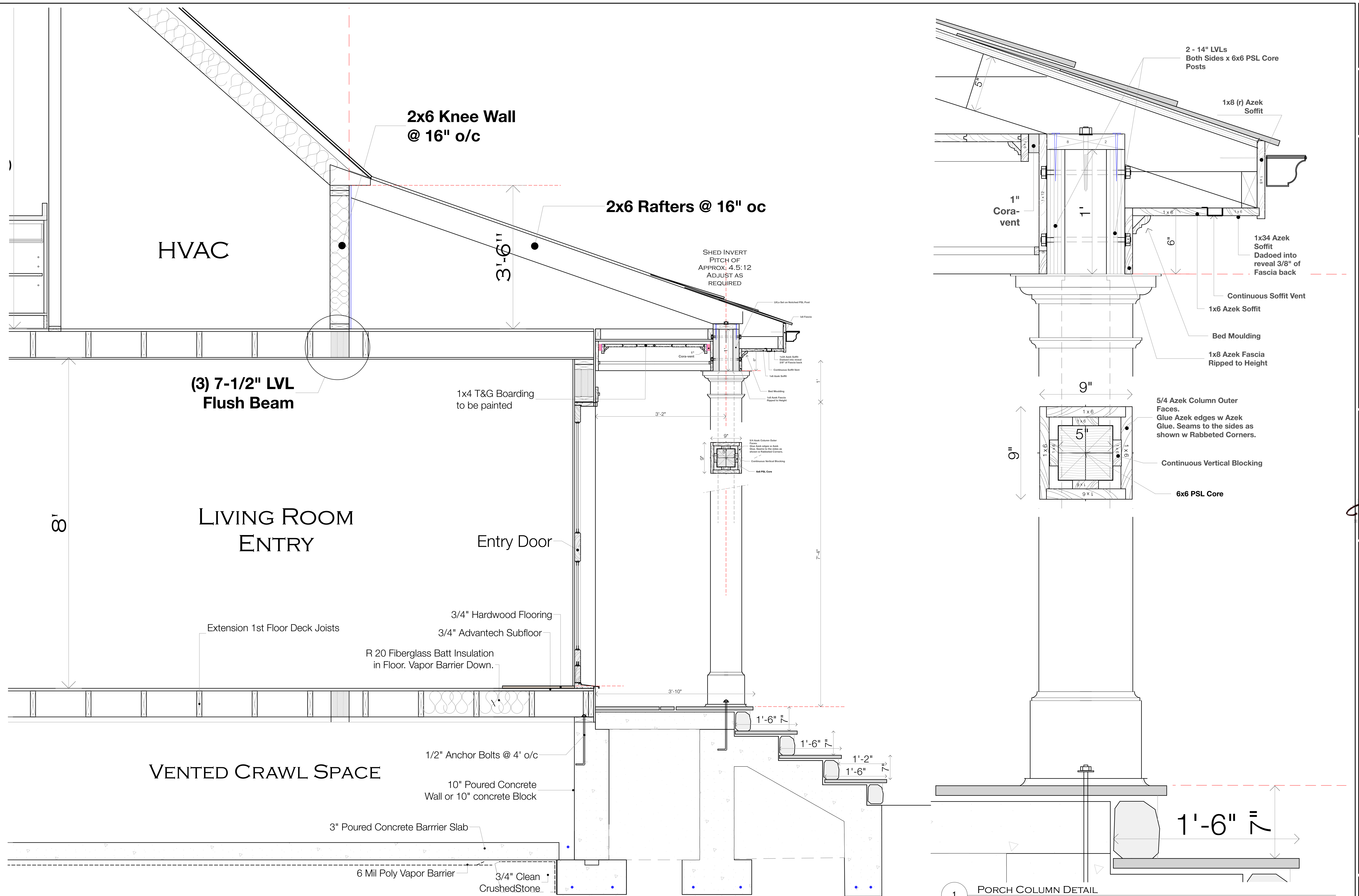
Page
E1



2 2ND FLOOR - ELECTRICAL & LIGHTING LAYOUT



1 1ST FLOOR - ELECTRICAL & LIGHTING LAYOUT IN REMODELED AREAS



2x6 Knee Wall
@ 16" o/c

2x6 Rafters @ 16" oc

HVAC

(3) 7-1/2" LVL
Flush Beam

LIVING ROOM
ENTRY

Entry Door

VENTED CRAWL SPACE

1" Cora-vent

2 - 14" LVLs
Both Sides x 6x6 PSL Core
Posts

1x8 (r) Azek Soffit

1x34 Azek Soffit
Dadoed into
reveal 3/8" of
Fascia back

Continuous Soffit Vent

1x6 Azek Soffit

Bed Moulding

1x8 Azek Fascia
Ripped to Height

5/4 Azek Column Outer
Faces.
Glue Azek edges w Azek
Glue. Seams to the sides as
shown w Rabbeted Corners.

Continuous Vertical Blocking

6x6 PSL Core

1 PORCH COLUMN DETAIL
SCALE: 3" = 1'-0"



Issue Date	4/30/21
Section Details - Front Porch Column, Landing Details	
Revisions	

Scale (s)
3" = 1'-0", 1"
= 1'-0"

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Denis and Leslie Kelly

110 MPH - Wind Design

See Section R301.2.1.1 of the 2003 International Residential Code.

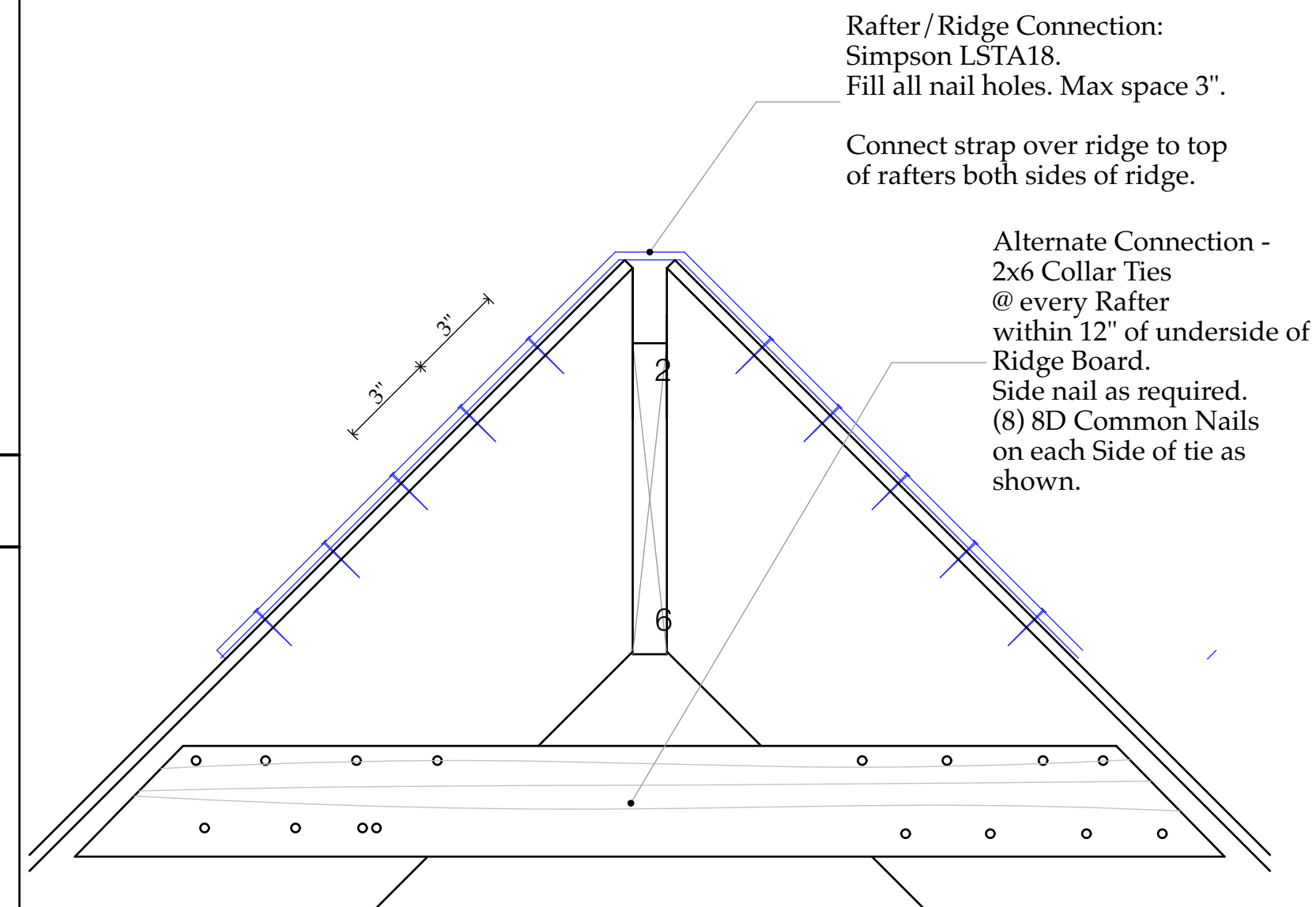
Additional Connection, Nailing & Sheathing Methods can be referenced in **The Wood Framing Construction Manual-2001, or IRC 2015 Chapter 6.**

These 2-D Details are re-produced from handouts provided By Christopher Laux, The Connecticut State Building Inspector at the time, to all Connecticut Architects as suitable methods for meeting the 110 MPH Design requirements of Section R301.2.1.1 of the 2003 IRC. These same details meet the IRC 2015 requirements.

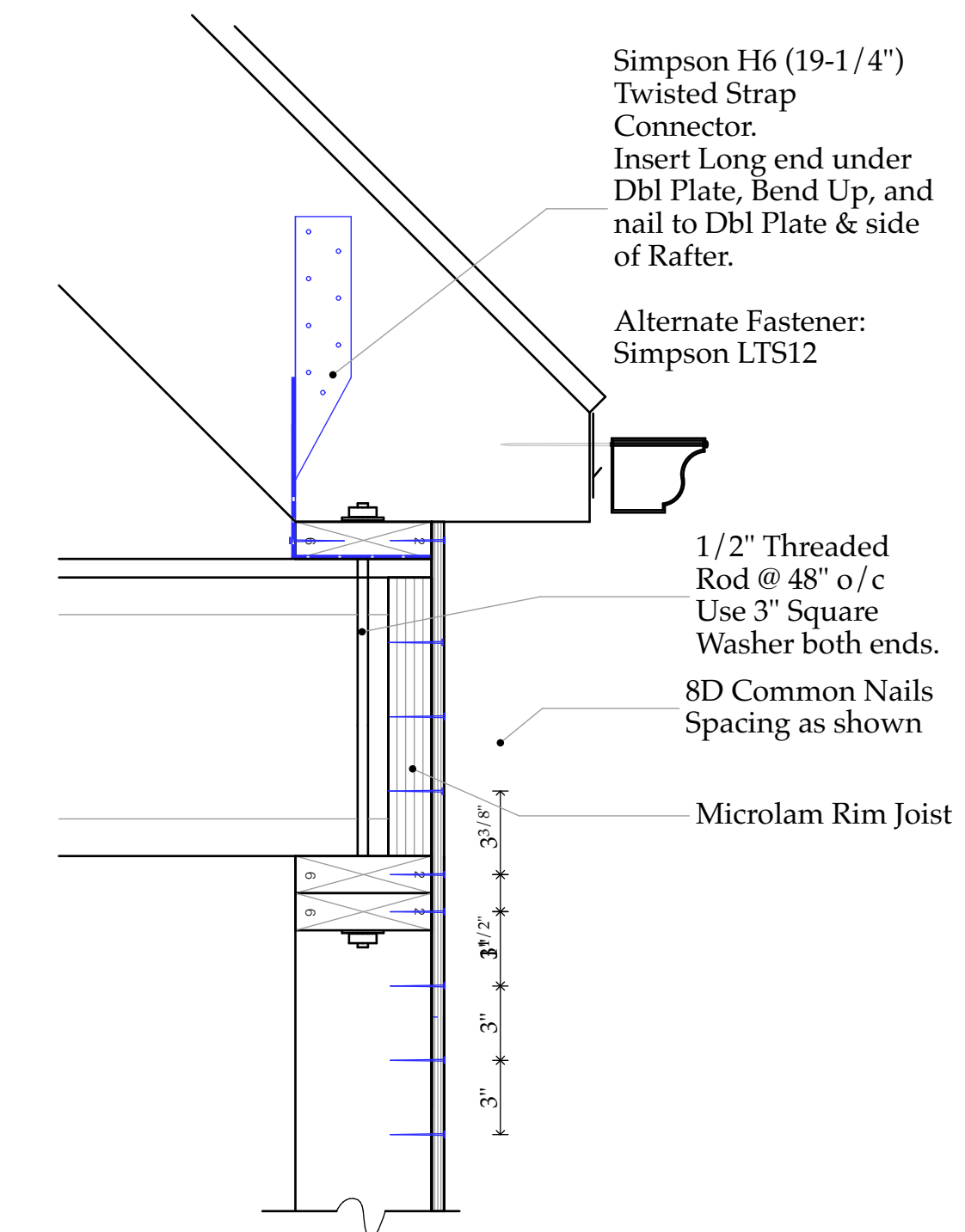
Corner Hold-down Details for Shear Wall conditions are reproduced from the most current "Simpson" High Wind Design Guide

Schedule of Approved Connectors

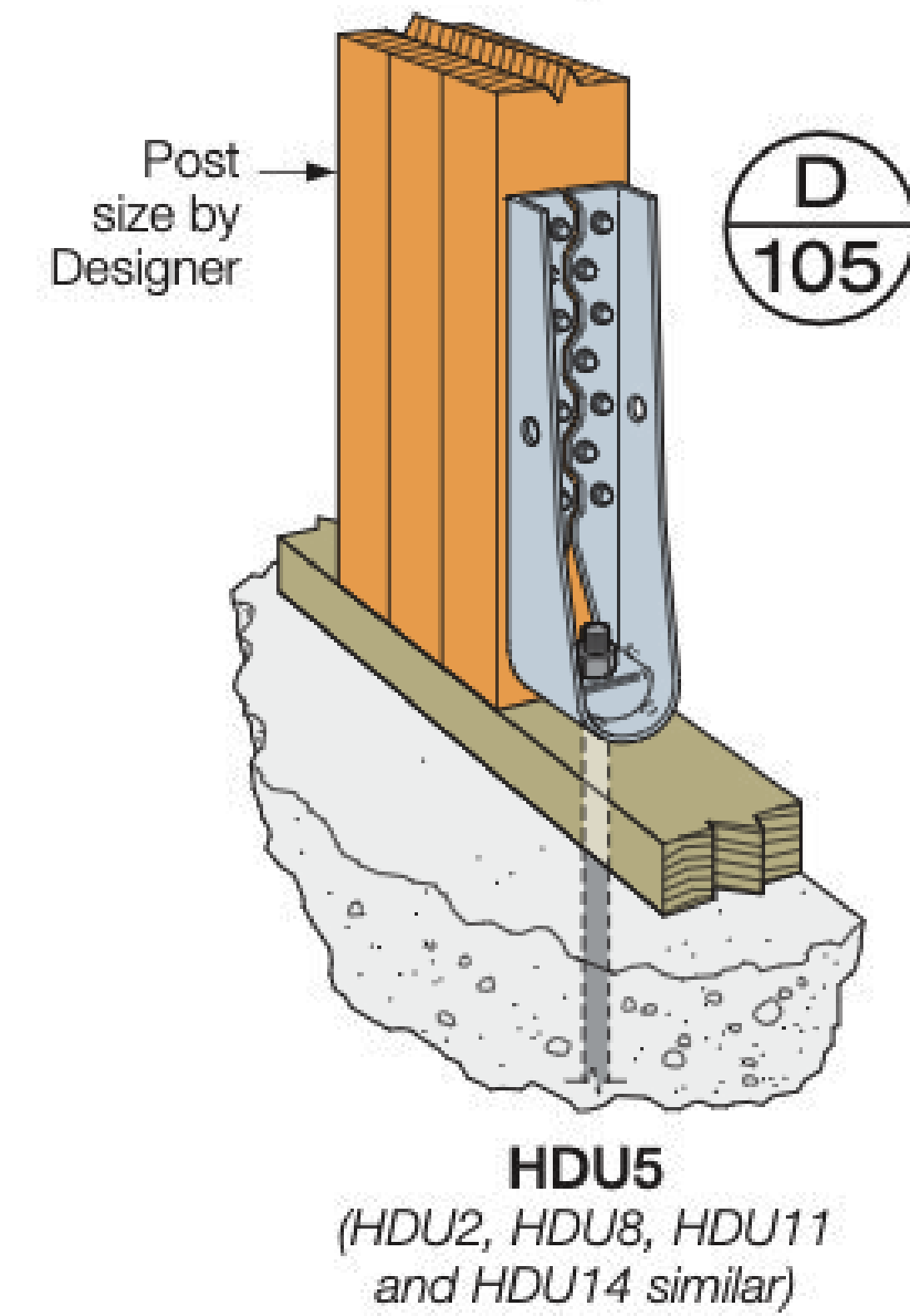
Type	Manufacturer	Application
Anchor Bolt	Generic	Sill Plate to Foundation @ 48" o/c.
CS Series	Simpson	Floor to Floor @ 32" o/c.
STHD Series	Simpson	At Door & Window Openings
RSP4	Simpson	Deck to Foundation
HTT22	Simpson	Deck to Foundation
H7	Simpson	Wood Stud to Foundation
ST 2115	Simpson	Rafters to Top Wall Plates
LSTA 15	Simpson	Stud-to-Stud Straps
HUTF/HUSTF	Simpson	Rafter-to-Rafter Over Ridge
ITT/HIT/MIT	Simpson	Solid Wood Joist Hangers
BC8	Simpson	Top Flange Joist Hangers (TJI's)
CC w strap	Simpson	Wood Post Base
LCC	Simpson	Wood Post Cap
	Simpson	Building Column Cap
16 Common - .162"	Wall & Floor Framing	
12 Common - .148"	Toe Nailing	
10 D - .148"	Sheathing, Toe Nailing	
8D - .131"	Wall & Roof Sheathing	



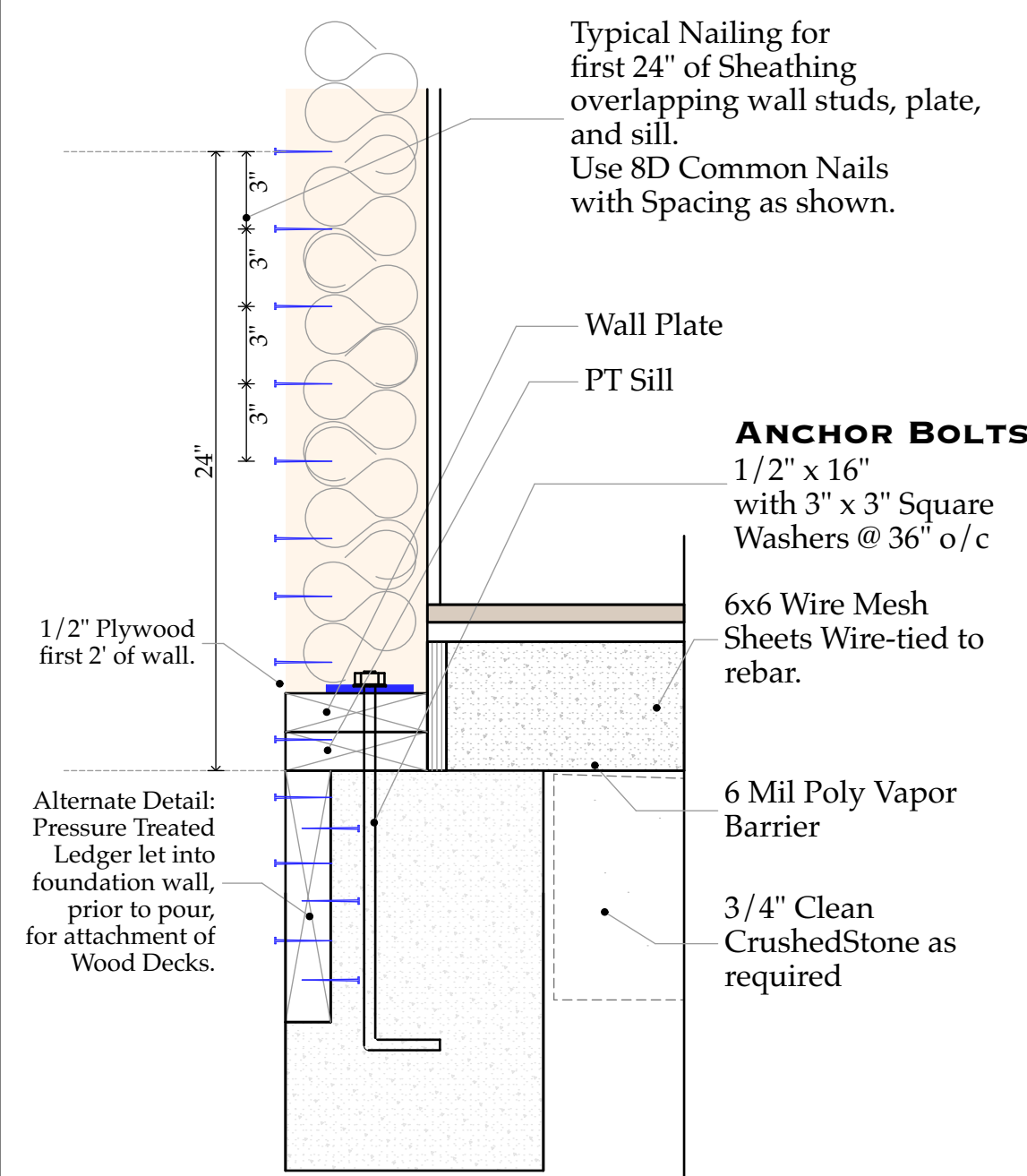
Rafter to Ridge to Rafter Connection @ Top of Roof



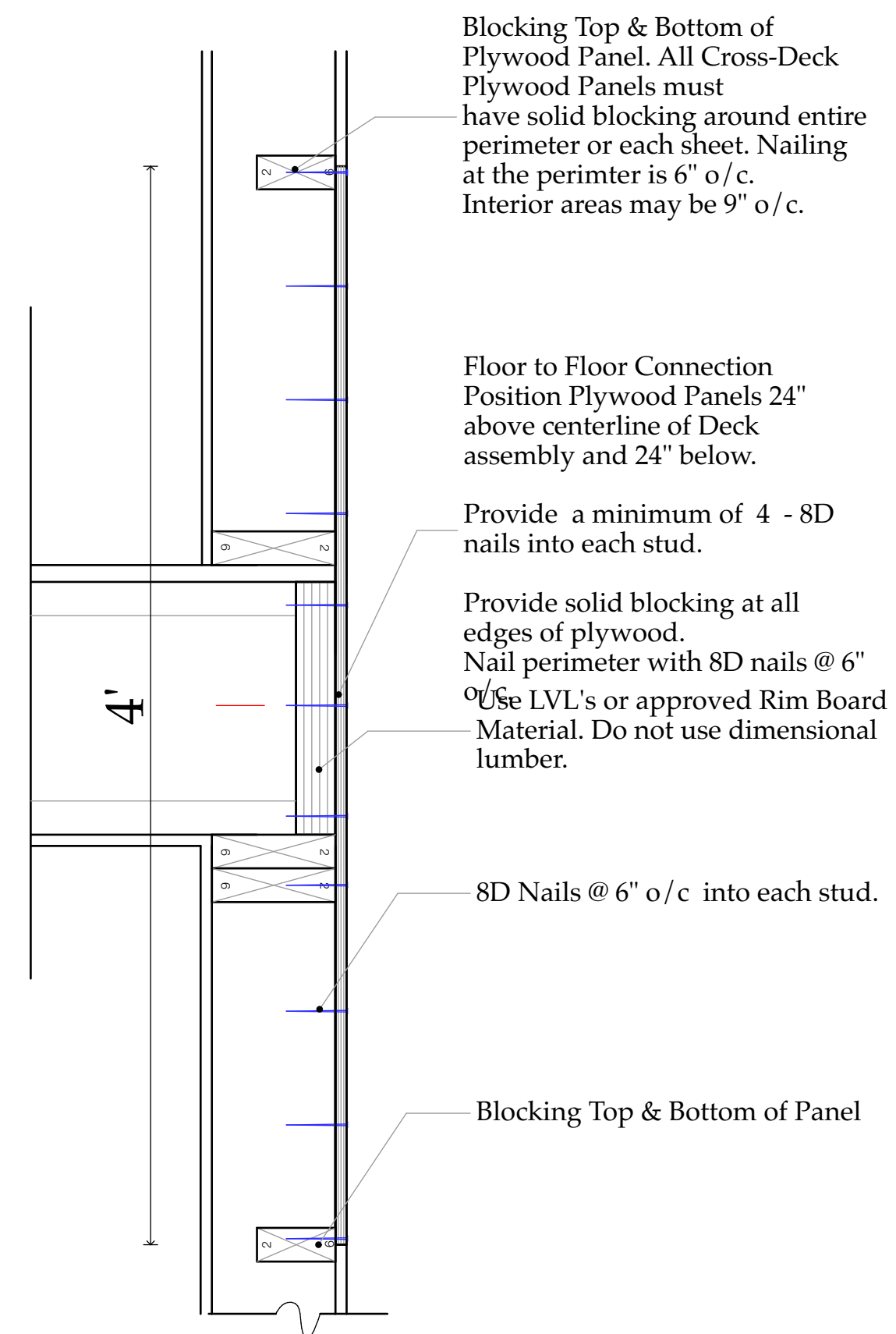
Roof to Floor Deck & Wall Connection



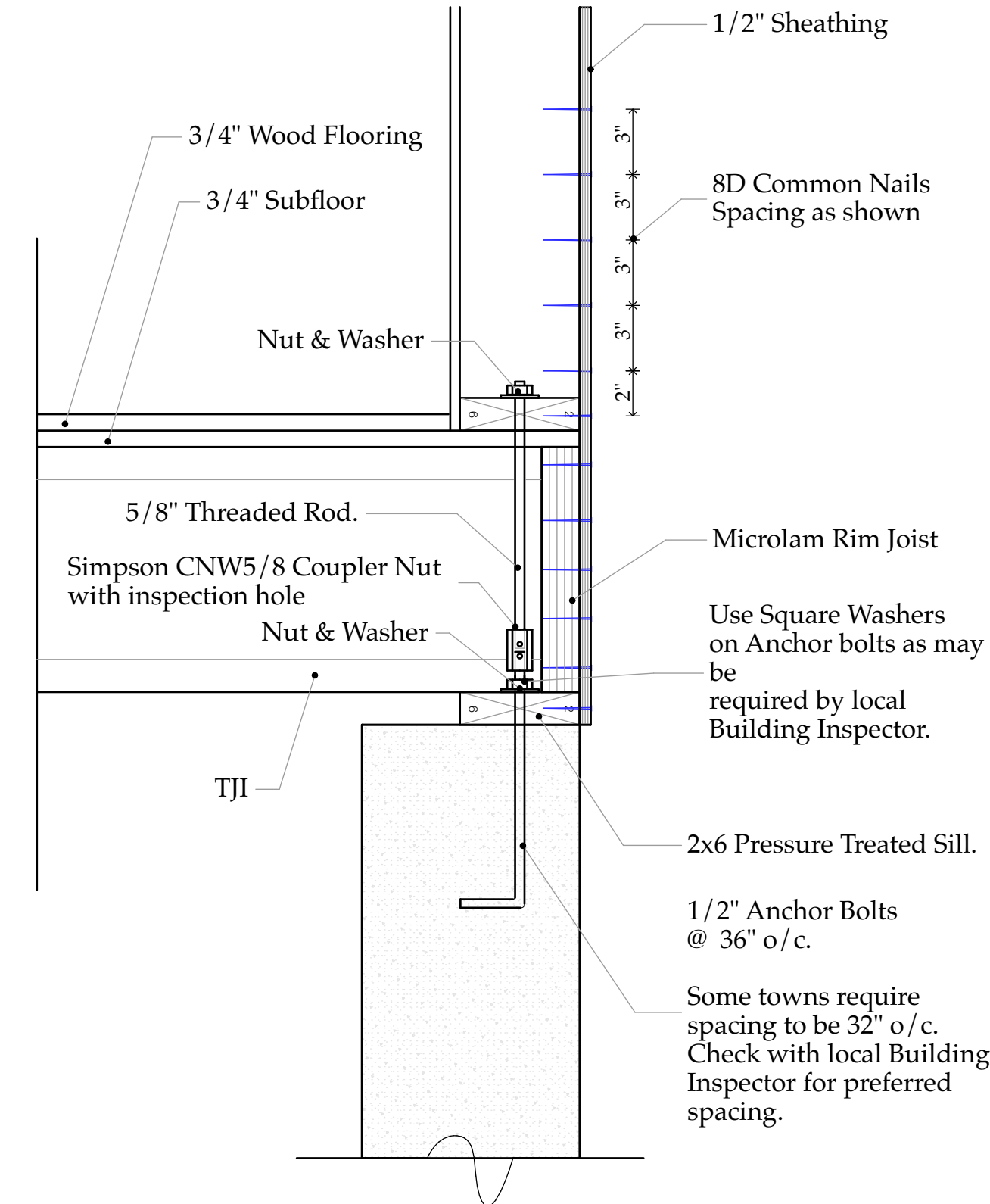
Corner Hold-Downs
Use HDU5 @ Uplift Ends of Shear Walls
SPF Allowable Lift (Load) = 4,065 lbs



Wall Directly To Foundation with
Adjacent Slab Floor

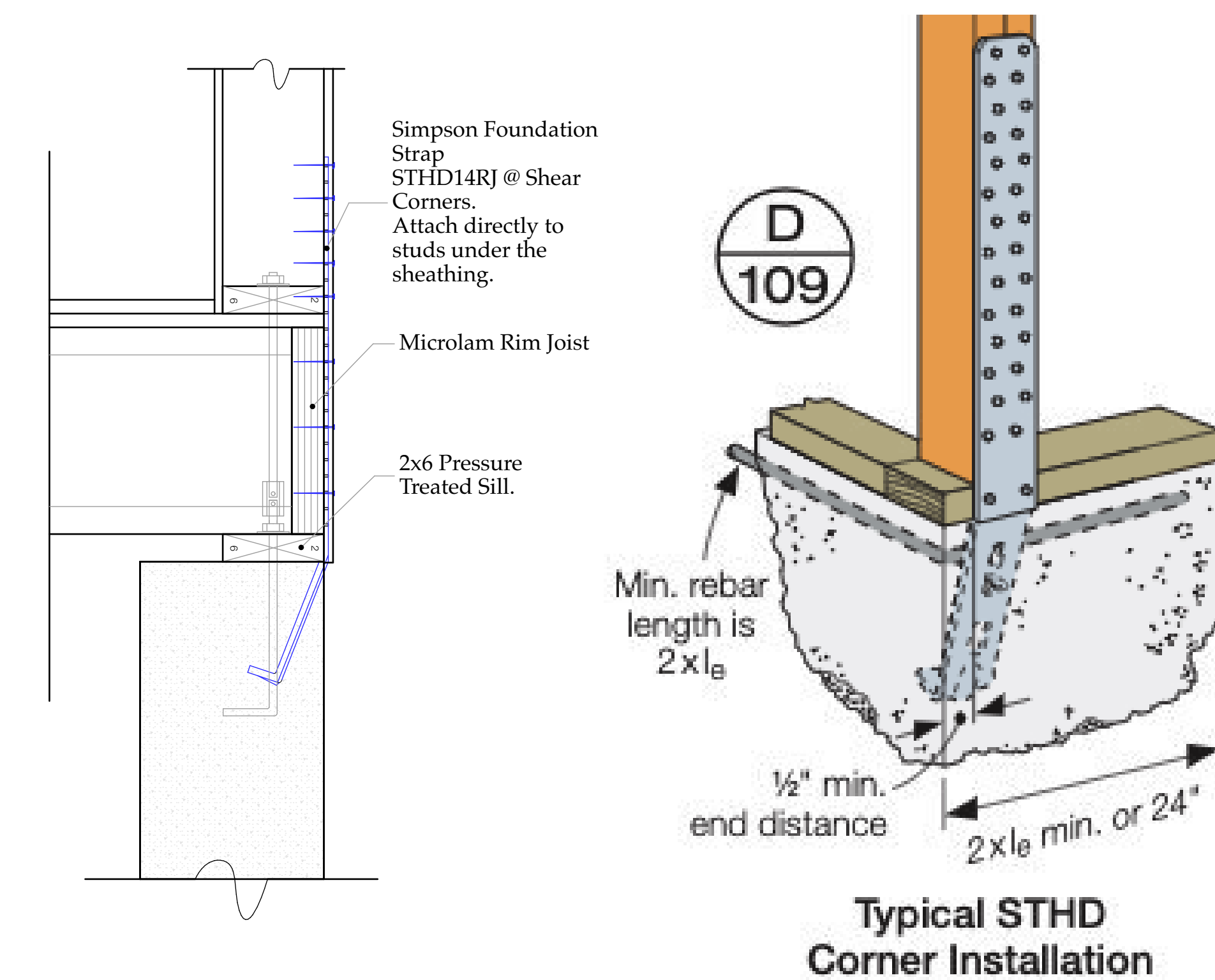


Wall to Wall Connection Across
Floor Decks



Wall to Foundation Connection Along
Length of a Shear Wall

Wall to Foundation @ Uplift Ends of Shear Walls (Use at Main Foundation Corners)



Alternate "Embedded" External Corner Hold-Downs
Use STHD14RJ
SPF Allowable Lift (Load) = 5,345 lbs



Issue Date
4/30/21

Revisions

High Wind Connection Details

Scale (s)
3/8" = 1'-0"



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MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)

MO (mm)	3-0 (914)	3-2 (965)	3-6 (1067)	4-0 (1219)	4-6 (1372)
RO (mm)	3-0 1/2 (927)	3-2 1/2 (978)	3-6 1/2 (1080)	4-0 1/2 (1232)	4-6 1/2 (1384)
FS (mm)	2-11 1/2 (602)	3-1 1/2 (853)	3-5 1/2 (1054)	3-11 1/2 (1207)	4-5 1/2 (1358)
DLO (mm)	2-5 11/16 (754)	2-7 11/16 (805)	2-11 11/16 (906)	3-5 11/16 (1059)	3-11 11/16 (1211)

MO (mm)	3-0 (914)	3-2 (965)	3-6 (1067)	4-0 (1219)	4-6 (1372)
RO (mm)	3-0 1/2 (927)	3-2 1/2 (978)	3-6 1/2 (1080)	4-0 1/2 (1232)	4-6 1/2 (1384)
FS (mm)	2-11 1/2 (602)	3-1 1/2 (853)	3-5 1/2 (1054)	3-11 1/2 (1207)	4-5 1/2 (1358)
DLO (mm)	2-5 11/16 (754)	2-7 11/16 (805)	2-11 11/16 (906)	3-5 11/16 (1059)	3-11 11/16 (1211)

WINDOW SCHEDULE

ID	QTY	LOCATION	MANUFACTURER	UNIT #	TYPE	R.O.	SASH CUTS	JAMB	INT. FINISH	EXT FINISH	HDWARE	GLASS
A	1	ENTRY CENTER UNIT	MARVIN	ELDH 4852	DOUBLE HUNG	4'x4'-6"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	
B	2	ENTRY FLANKING UNITS	MARVIN	ELDH 3252	DOUBLE HUNG	2'-4"x4'-6"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	TEMPERED
C	1	BANQUETTE CENTER UNIT	MARVIN	ELDH 4852	DOUBLE HUNG	4'x4'-6"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	TEMPERED
D	4	BANQUETTE FLANKING UNIT	MARVIN	ELDH 3252	DOUBLE HUNG	2'-8"x4'-6"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	TEMPERED
E	1	KITCHEN	MARVIN	UFCA 4840 E	DBL CASEMENT - FRENCH PUSH OUT	4'x3'-5"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	
F	1	FRONT PORCH DECORATIVE	MARVIN	UCAVP 3036	VENTED PICTURE UNIT	2'x2'		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	
G	3	BR SHED DORMER UNITS	MARVIN	UCA 3228	CASEMENTS	2'-8"x2'-2"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	
H	1	MASTER BATHROOM UNIT	MARVIN	ELDH 3044	DOUBLE HUNG	2'-8"x4'-6"		2X6 WALL	PRIMED WHITE	PRIMED WHITE	BR NICKEL	
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Door Schedule

ID	LOCATION	QTY	MNFTR	TYPE / STYLE - OPERATION	LEAF STYLE/THICKNESS	W X H SIZE	JAMBS	THRESHOLD	HARDWARE MANUF. - FINISH	HINGE TYPE/FINISH	NOTES
1	FRONT DOOR	1	SIMPSON	SWING DOOR	1-3/4"	3'x6'-8"	2X6 WALL	EXTENDED ME...	BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
2	REAR FAMILY RM DO...	1	SIMPSON	SWING DOOR	1-3/4"	2'-8"x6'-8"	2X6 WALL	EXTENDED ME...	BY OWNER - DEFAULT SCHLA...	SQUARE-HANDRUBBED BRONZE	
3	ENTRY CLOSET	1	TRU-STYLE	SWING DOOR	1 3/8"	4'x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
4		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-8"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
5		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
6		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
7		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
8		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
9		1	TRU-STYLE	SWING DOOR	1 3/8"	4'x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
10		1	TRU-STYLE	SWING DOOR	1 3/8"	4'x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
11		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-6"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
12		1	TRU-STYLE	SWING DOOR	1 3/8"	4'-8"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
13		1	TRU-STYLE	SWING DOOR	1 3/8"	2'-8"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
14	MBR BATH	1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
15	MBR BATH CLOSET	1	TRU-STYLE	SWING DOOR	1 3/8"	2'-4"x6'-8"	2X4 VIF		BY OWNER - DEFAULT SCHLAGE	SQUARE-HANDRUBBED BRONZE	
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DOOR SCHEDULE



Issue Date

4/30/21

Revisions	

Scale (s)
1:0.667, 1:0.741



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