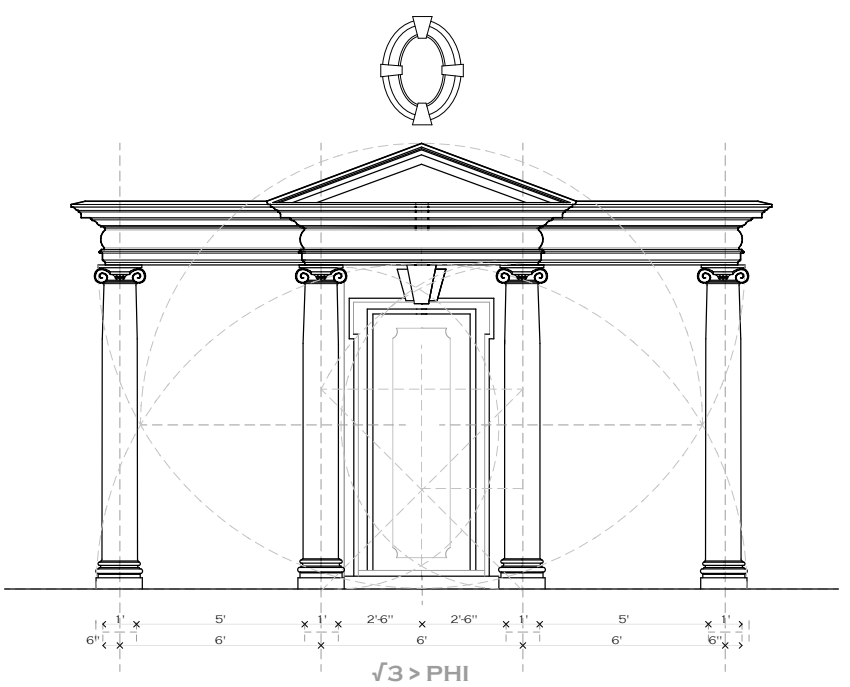
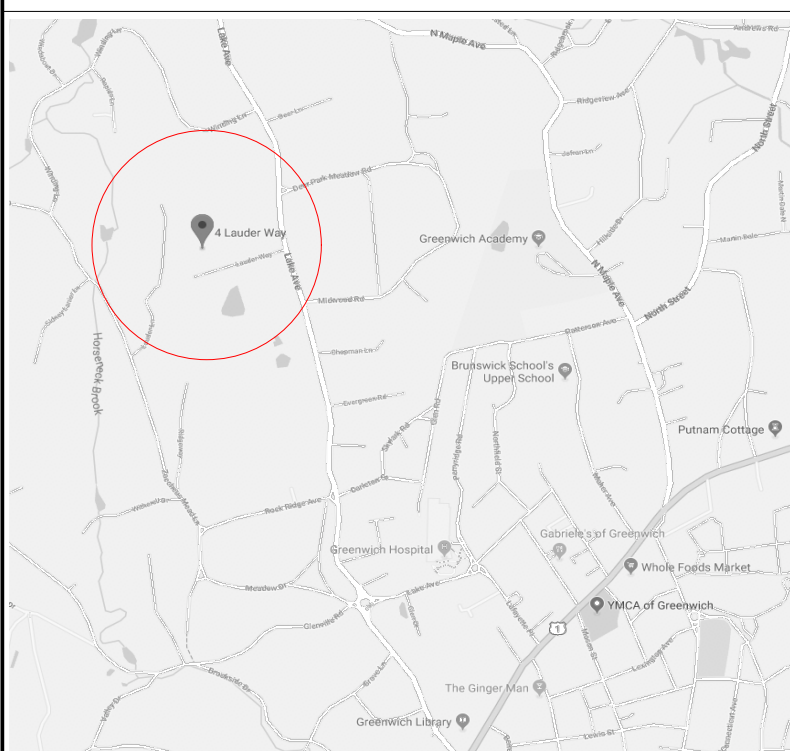


Property Location Map



Architectural Plans For: Nick Vita & Avery Broadbent

Drawings & Documents Index
Wednesday, August 21,
2019

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A-03	Proposed Elevations - East		
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SK-4	Sections - South Interior Elevations		

NOTE: Only Drawings that are Signed & Sealed by The Architect may be used for Obtaining the Building Permit & Construction of the Project. Progress Drawings or Bid Documents are not to be used for these purposes.

These Drawings are "An Instrument of Service" provided to The Client for several purposes. They are used for documenting the Design Process between the Client and the Architect, Defining the Scope of Work to be built, obtaining Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect.

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Accuracy of Documents
All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible design conflicts.

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Building Code References

Applicable Codes and Regulations
THE ZONING REGULATIONS of the Town of Fairfield
FAIRFIELD COUNTY, CONNECTICUT
And
THE CONNECTICUT STATE BUILDING CODE
Inclusive of the following references & documents:

Use Group R-3

Construction Type 5B

General Building Design Criteria

Design Loads: Max Deflection L/360
1st Floor - 45 PSF Live Load, 15 PSF Dead Load
2nd Floor - 35 PSF Live Load, 15 PSF Dead Load
3rd Floor - 35 PSF Live Load, 15 PSF Dead Load
Roof - 30 PSF Snow Load, 15 PSF Dead Load

ResCheck - IECC (International Energy Code Compliance)
Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

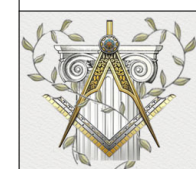
Reminder - Call Before You Dig! 1-800-922-4445
The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

Builder & General Contractor

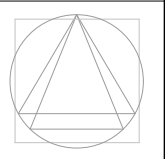
Lee Neuberth - Pinecrest Builders

Project Consultants

Roy Carey - SE Minor



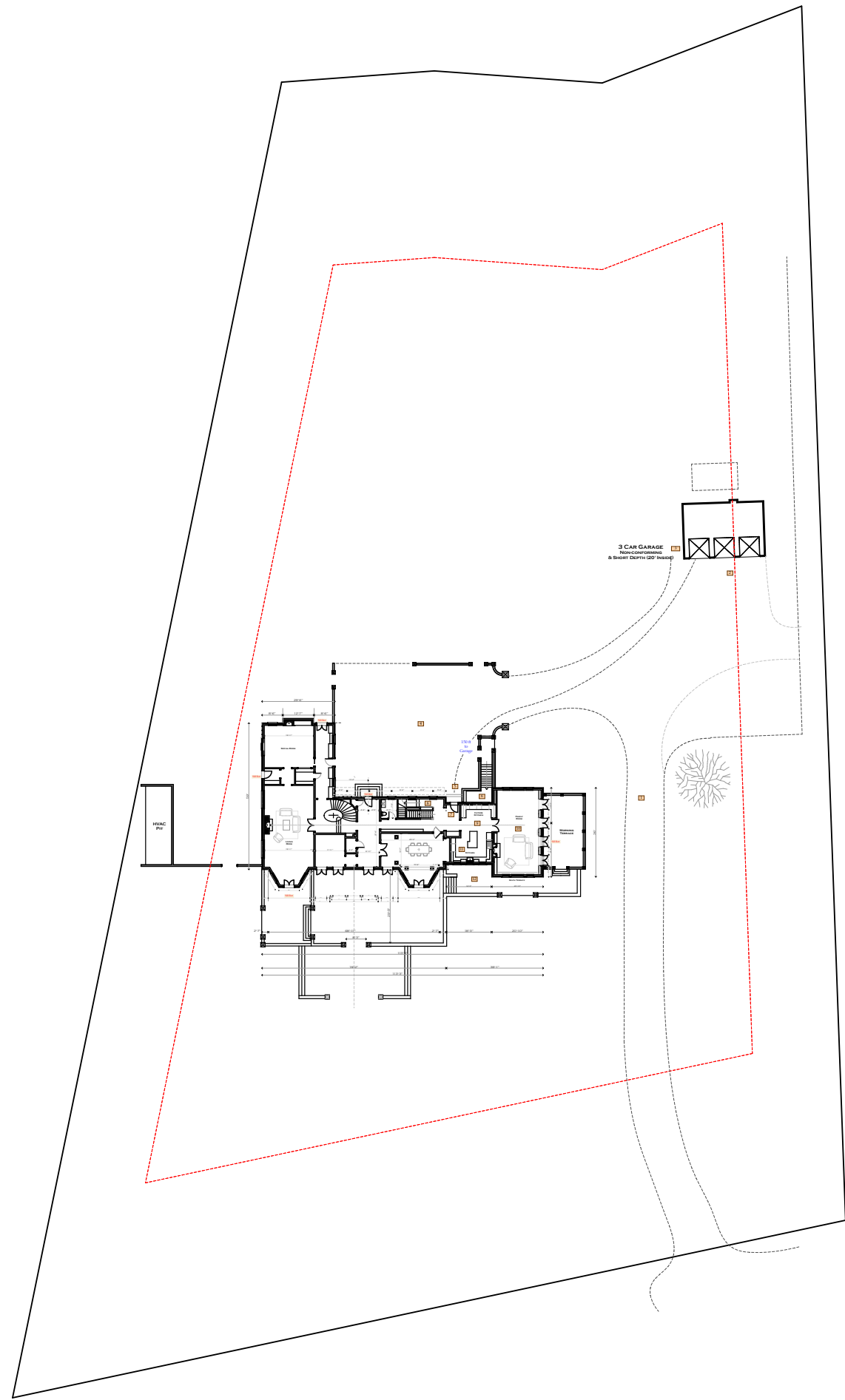
JOSEPH MATTO ARCHITECT
AIA/ASID
(203) 203-529-1414
joemattoarchitects@gmail.com
414A Blackhawk Lane Stratford, Ct 06614
A Member of the American Institute of Architects & The American Society of Interior Designers



Project Data

Phone: _____
Email: _____

Project Year
2019



Issue Date
8/21/19

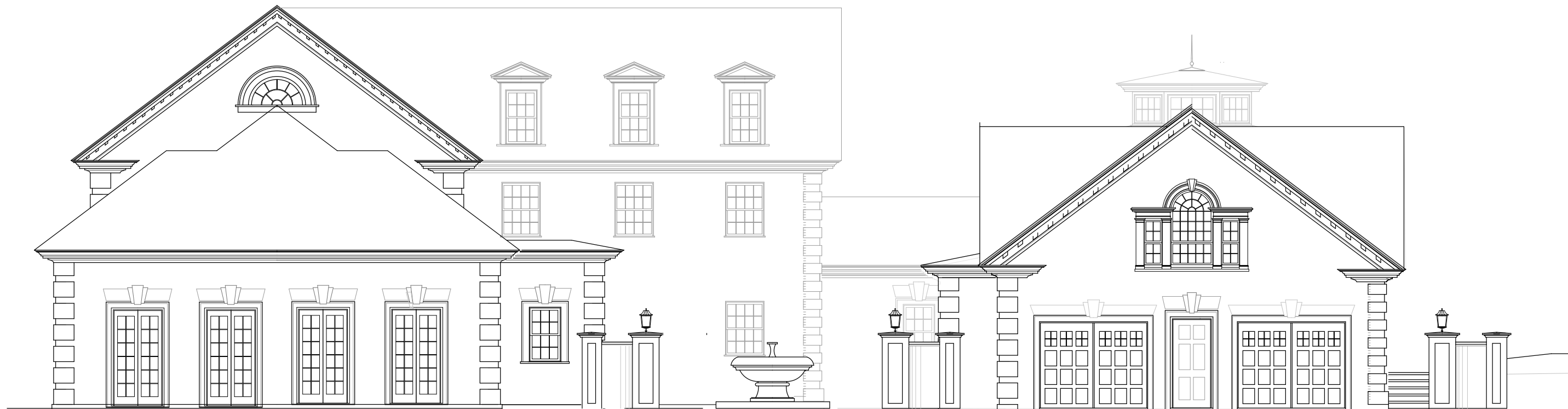
Site Plans & Aerial

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Stratford, CT

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Greenwich, CT

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BROADBENT



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Proposed Elevations - East Sides

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Proposed Elevations - East

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A-03



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Proposed Elevations - Octagon Variations

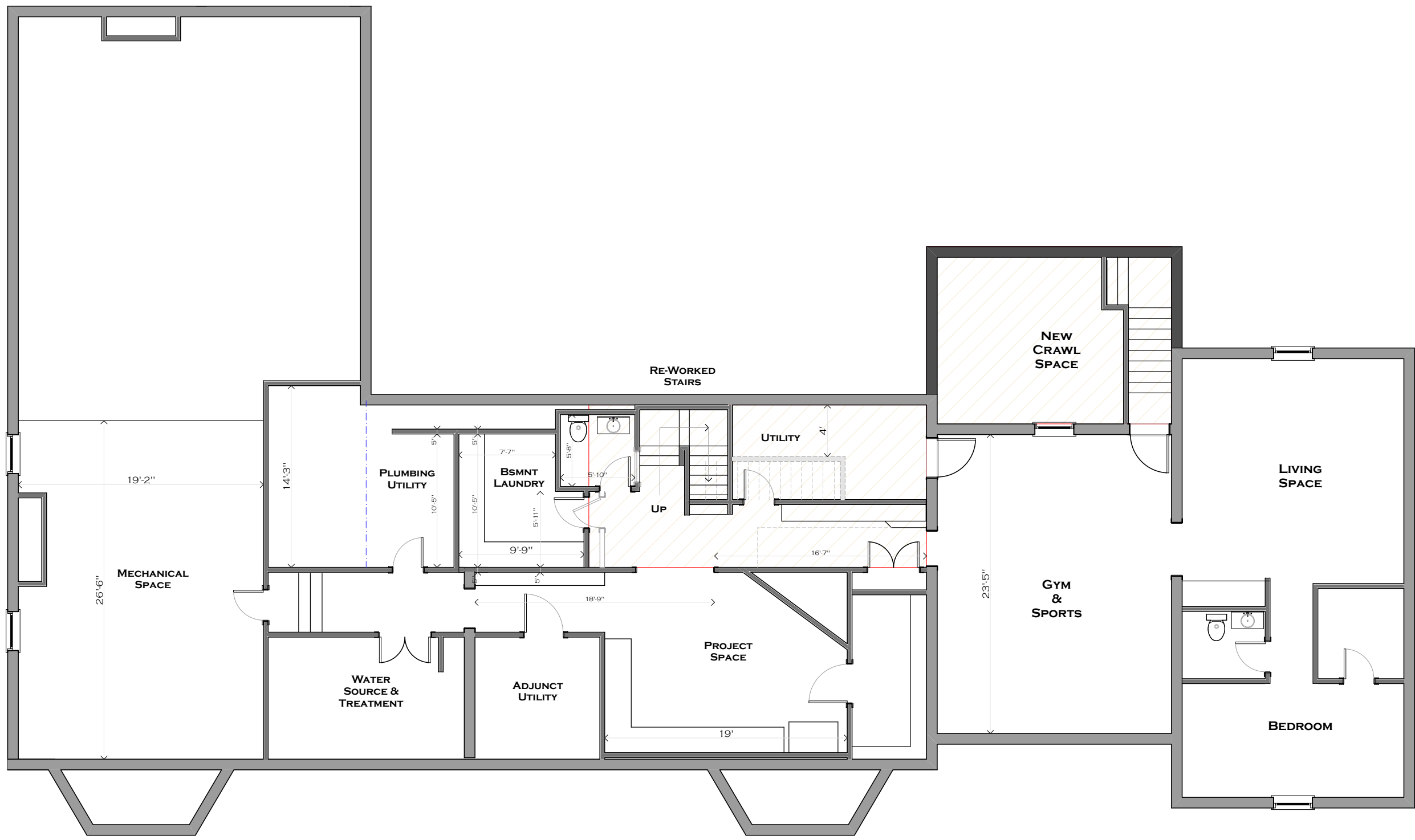
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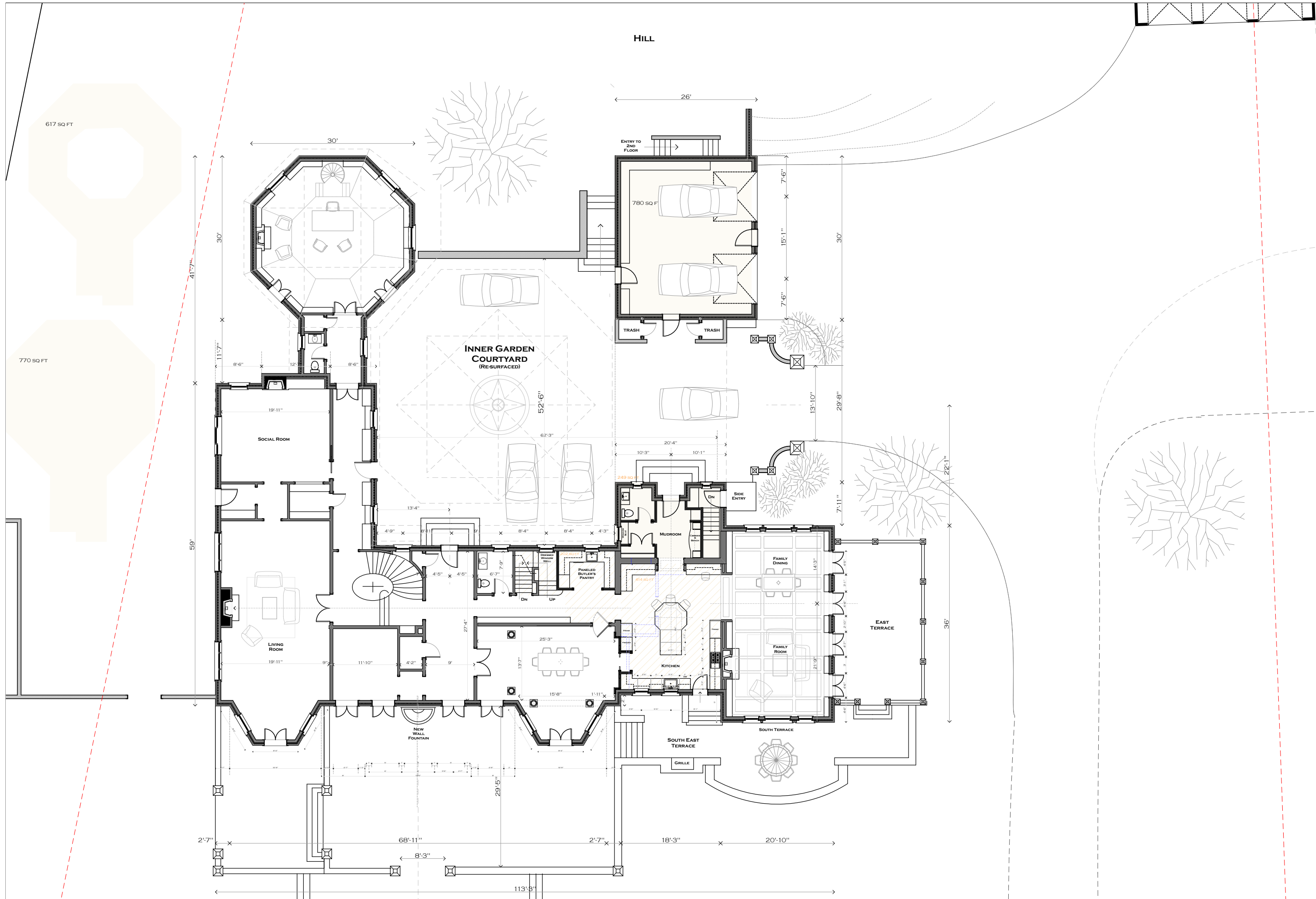
Basement Plan

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HILL

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1st Floor Plan-Overall

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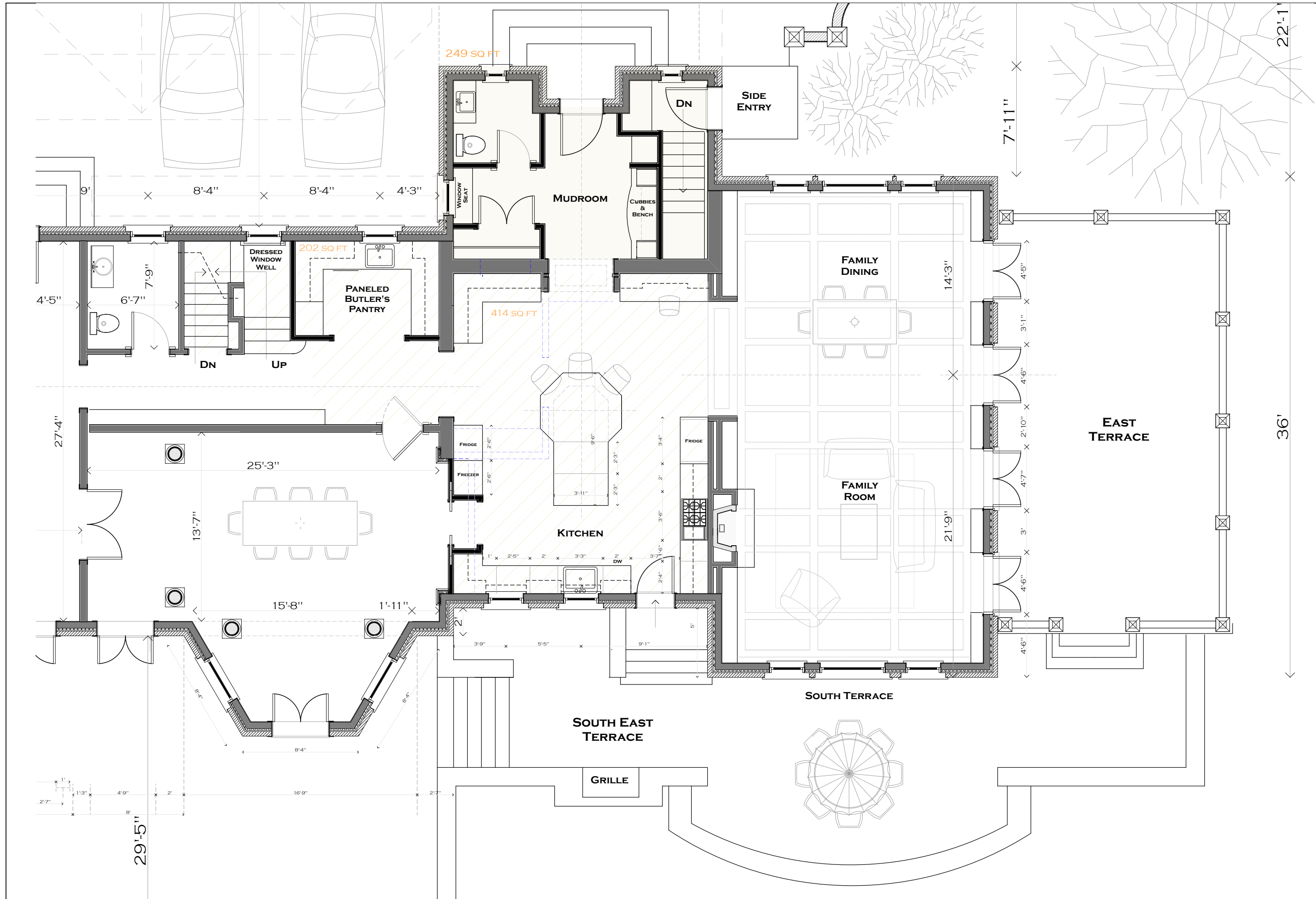
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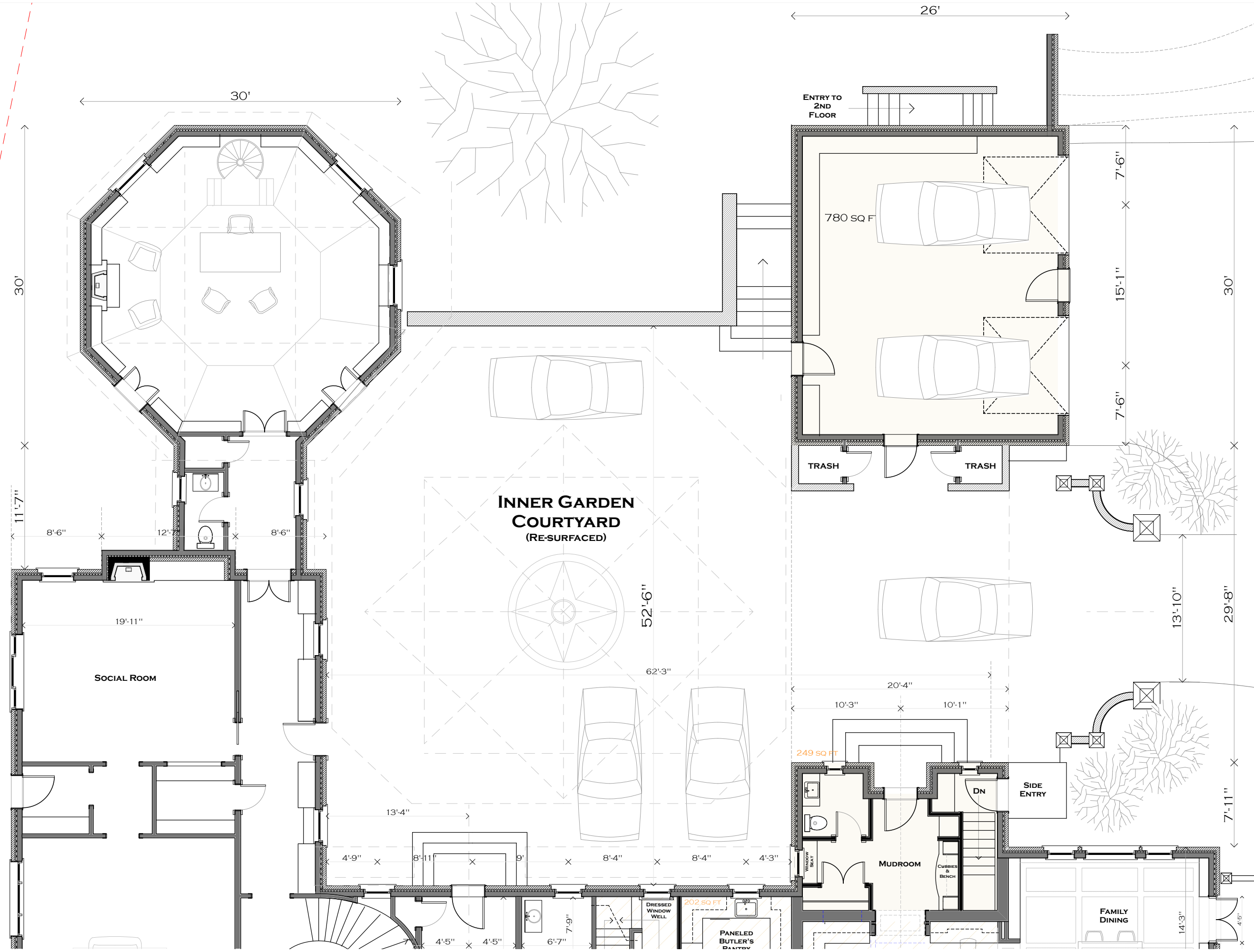
4 Laurel Lane
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Issue Date 8/21/19	
1st Floor Plan-Kitchen & Stairs	
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A-07	



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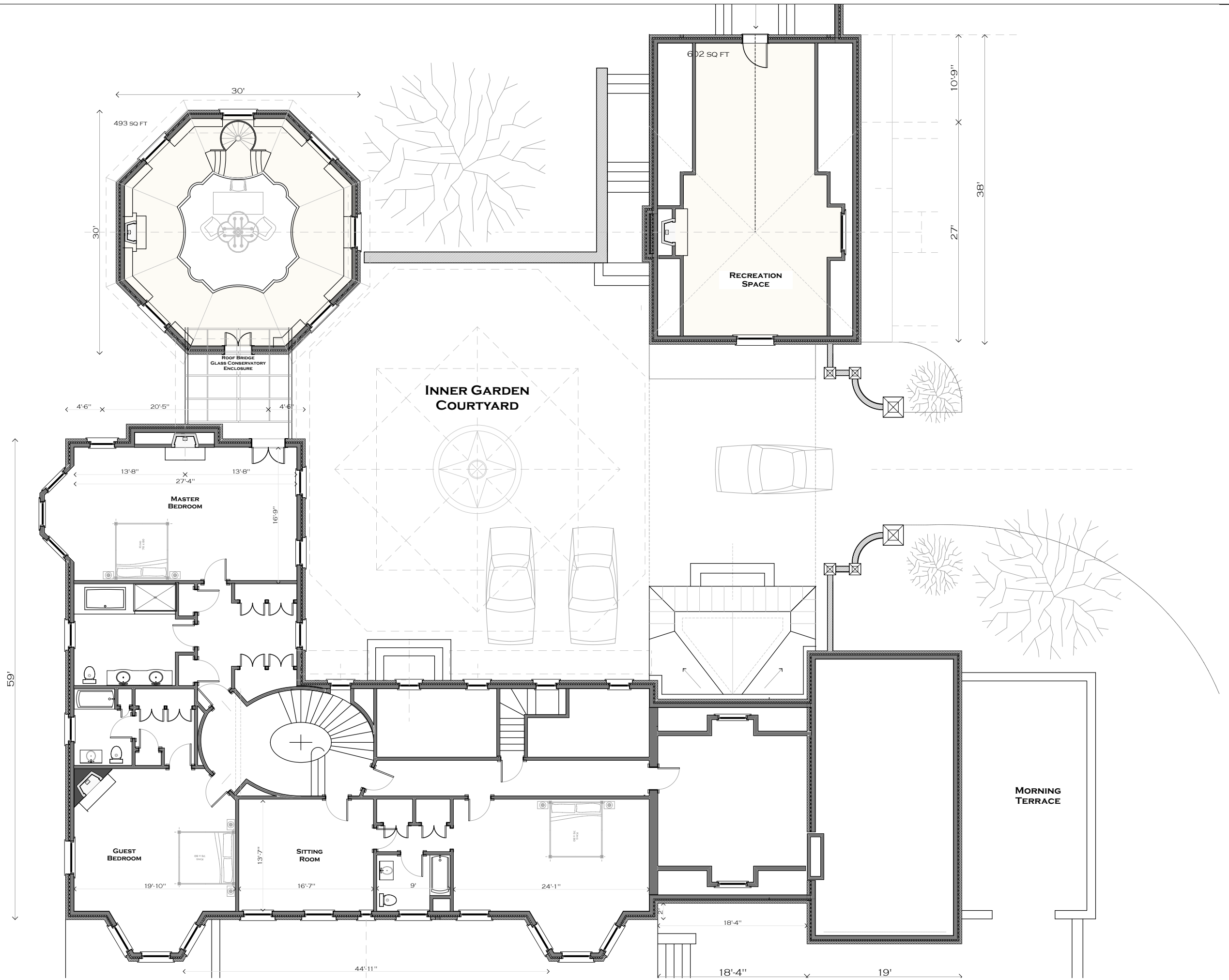
1st Floor Plan - Libray & Garage

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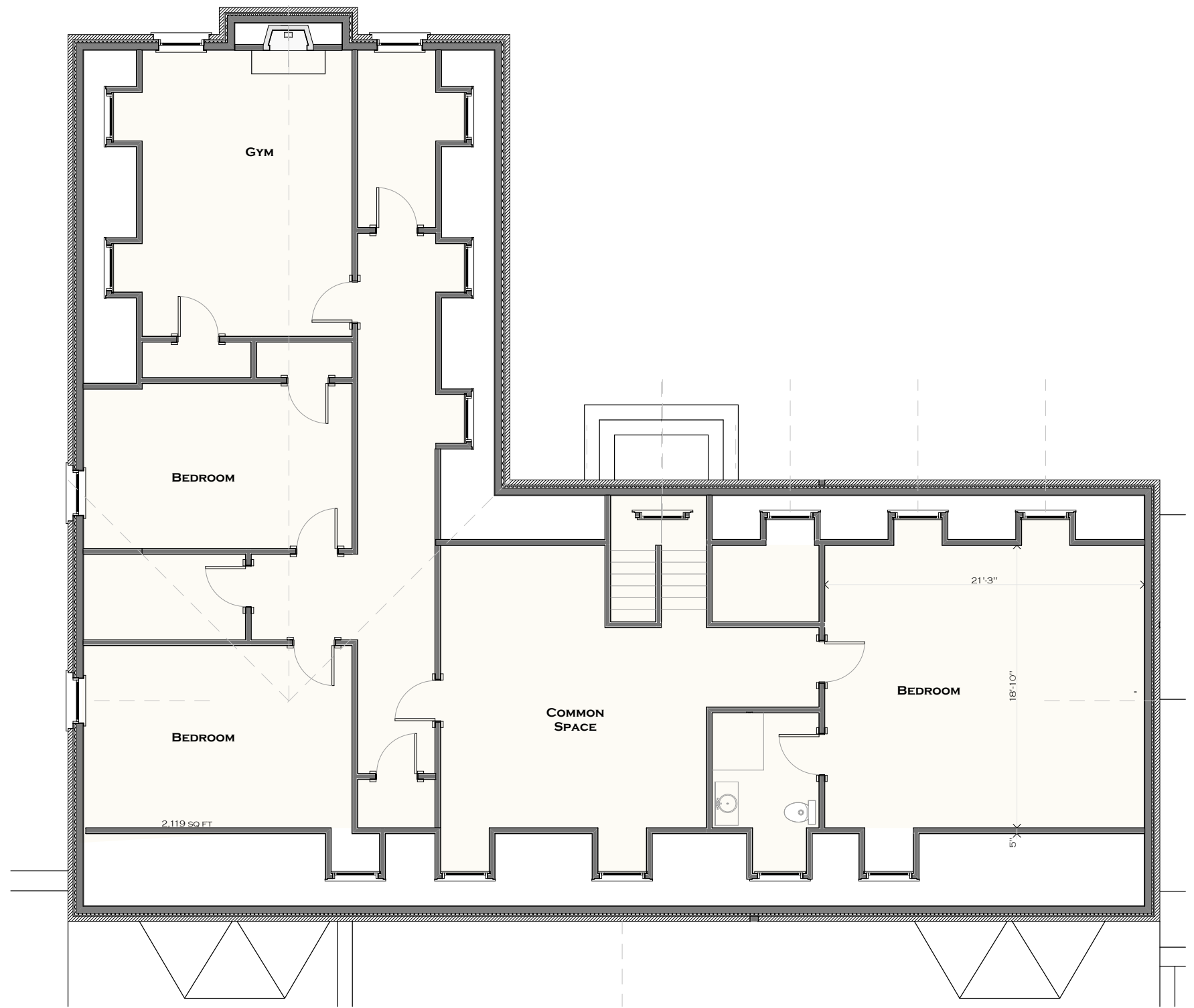
2nd Floor Plan

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Attic Floor Plan & Roof Plan

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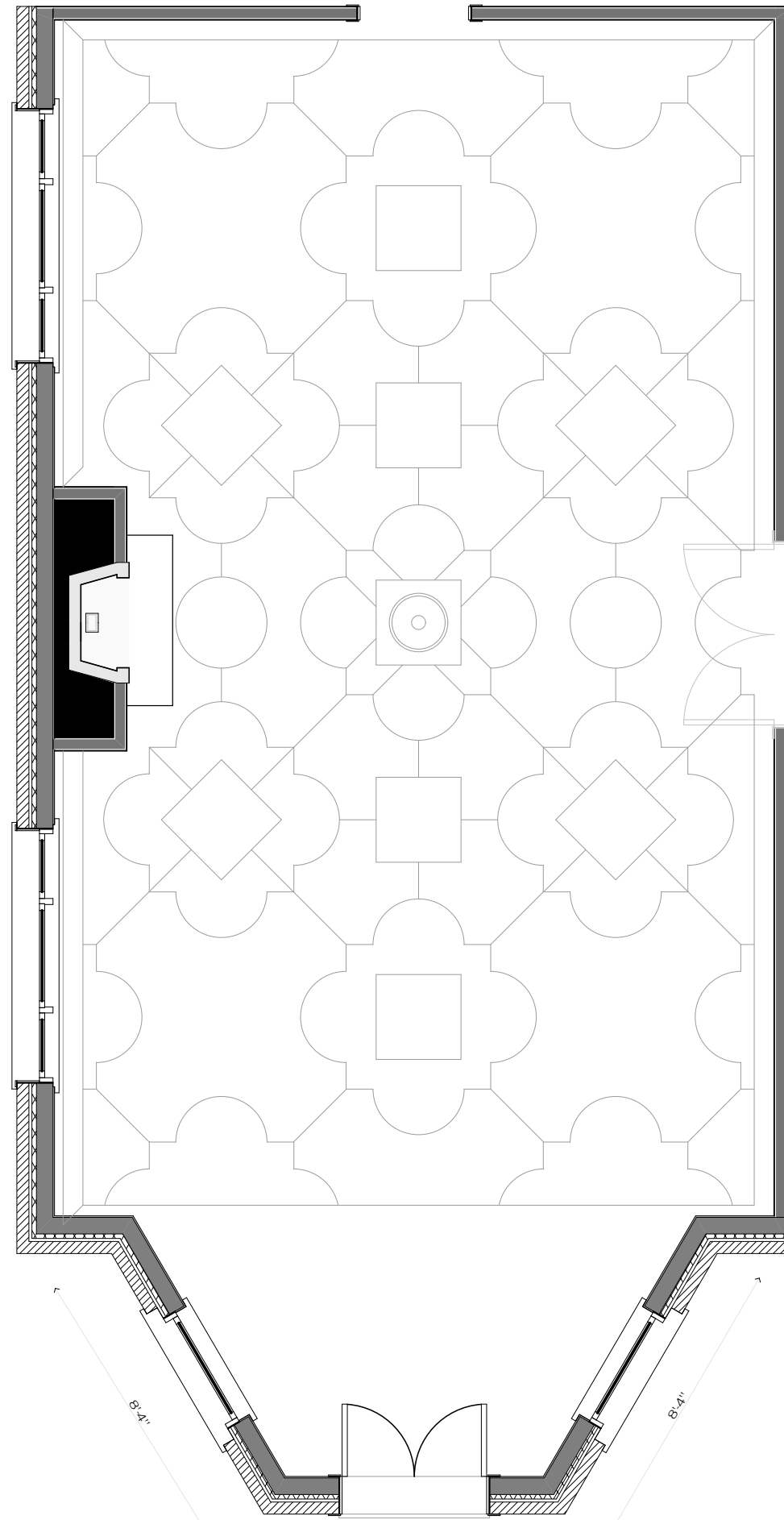
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Living Room ceiling

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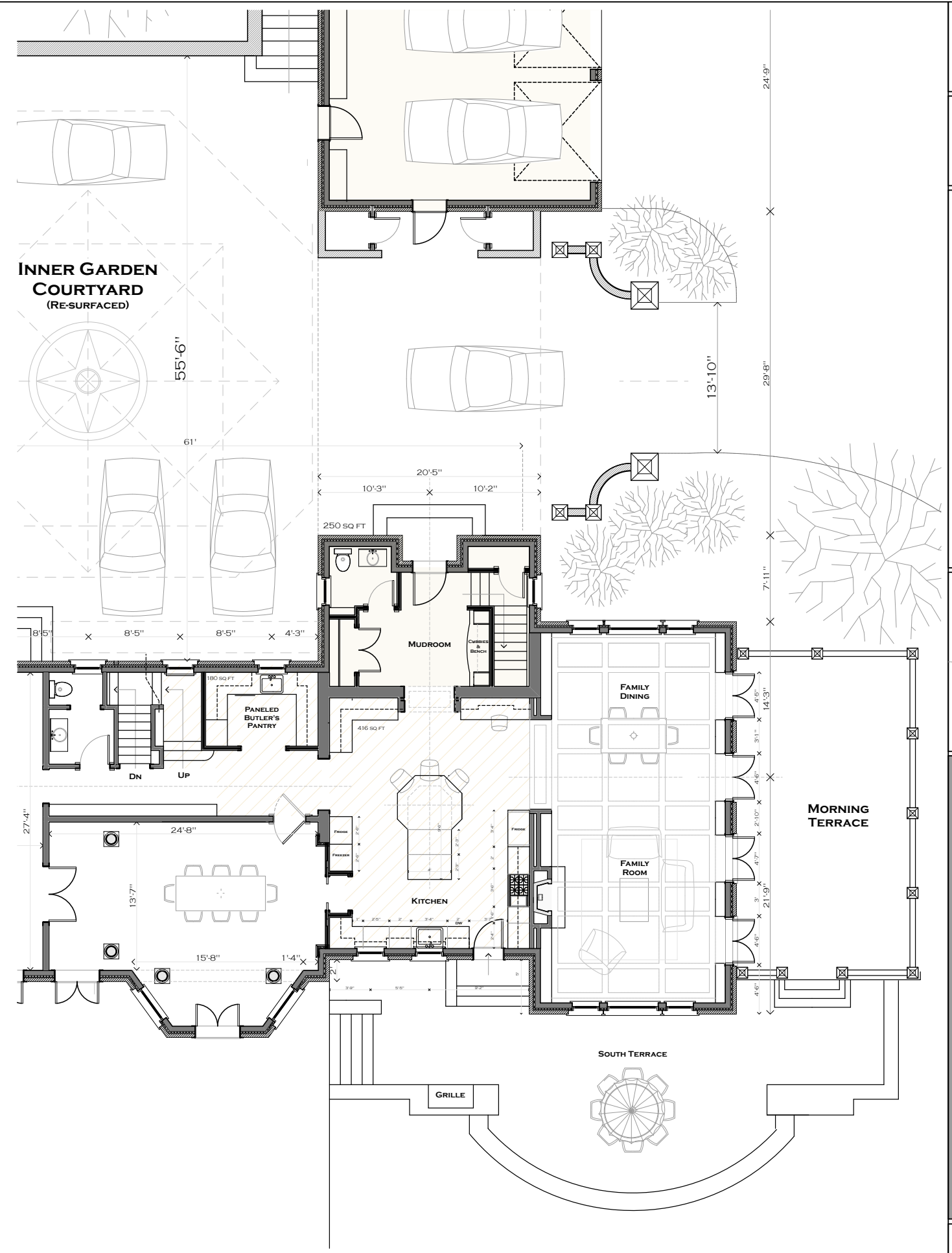
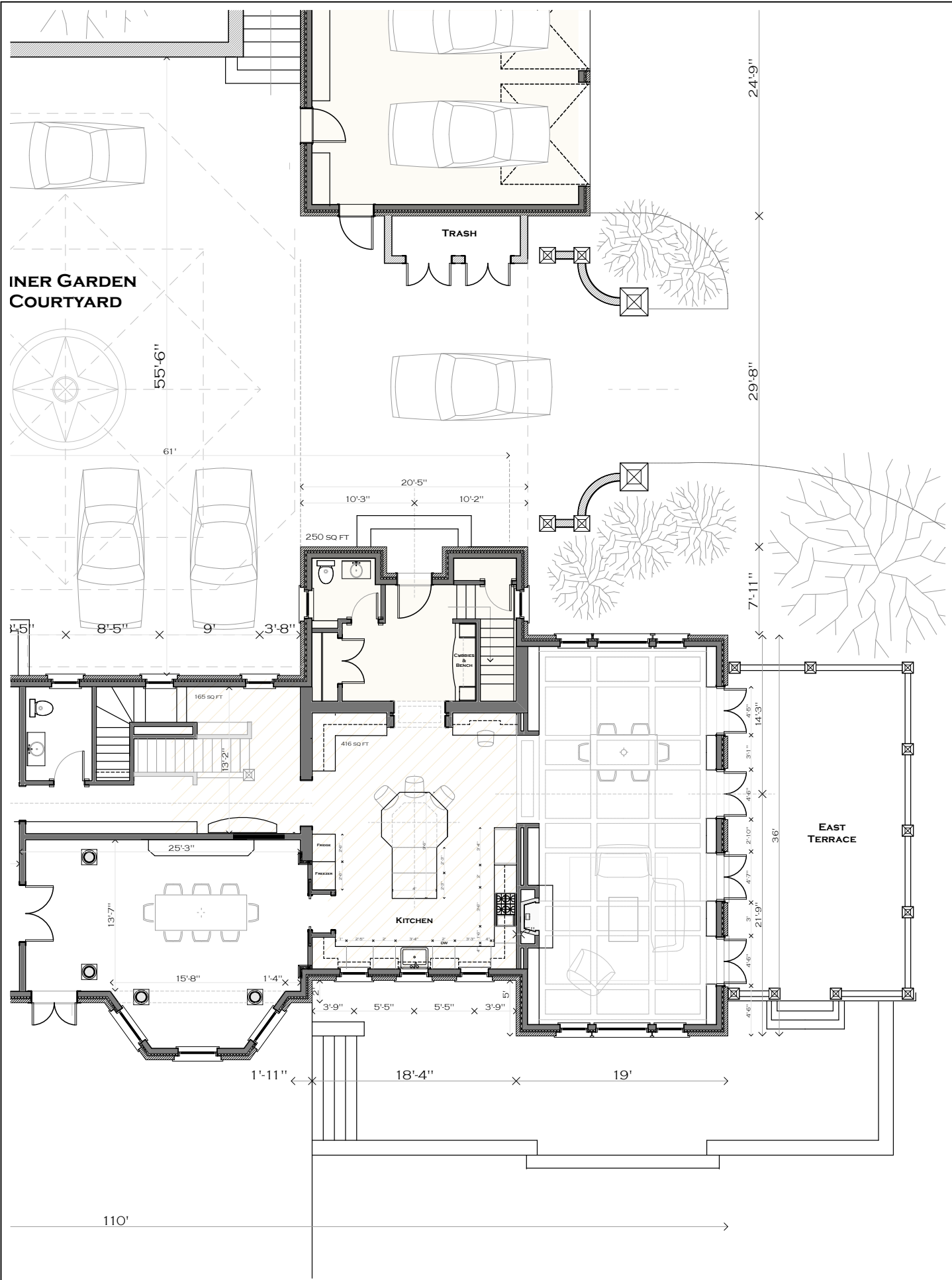
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Floor Plan Variations

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Alternate Schemes

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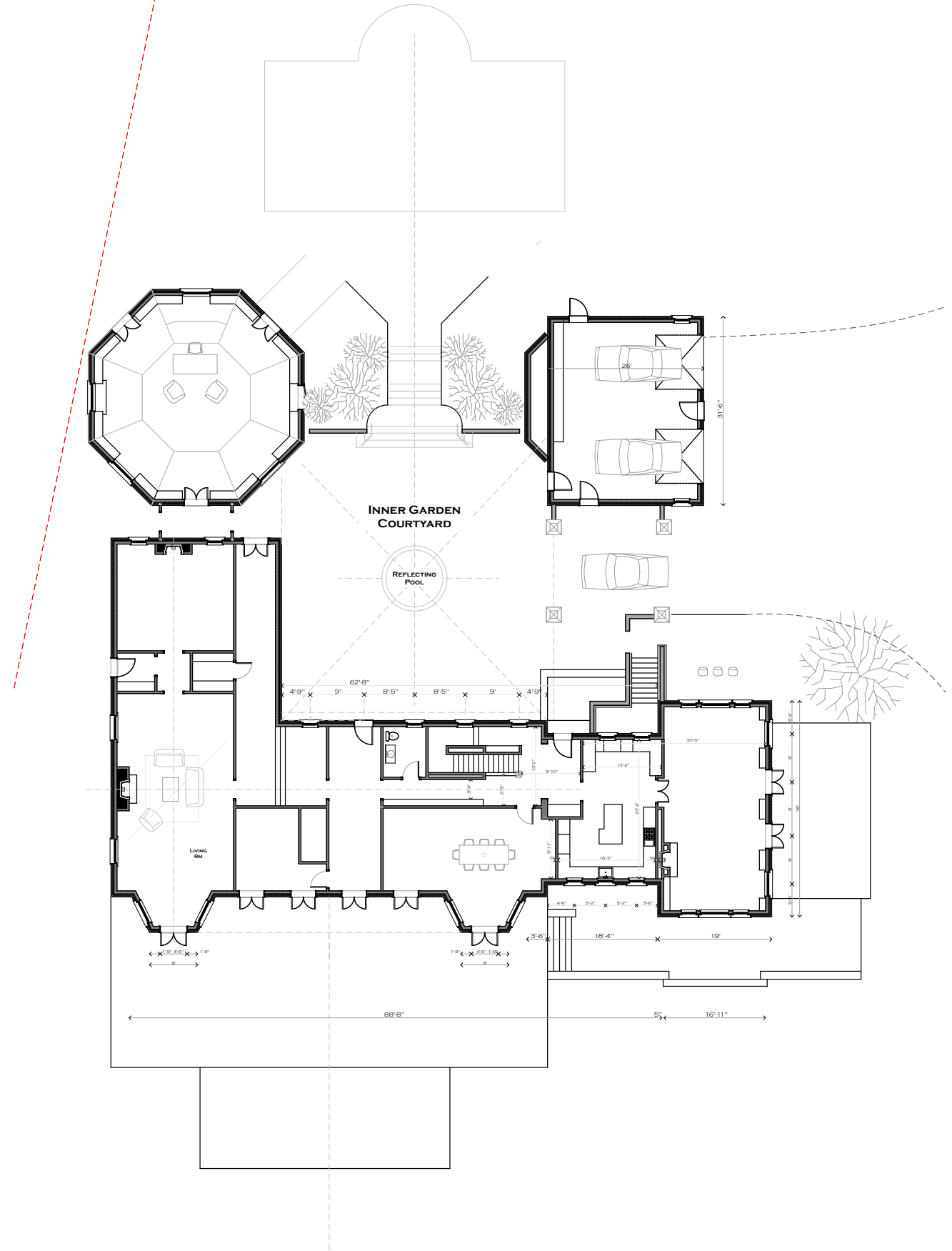
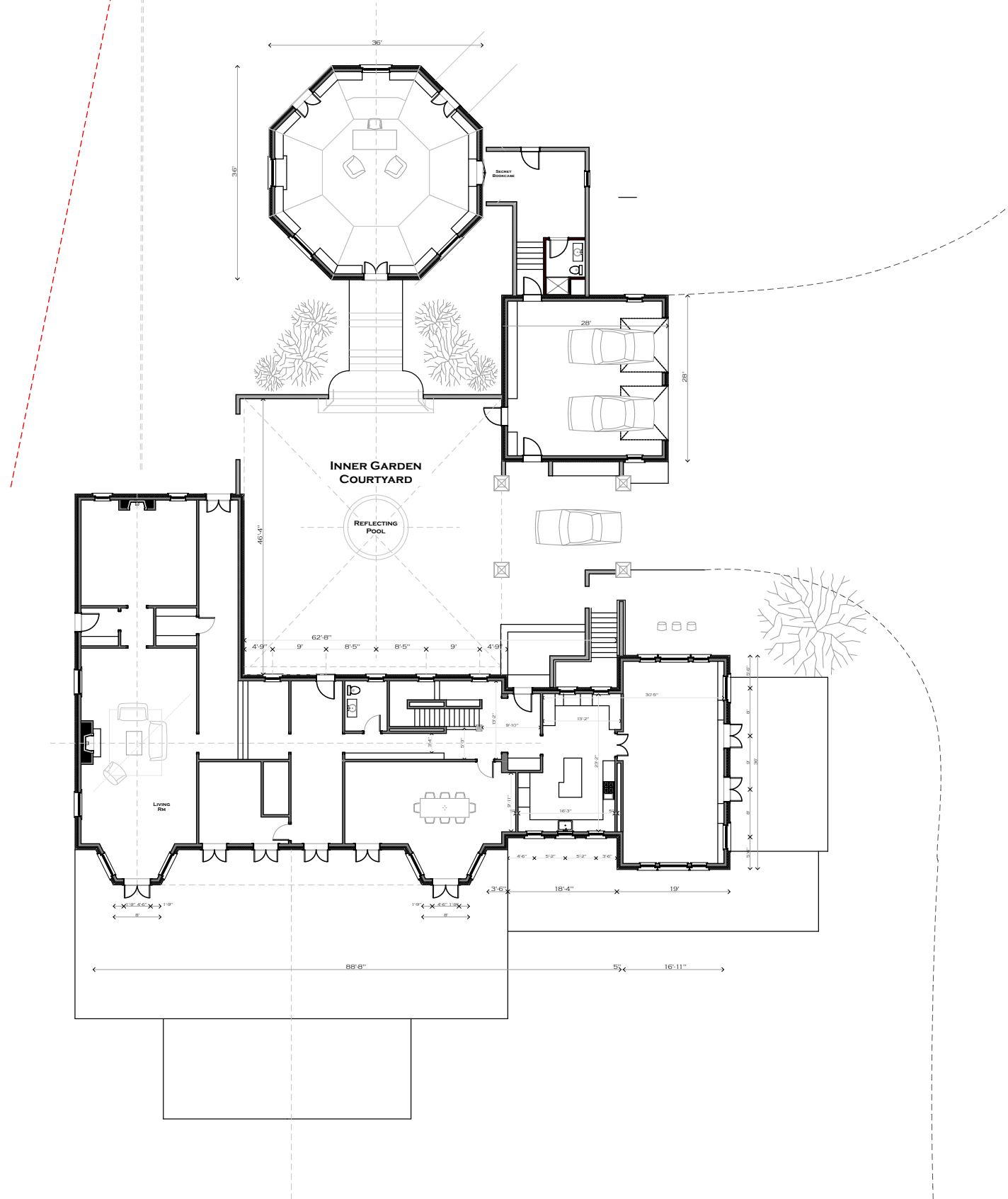
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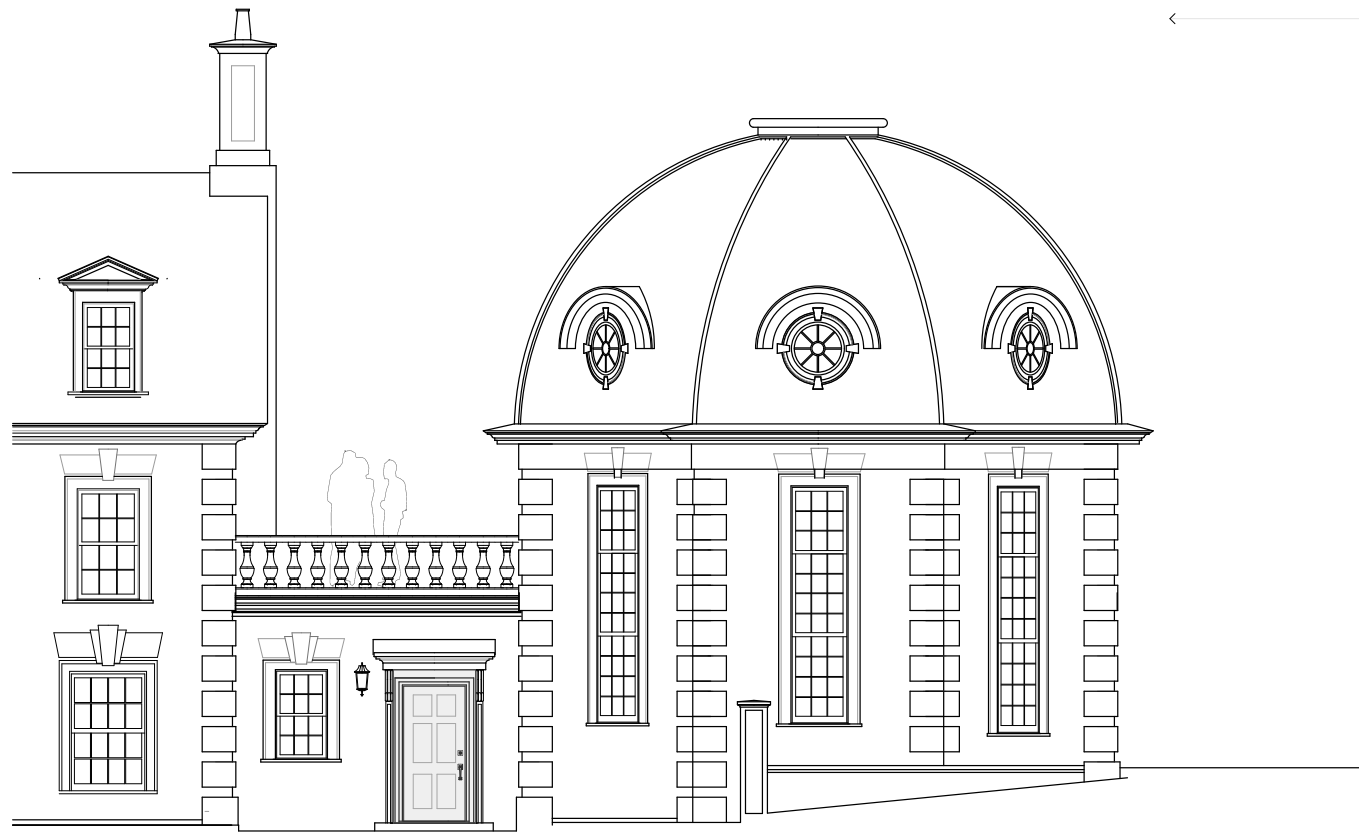
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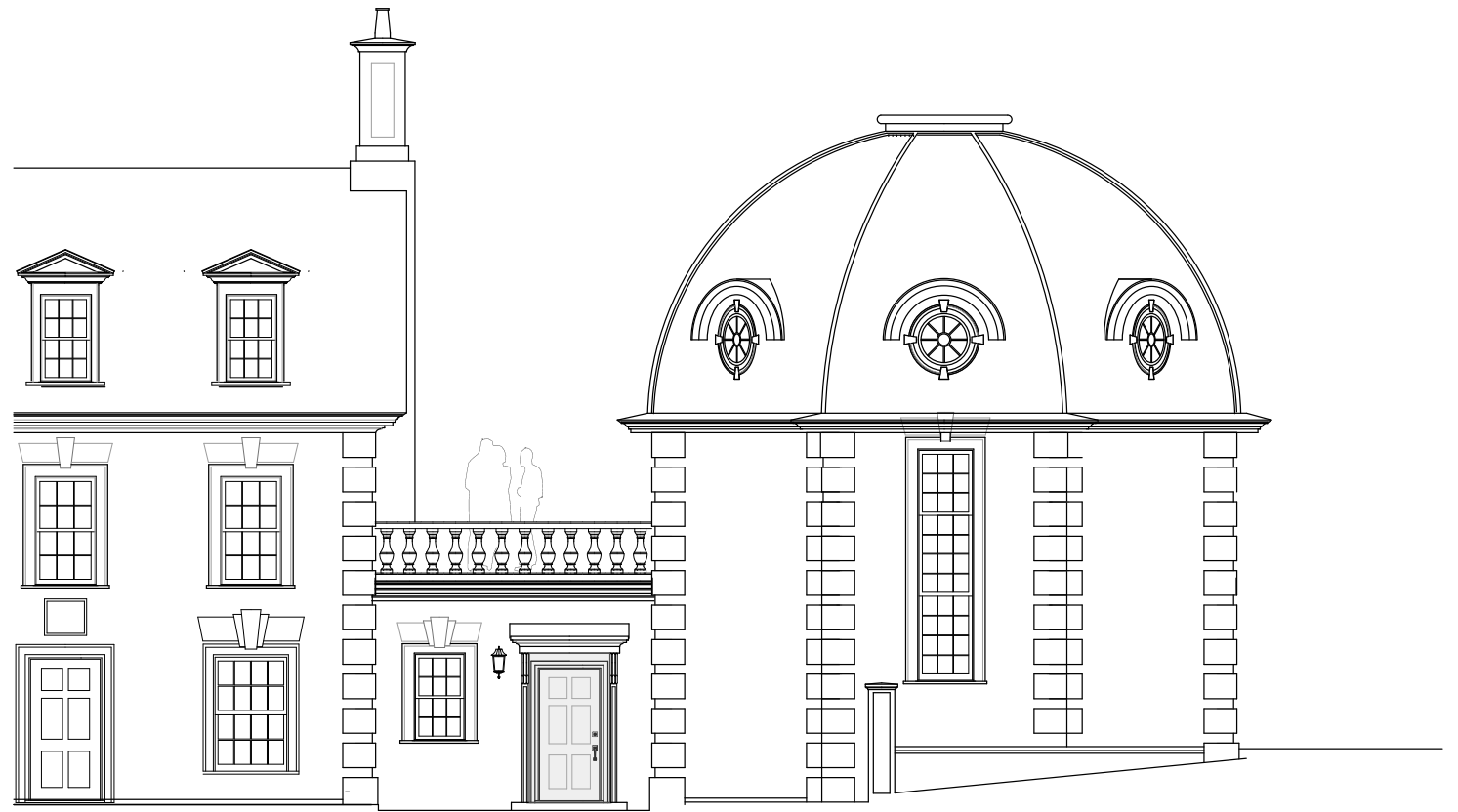
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A-13

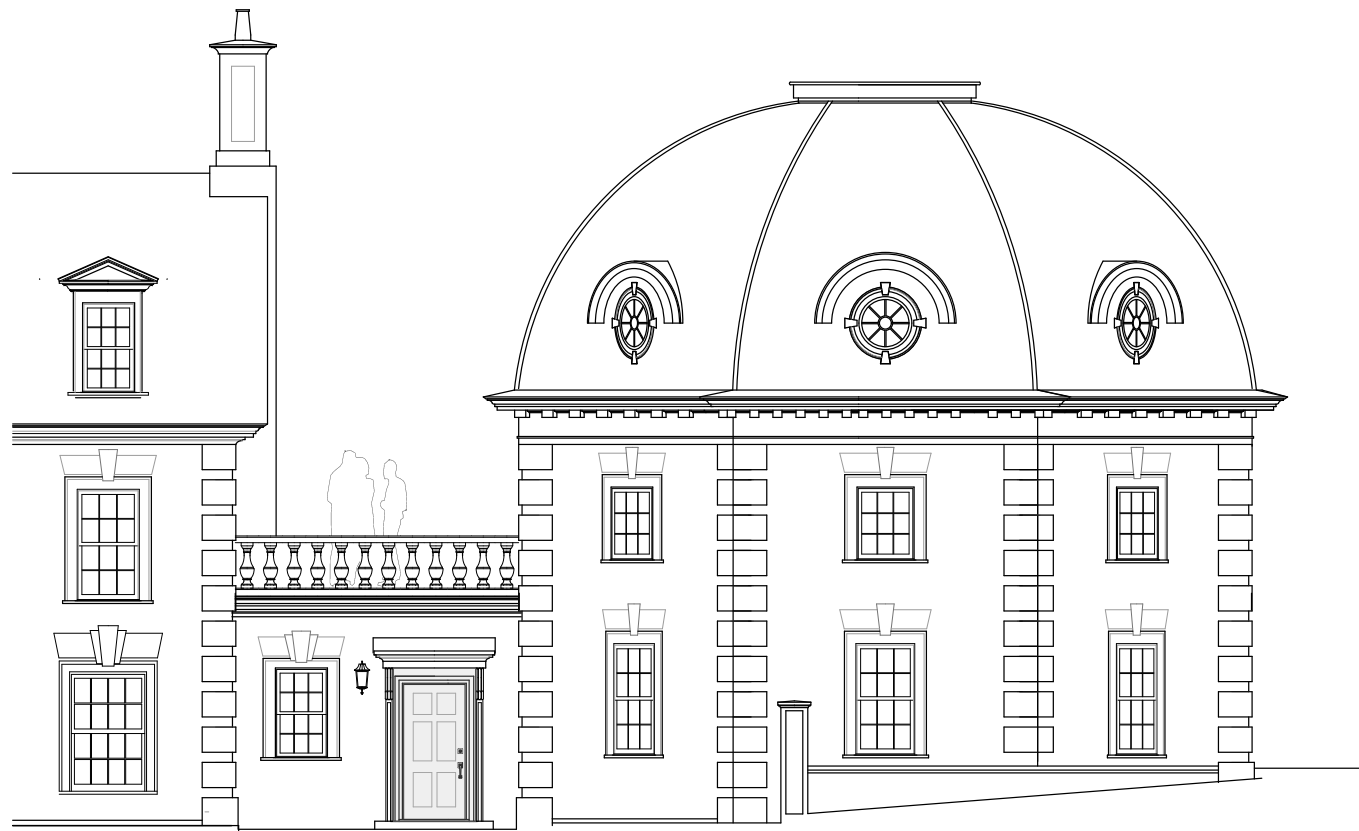




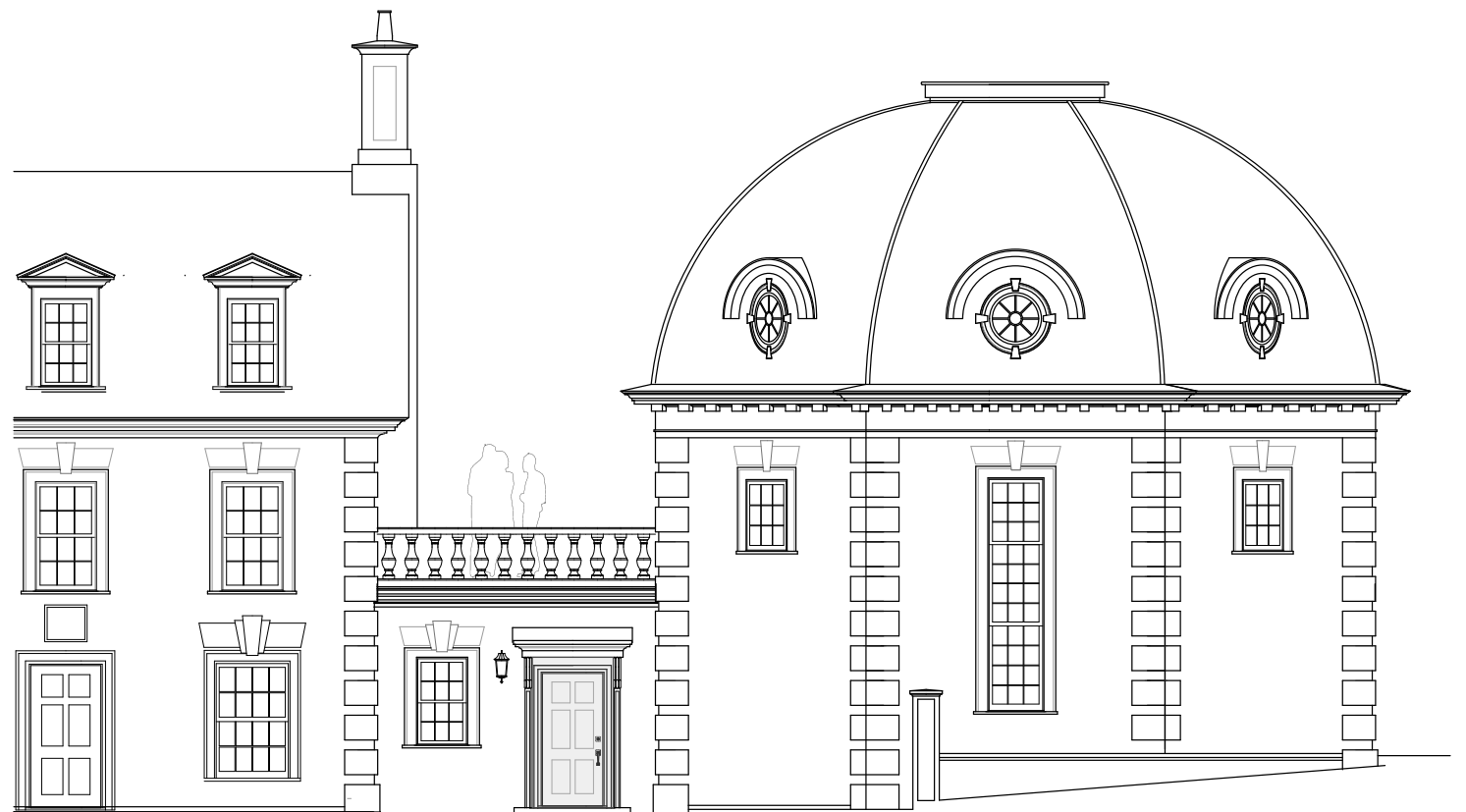
30'



30'



36'-6"



36'-6"

Issue Date
8/21/19

Elevation Studies - Comparison of Widths

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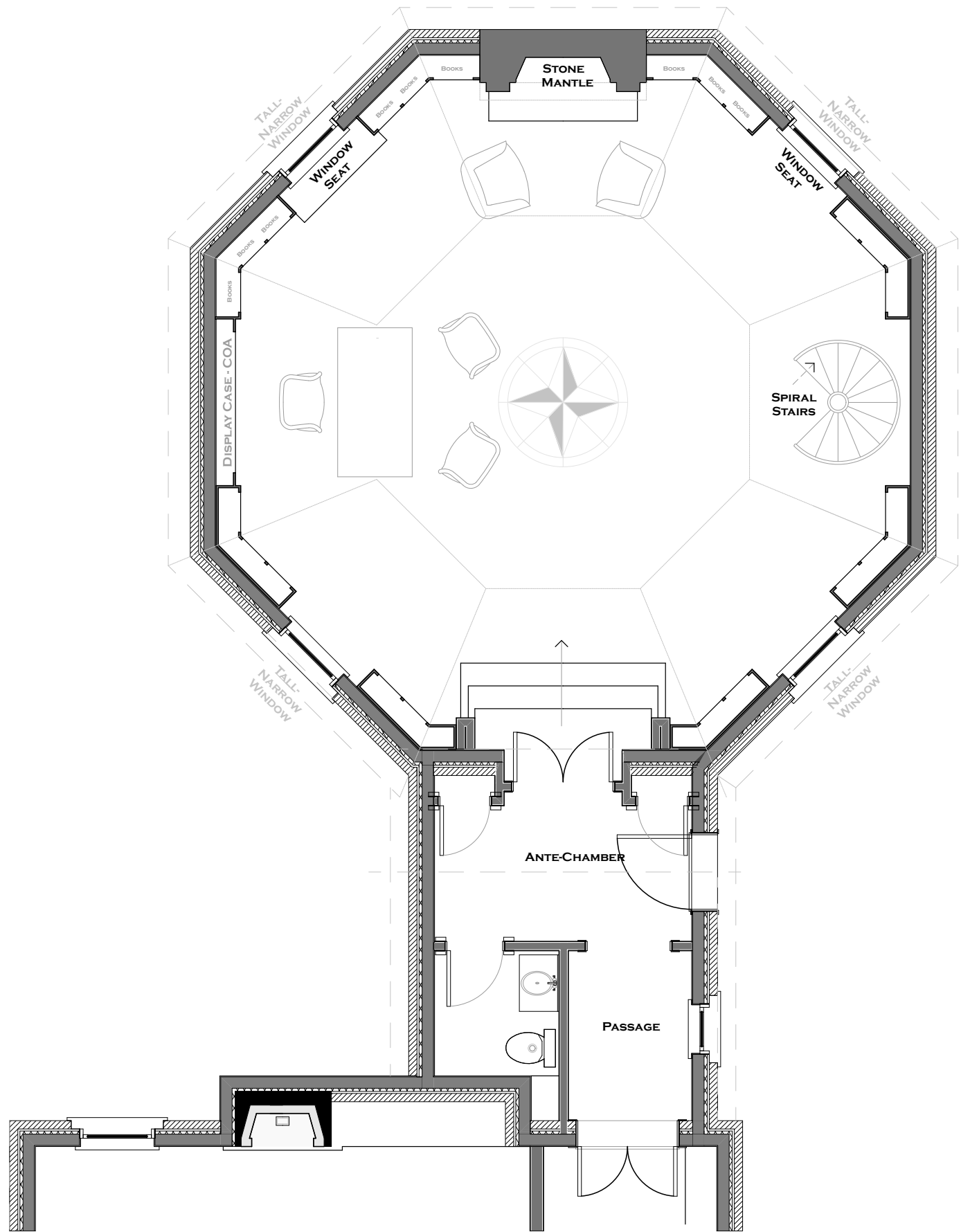
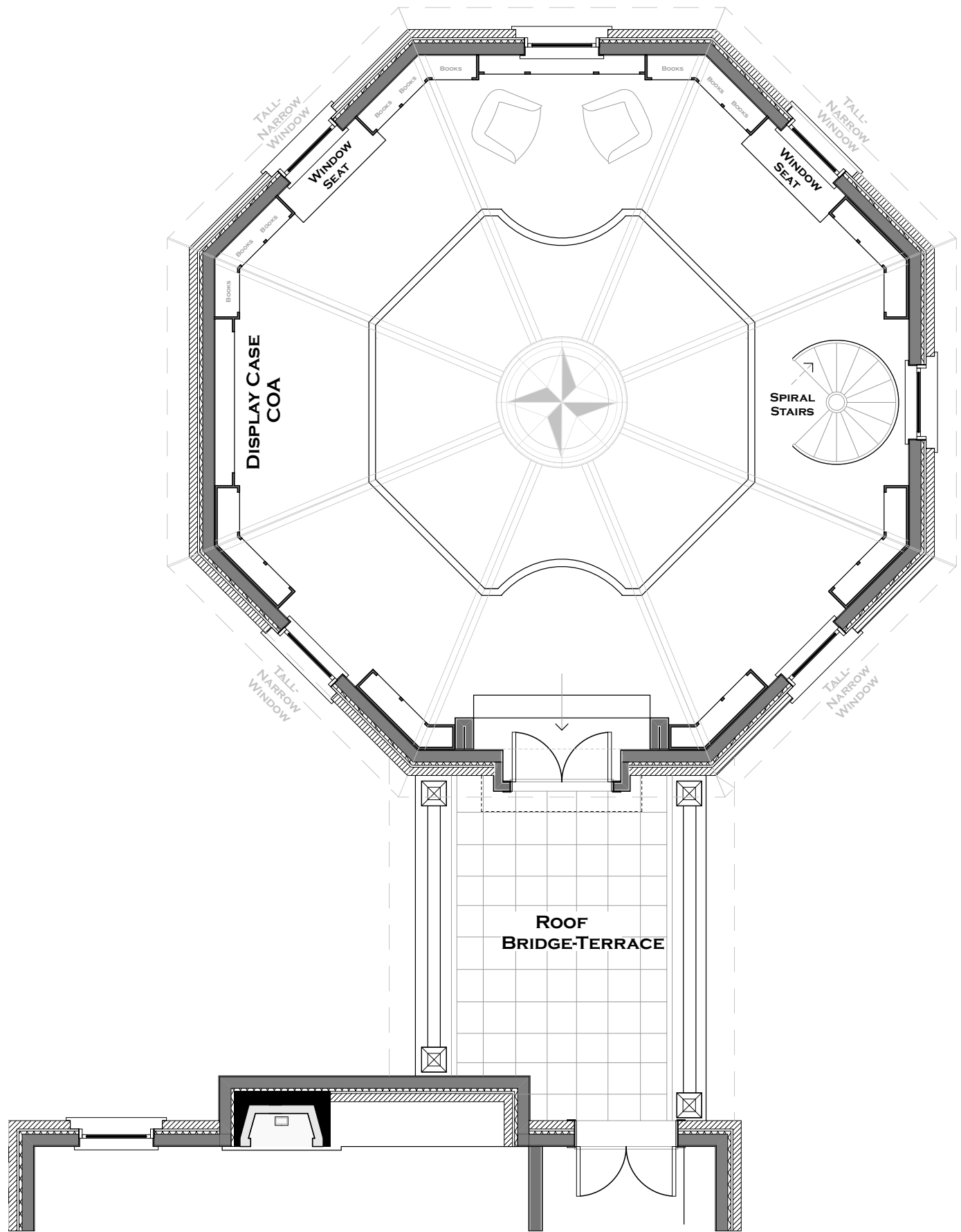
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SK-1



Issue Date
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Floor Plans

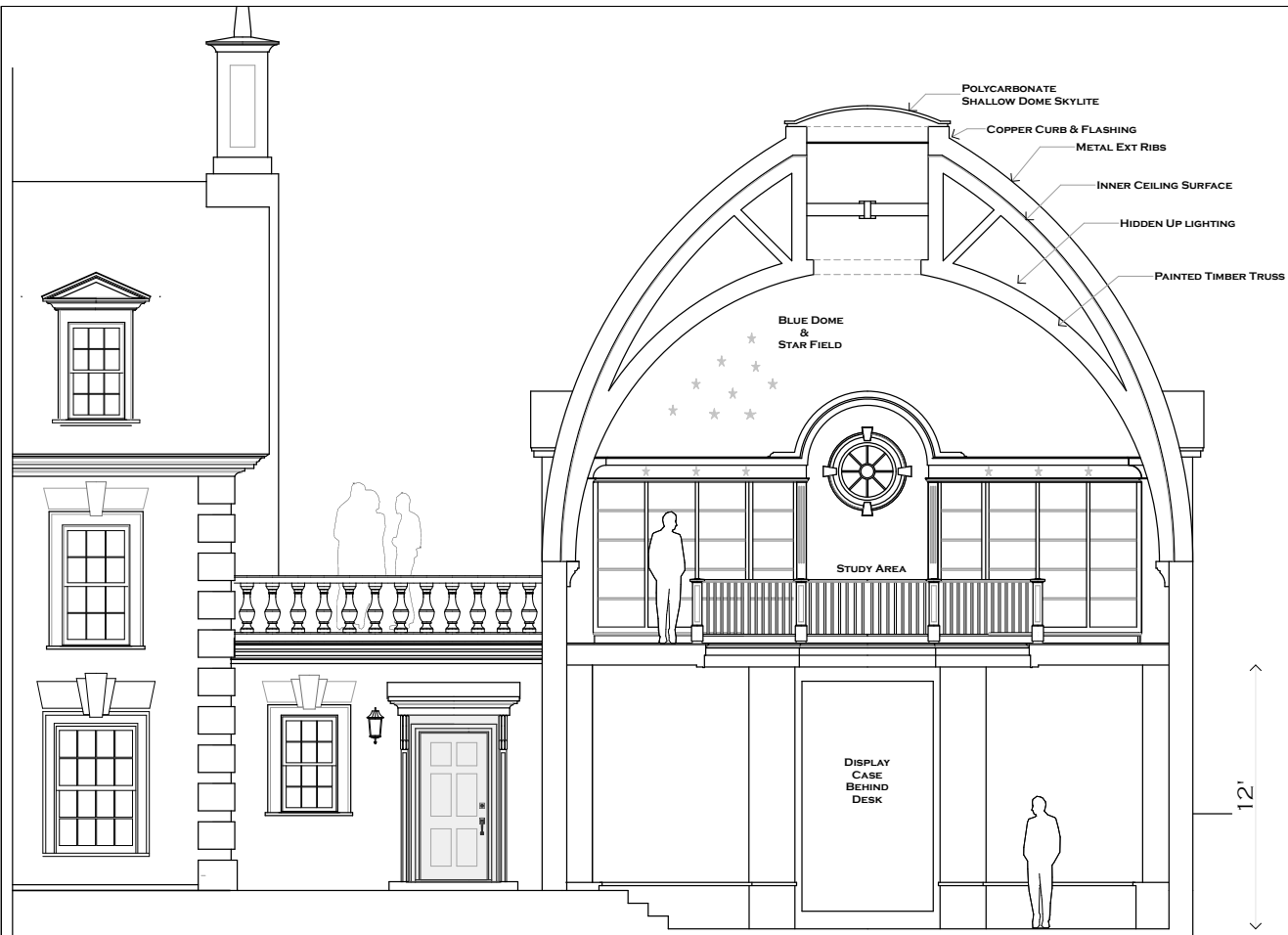
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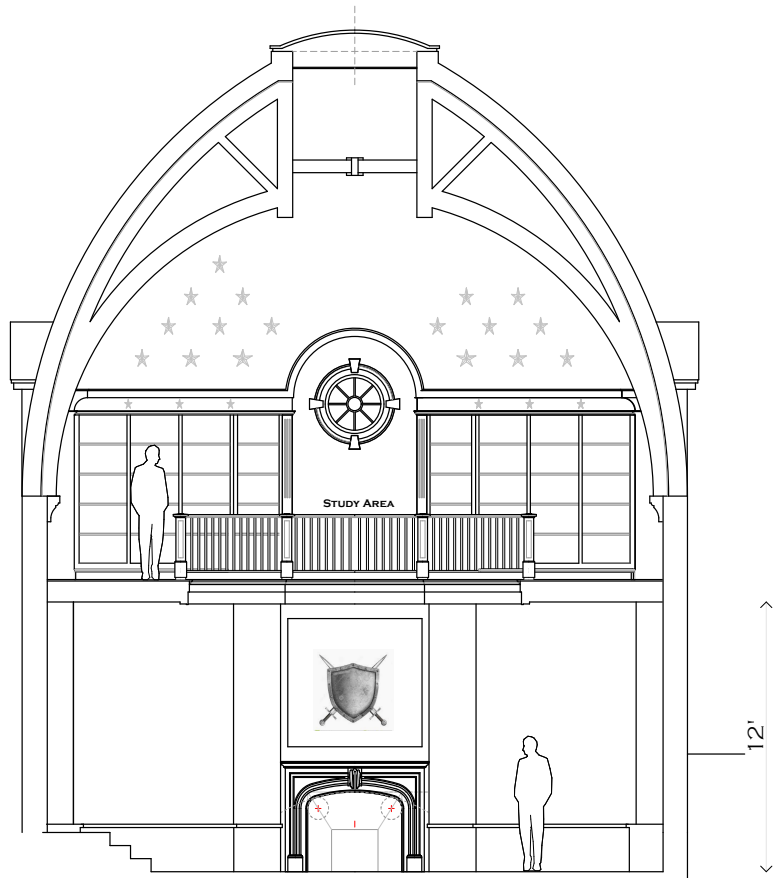
41 Lauder Lane
Greenwich, CT

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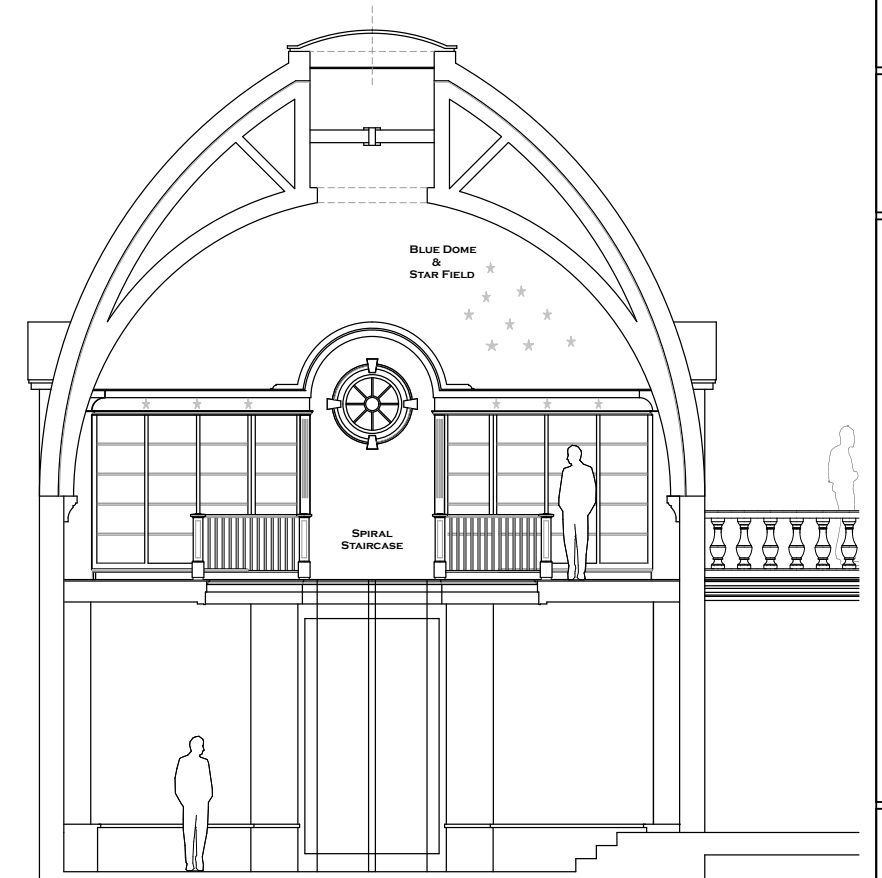
SK-2



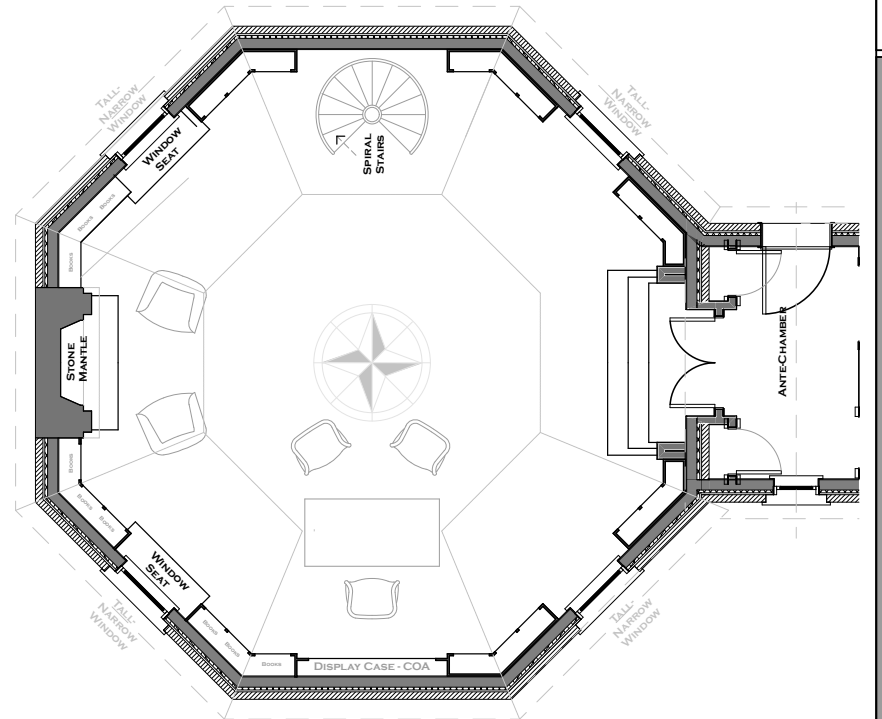
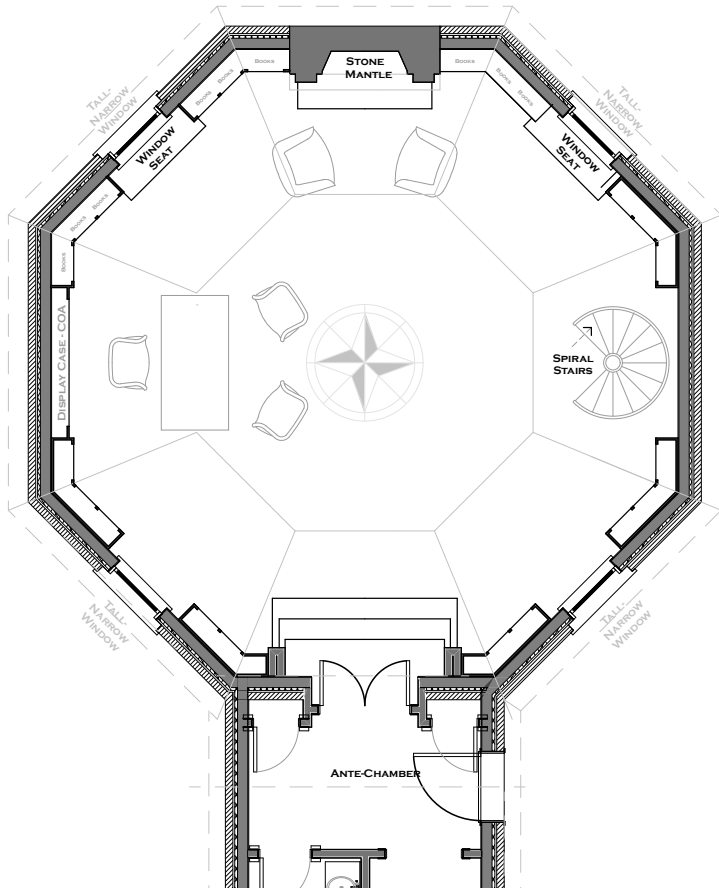
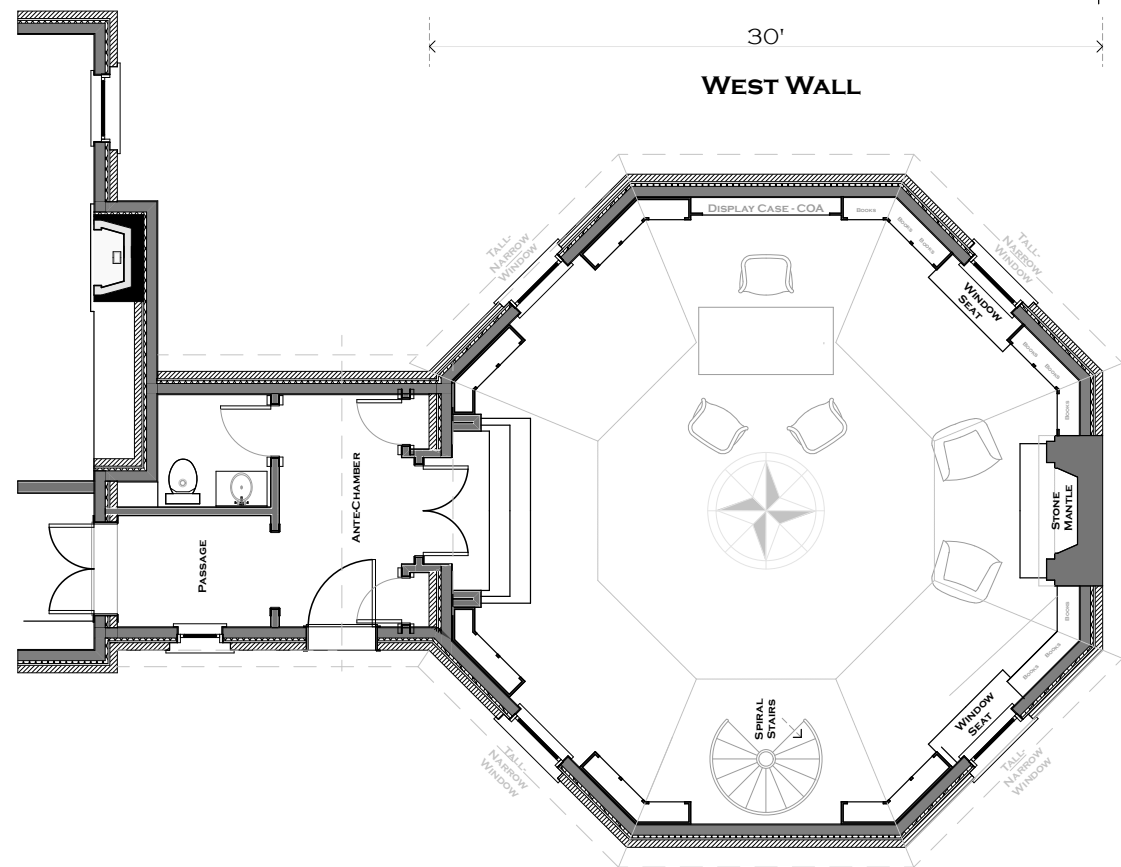
30'
WEST WALL



30'
NORTH WALL



30'
EAST WALL



Issue Date
8/21/19

Section Studies

"NAPKIN SKETCH STUDIES"

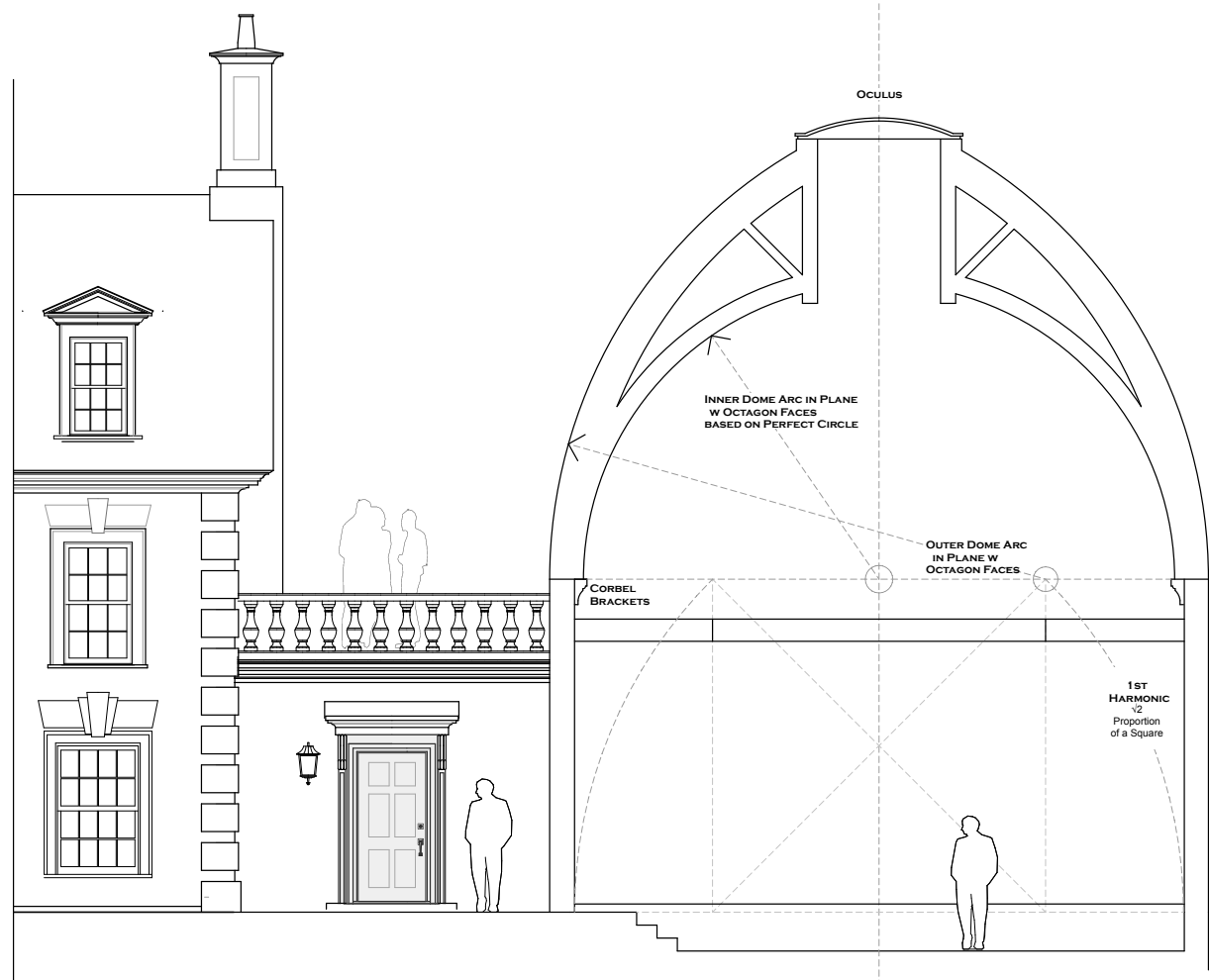
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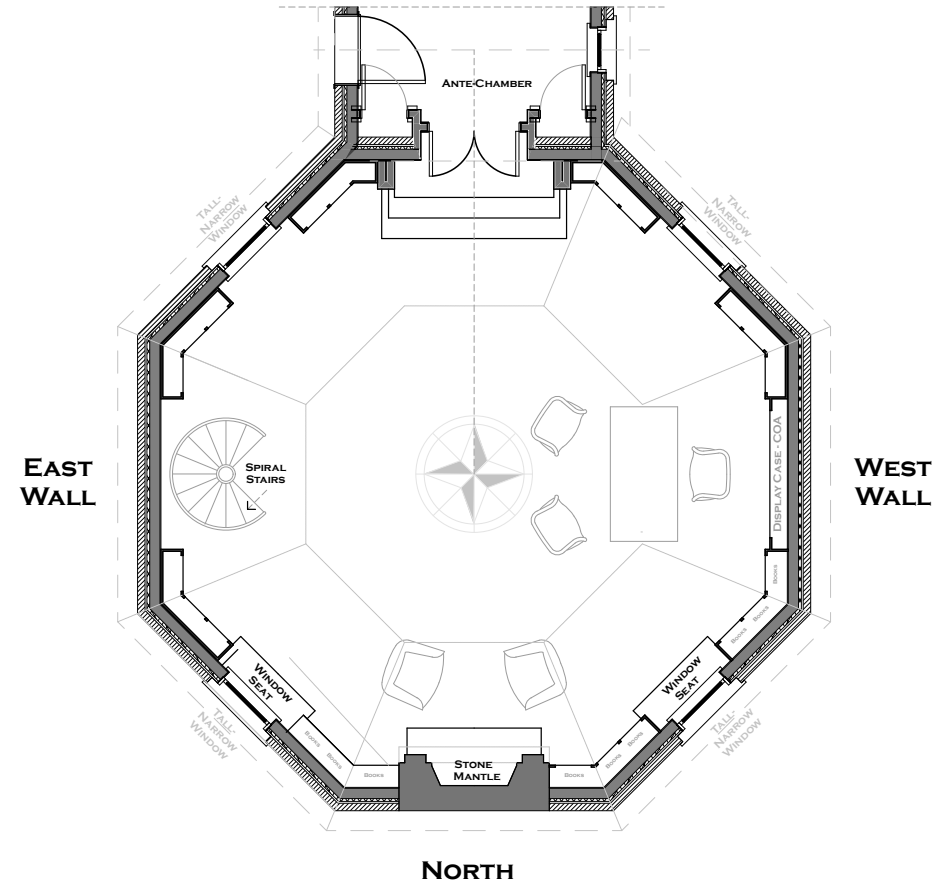
SK-3



30'
GEOMETRY & PROPORTIONS STUDY
 TO EMULATE
 RADCLIFFE LIBRARY DOME OF
 CAMERA AT OXFORD



30'
SOUTH WALL



Issue Date
8/21/19

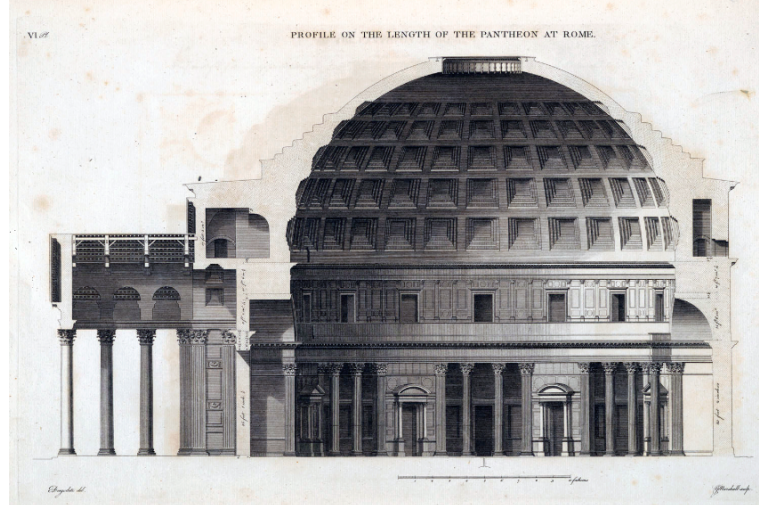
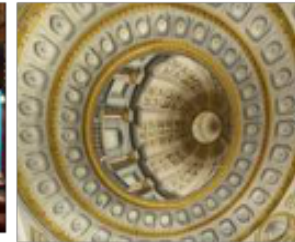
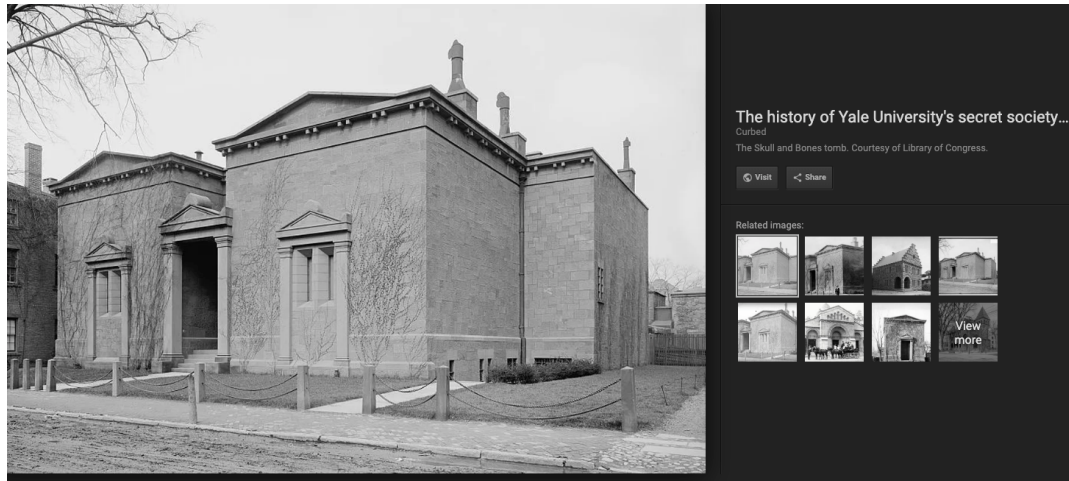
Sections - South Interior Elevations

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SK-4

BUILDINGS WITH NO OR FEW EXTERIOR WINDOWS



MOST ELEGANT OCLUSUS - NO DOME OR LANTERN

Priority 1, Immediate: Two story library with dome ceiling. If it is constructed such that it is somewhat recessed in the ground (like a half a story – the depth of the basement in the main house), when you walk through the corridor from the house and enter the library, it will feel more cavernous than it is (assuming there is no bedrock beneath the structure and it's not cost prohibitive to dig). This will give us more height for the dome, the area between the dome and the second floor and allow us to have two full floors beneath

- Attached with connector as discussed with the stone railings on top that create a 'deck' off of the master. If there is sufficient room for a powder room in the walkway from the house to the library, that's fine. Otherwise, I don't mind having a wider walkway that can serve as an entrance to my 'office'.
 - Connector should have French doors connecting to the walkway to the courtyard for a separate entrance
 - I would like double doors to open from the walkway into the library
 - The point of the building is to use as an office for several people yet have the functionality such that we can 'clear' the first floor 'common' area and host speakers or small recitals. I want it to be warm and comfortable, but formal...not ostentatious (like a Trump building), but I do like the details (such as the lotus leaves in plaster around the rotunda, moldings, pillars – see photos below...which are similar design elements we find in the house already)
- Octagon shape is great, however use larger footprint as discussed (I would like a drawing that compares the two)...that way we have the second 'floor' that can be used for functional space upstairs for desks or reading...perhaps the window portals are work or lounging areas...each window represents a different functional area
- Materials, dark woods (should not be rare wood, just stained to be dark, painted wood and plaster in interior), I like repurposed design elements, reclaimed from old churches, libraries, schools, labs, museums, firehouses
- Roof dome in the center of the ceiling will replace the lamp top you proposed, circular lighting with a painted interior – blue with gold stars (see the photo below from exterior of the church in St. Petersburg) that will reflect sound, but also create an interesting visual and draw your view to the ceiling. I like the idea of having some sort of patriotic iconography in the center (as depicted in one of the photos below), but would like it to be large enough to hang a flag in so that it is above the ground floor (see other photo below)
 - Windows on the second floor (see example in the photo below) that are 'come out' of the dome to provide light and air...somewhat like dormers so you have one window on each side of the octagon
 - Second floor is a wrap around balcony that gives room for desks, seating, meetings, etc. The wrap around should not be thick, it should use iron or wood railings and be structurally strong, but appear delicate/subtle
 - Obviously lots of room for books, but also rectangular panels that are lit for displaying art or family heirlooms (swords, medals, firearms, antique Japanese shogun armor and a suit of arms from the Medieval period, stuffed animal heads, etc.), it's a library, but it's also a man-cave of sorts
 - For the exterior, I like the brick/cornerstone combination to remain consistent with the rest of the house (see the photo below) – the structure must look like it fits in and has always been part of the house
 - I want the walls thick enough so it's quiet in there when the windows are closed...
 - One side of the first floor, perhaps on the flat side of the octagon furthest from the entrance should be a pretty large fireplace with a cool stone hearth around the fireplace – it would be great if we could find one that can be reclaimed from an old structure being demolished
 - I am not opposed to having elevated areas on the first floor so it adds contours to the flow (for example a lowered area near the fireplace or a raised area)
 - I would like a metal circular stairwell to go from the first to the second floor and, if there is a door from the master to use the terrace, there should be double doors to enter the library from the second floor

Parti - SOW References

"NAPKIN SKETCH STUDIES"

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