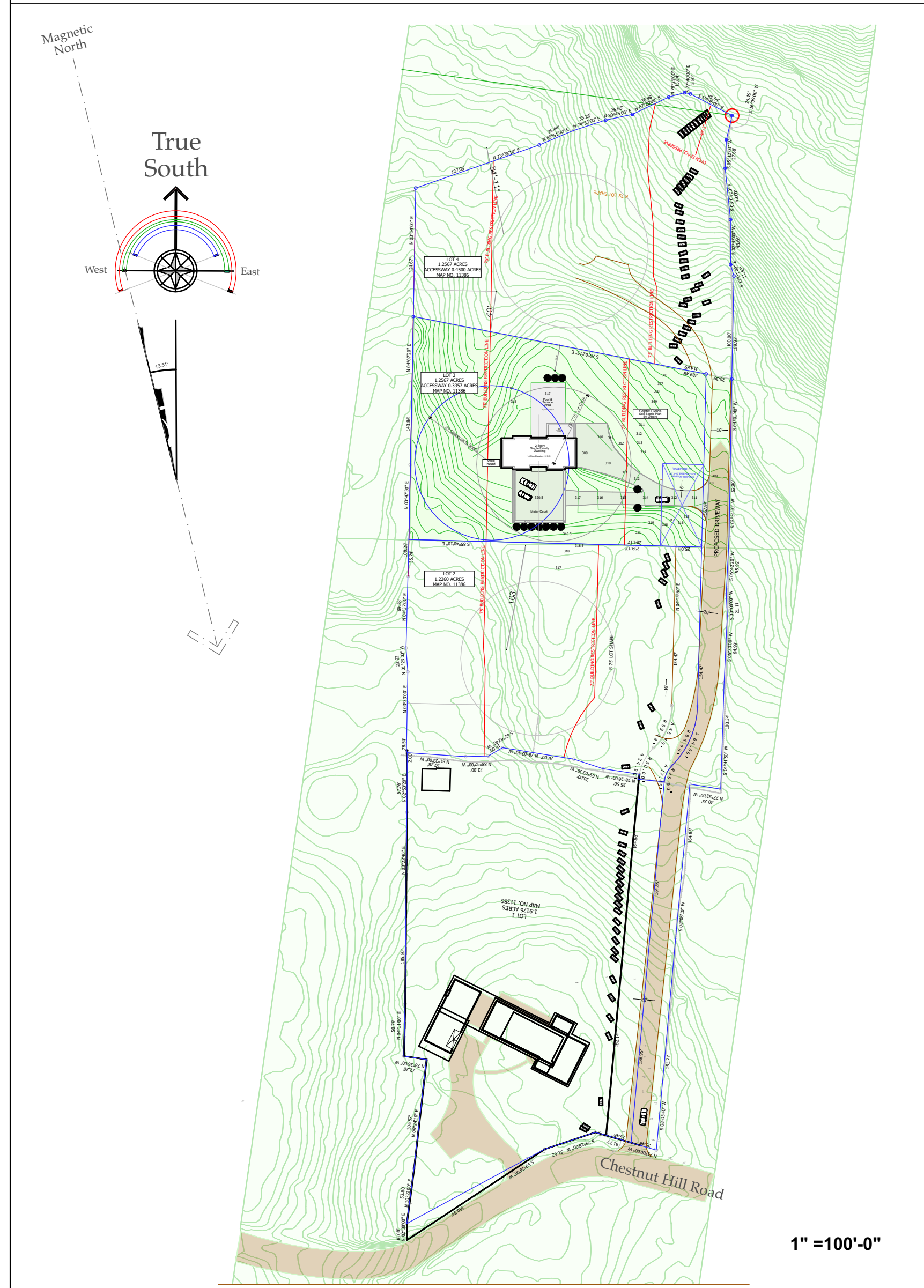


54 Chestnut Hill Road, Stamford Ct. 06903

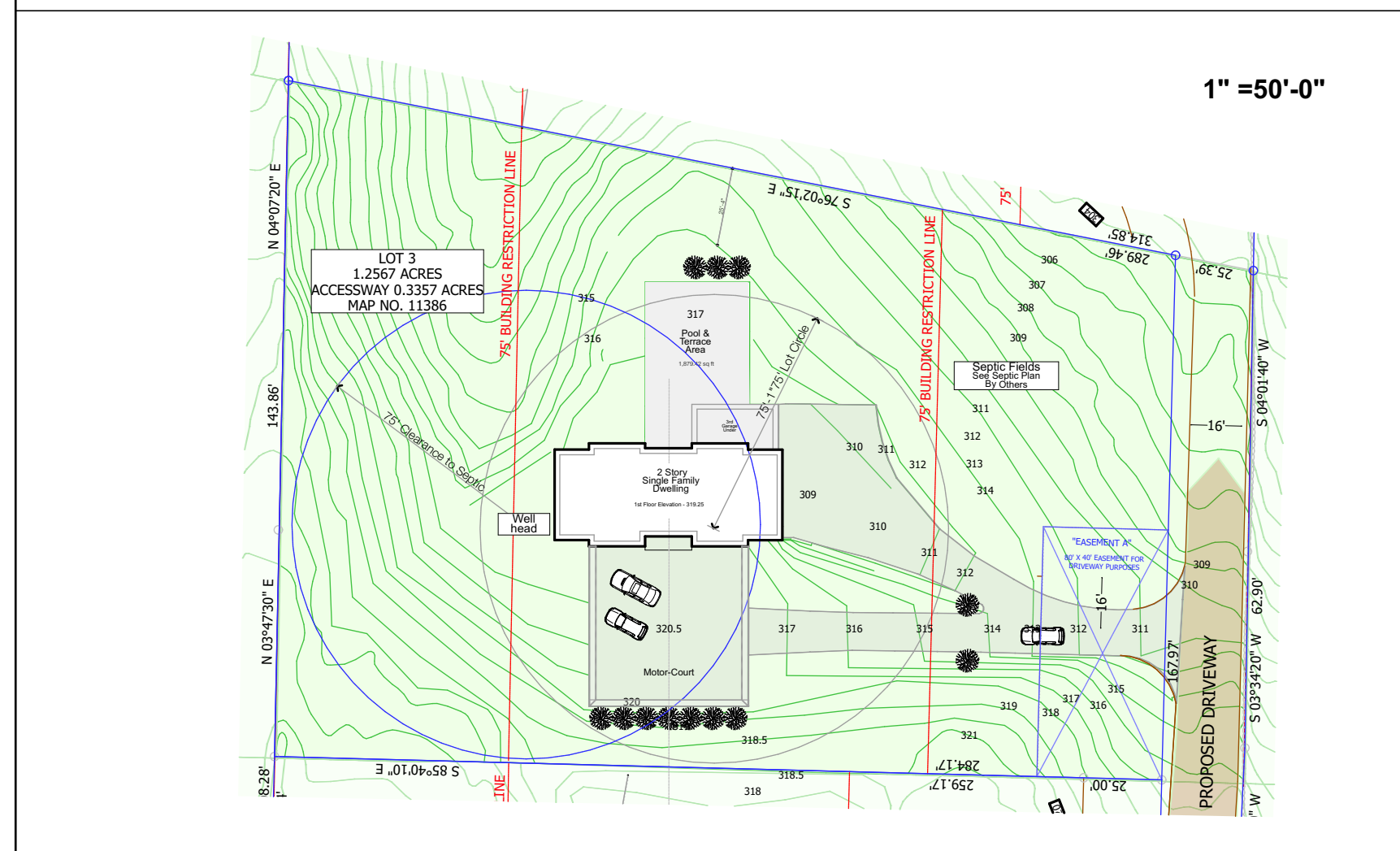


1" = 100'-0"



## New Single Family Residence

3,407 Ft2 of Conditioned Areas



1" = 50'-0"

### Code References

Zoning Regulations  
Current promulgation of the  
**STAMFORD ZONING REGULATIONS**  
And specific requirements for  
approved subdivision at 44 Chestnut Hill Rd.

Current, 2021, promulgation of the  
**CONNECTICUT STATE BUILDING CODE**  
and all referenced and adopted codes as  
applicable with current & standing amendments.

Use Group R-3

Construction Type 5B

### General Building Design Criteria

Design Loads: Max Deflection L/360

1st Floor - 45 PSF Live Load, 15 PSF Dead Load  
2nd Floor - 35 PSF Live Load, 15 PSF Dead Load  
3rd Floor - 35 PSF Live Load, 15 PSF Dead Load  
Roof - 30 PSF Snow Load, 15 PSF Dead Load

### ResCheck - IECC (International Energy Code Compliance)

Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

### Reminder - Call Before You Dig! 1-800-922-4445

The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

6/10/23

## Architectural Plans For: Dr. & Mrs. Bryan and Samantha Dorf

### Drawings Index

Architectural Plans	Site Plans
0 Cover	ID 14 Siding Options Compared & South BR Windows
0 Title Page	
A1 Elevations - Front, Rear & Sides	
A2 Foundation & Basement Plan	
A3 Foundation 3D & Garage Bay 3 Section	
A4 1st FLOOR PLAN & Window Schedule	
A5 2nd FLOOR PLAN & Door Schedule	
A6 Roof Surfaces Plan	
A7 Window Sections and Trim Details	
A8 Cross Section 1 - Master Bathroom & Closet	
A9 Cross Section 2 - Office & Master Bedroom	
A10 Cross Section 3 - Stairs	
A11 Cross Section 4 - Great Room & Bridge - Stairs Beyond	
A12 Cross Section 5 - Kitchen & Dining Room	
A13 Cross Section 6 - West Wing	
A14 Long Section 1 - MBR Closet, Office, Entry, Dining Rm	
A15 Long Section 2 - Master Closet, Office, Garage	
A16 1st Floor Framing Plan	
A17 2nd Floor Framing Plan	
A18 Roof Framing Plan	
A19 Typical Insulation Details - Typical Wall Conditions	
A20 Lateral Wind Load Bracing Analysis	
	<b>Interior Design Drawings</b>
	(Note: Interior Design and Lighting/Electrical Locations Plans are NOT included in Building Permit Submission Plans)
	E2 Lighting & Devices Locations - 2nd Floor
	ID1 Kitchen Cabinets Fridge & Stove Wall
	ID2 Kitchen Cabinets - South Wall Options
	ID3 Kitchen Cabinets - Island
	ID4 Kitchen Cabinets - Cross Sections, Door/Drawer Fro...
	ID5 Master Bathroom Cabinets
	ID6 Standing & Running Trim
	ID7 Bridge Section & Railing Details
	ID8 Custom Cabinetry
	ID9 Lighting Fixtures & Wall/Floor Finishes Schedule
	CN4 Construction Notes - Sheet 4
	E1 Lighting & Devices Locations - 1st Floor

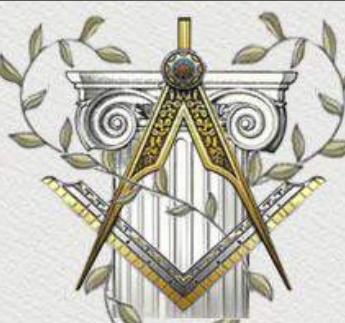
NOTE: Only Drawings that are Signed & Sealed by the Architect may be used for obtaining Building Permits, Approvals & for Constructing the Project. Be careful not to use Progress Drawings or Bid Documents that are not the most recently revised or updated architectural plans.

**Instruments of Service:**  
These Drawings are "Instruments of Service" provided to The Client only, for several purposes. They are used for documenting the "Design Process" between the Client and the Architect, Defining the Scope of Work to be built, procuring Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect. These drawings may not be published in commercial media without the architect's permission.

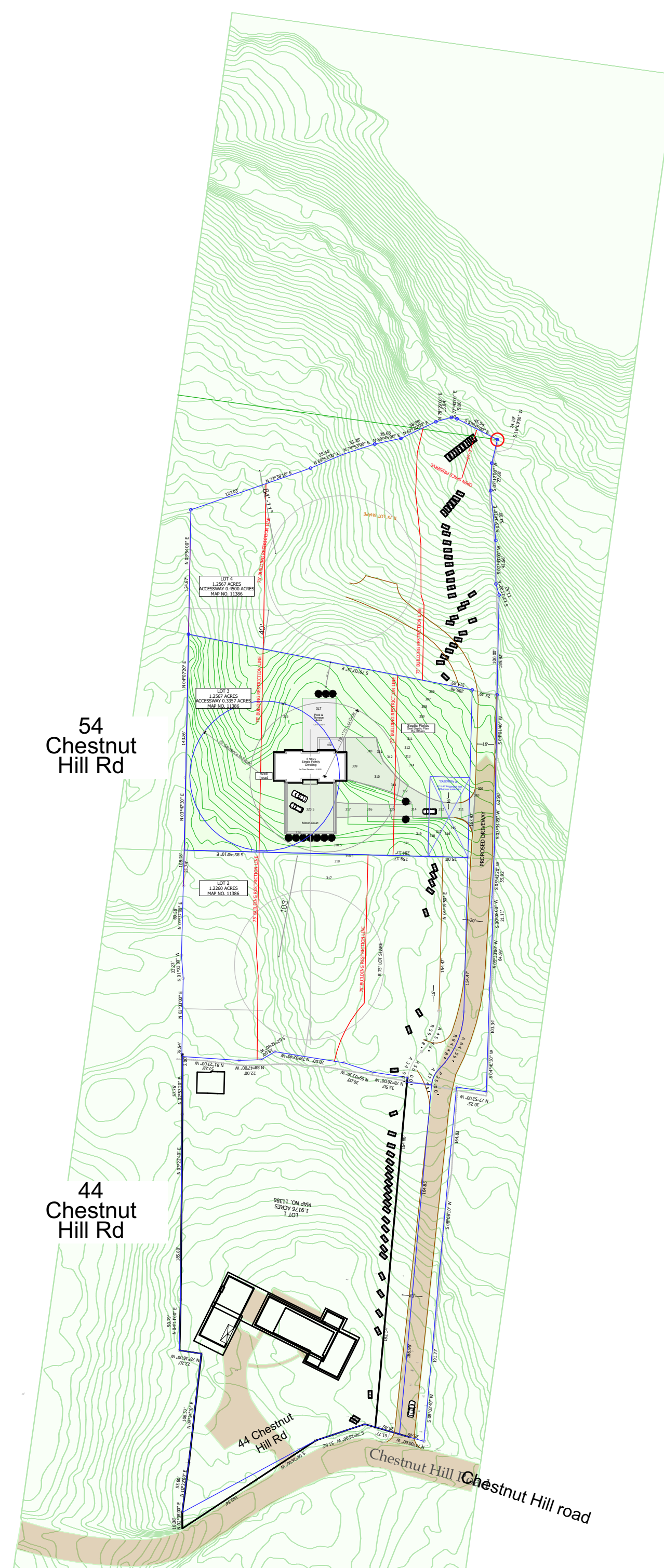
**Use of Documents:**  
All drawings, data, & electronic media included or referenced in these documents are included as Instruments of Service and as such, are the property of Joseph Matto Architects. These documents are copyright protected and not to be used for any other project, or by any other persons other than those identified and authorized as the Patrons or Clients on this page.

**Accuracy of Documents:**  
All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible unanticipated design & construction conflicts.

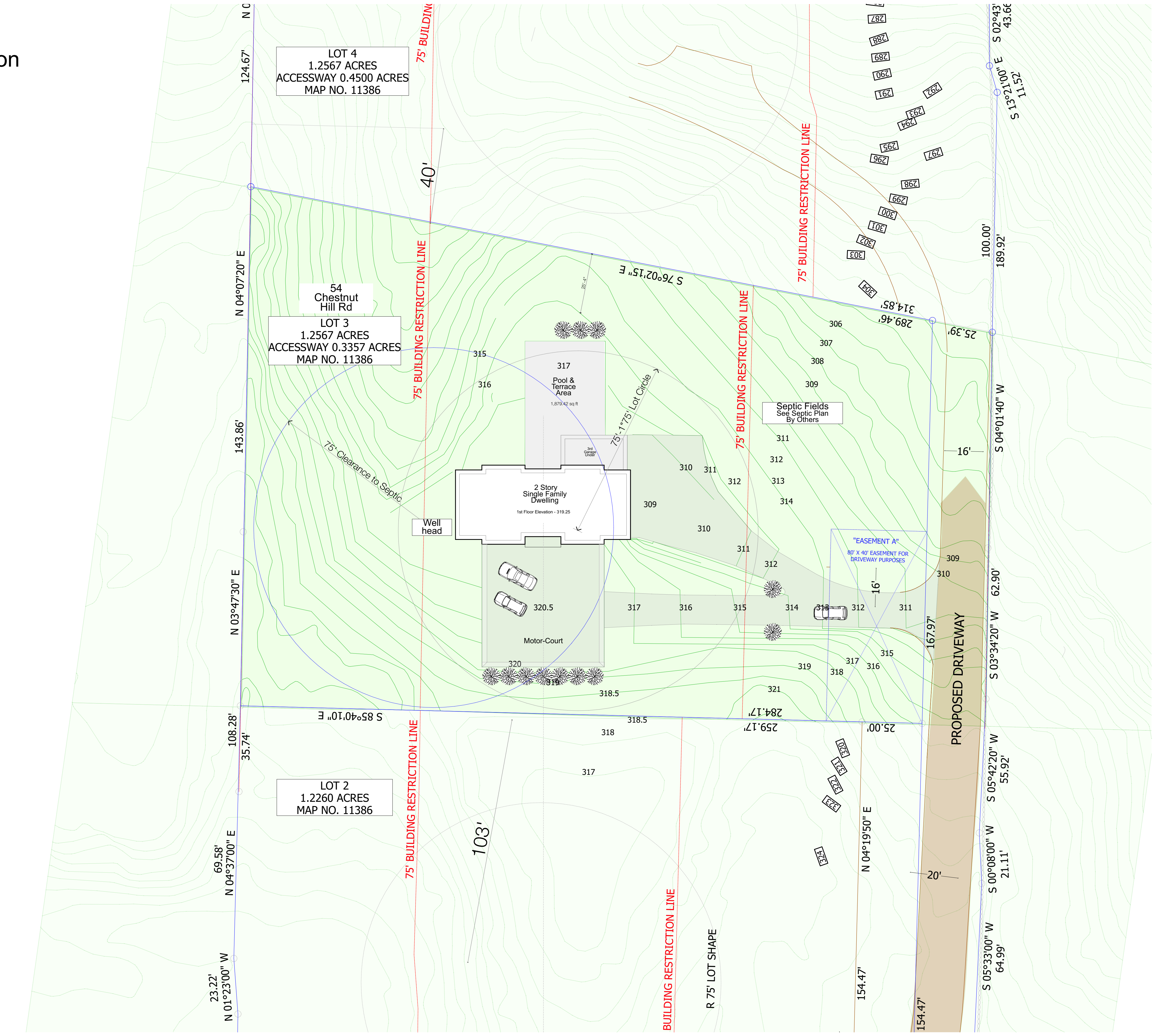
Copyright © 2021 - Joseph Matto Architect - AIA

<b>Builder &amp; General Contractor</b>	<b>Patrick Sweeney - Sweeney Construction Co, LLC</b> 44 Chestnut Hill Road, Stamford, Ct. 06903		
<b>Professional Consultants</b>	Surveyor - Civil Engineers	Michael W Finkbeiner, PLS Licensed Land Surveyor C#16105	EARTH IMAGE LLC 6 Oak St West - Suite E, Greenwich, Ct 06830
	Interior Designer	Katie Canfield, Interior Designer 19 Dean St. Stamford, Ct. 06902	Studio KC Interiors
	Landscape Designer	TBD	
<b>Patrons</b>	<b>Dr &amp; Mrs Bryan &amp; Samantha Dorf</b>		Project Address
	296 Park Street New Canaan, Ct.	Phone: _____ Email: _____	54 Chestnut Hill Road Stamford, Ct. 06903
	<b>Joseph Matto Architect</b> Connecticut Architect Registration #8840 - Interior Designer Registration #IDE.3608 (203) 203-856-5552 joemattoarchitects@gmail.com JoeMattoArchitect.com		<b>JMA Project Year</b>
	A Member of the American Institute of Architects And The American Society of Interior Designers		<b>2020 Dorf Residence</b>

# Lot 3 Chestnut Hill Subdivision

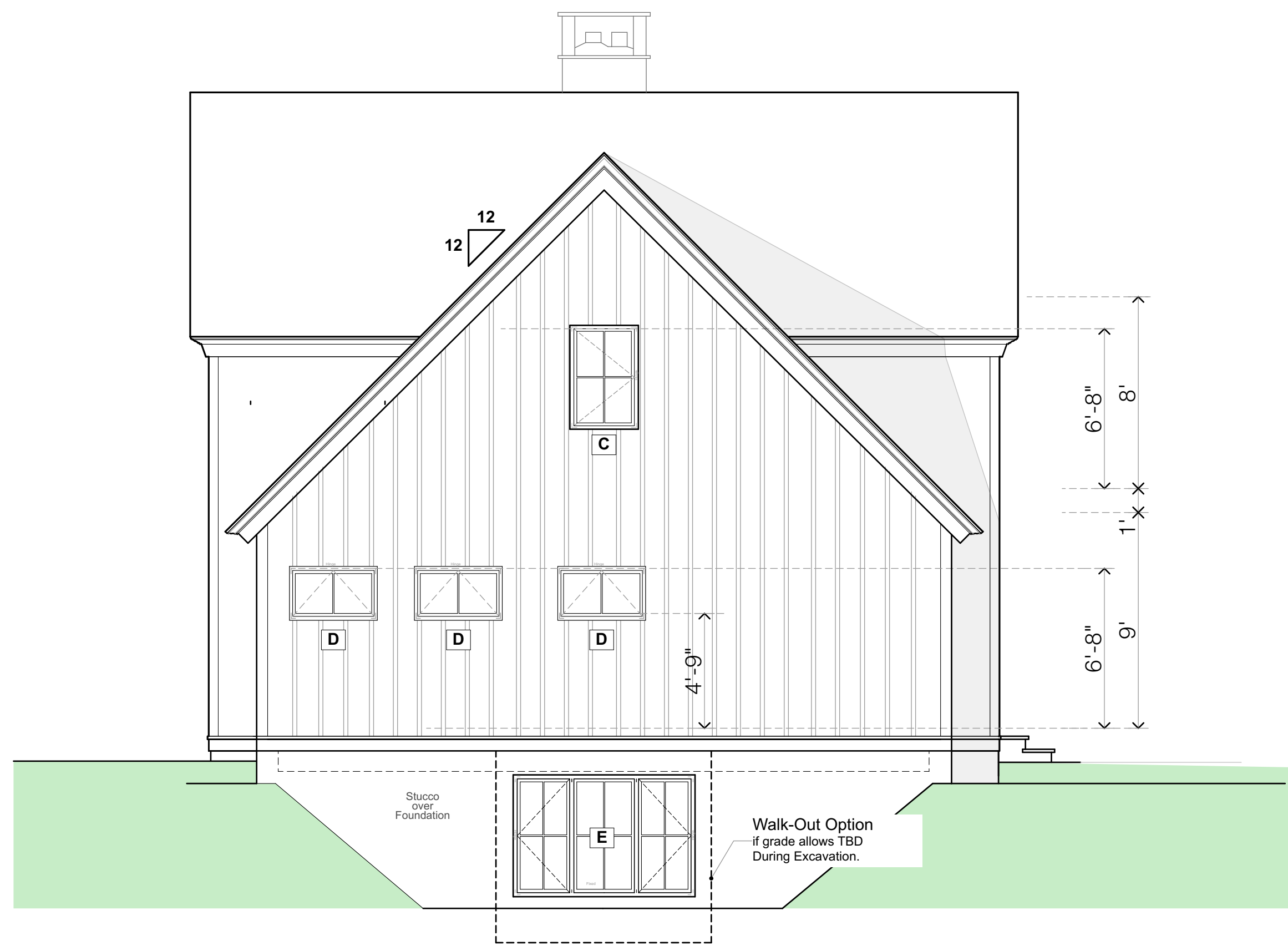


44 - 49 - 54 - 59 Chestnut Hill Subdivision  
SCALE: 1" = 100'



Site Plan - Lot 3 Chestnut Hill Subdivision  
SCALE: 1" = 20'

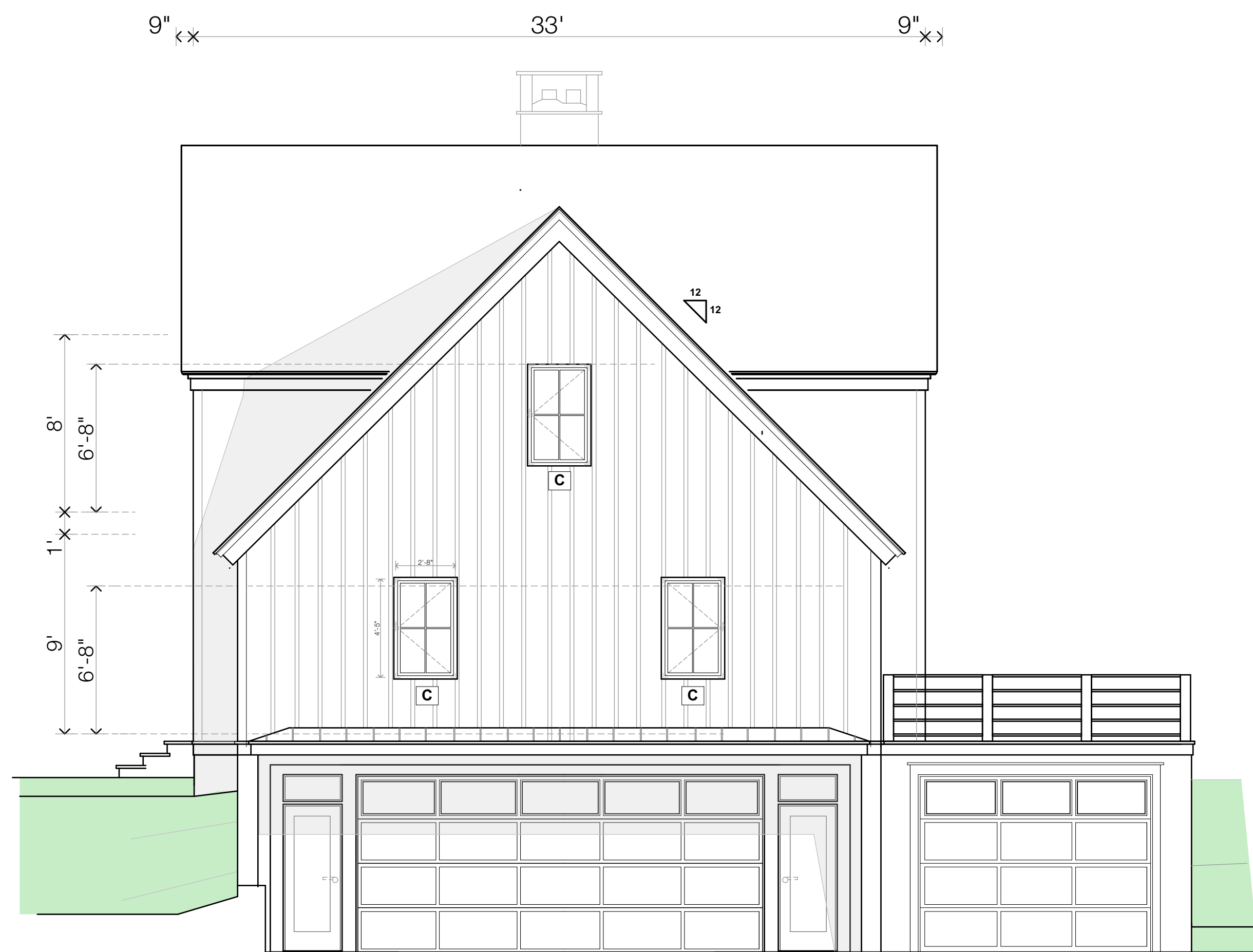
Issue Date 6/10/23	
Revisions	
Architect's Site Plan	
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	
Chestnut Hill Stamford, Ct.	
Joseph Matto Architect AIA Samantha and Bryan Dorf	
Page S1	



Left Side (East)



Front (North)



Right Side (West)



Rear (South)

Exterior Elevation Views

SCALE: 1:53.333

Issue Date  
6/10/23

Revisions	

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Joseph Matto Architect AIA  
Samantha and Bryan Dorf

GENERAL FOUNDATION NOTES:

1. Concrete walls and slabs to be 3,000 PSI concrete (28 day compressive strength).
2. Provide expansion and control joints as per code.
3. All footings to be installed on undisturbed soil, and of suitable bearing capacity, or Soil Compacted to 90% natural density.
4. All footings to be installed a minimum of 3'6" below finished grade and a minimum of 1'6" below existing grade.
5. Do not backfill foundation walls until slab is in place unless a 2" x 4" continuous keyway is used on top of footings, or butressing Slab is installed.
6. Anchor bolts to be 1/2" (unless otherwise specified) and to be spaced 48" o/c and 1' from corners. Embed bolts 7" minimum into foundation wall.
7. Steel columns are to exceed a minimum load carrying capacity of 24,000 lbs. @ 11" in height.
8. All multiple member LVL or Microlam beams to be thru-bolted with 1/2" diameter bolts, 2 rows @ 24" o/c, or as specified by manufacturer.
9. Field verify depth & location of stone veneer shelves or penetrations, etc., with Architect prior to pouring.
10. Field verify height of terrace and step foundation walls with Architect prior to pouring.
11. Reinforce foundation WALLS as follows if wall heights exceed 8':  
 2-#4 bars top & Bottom.  
 1 #4 bar @ 12" o/c vertically, set 2" in from the inside.  
 1 #4 bar @ 24" o/c horizontally, set to the inside of the vertical bars.
12. All building columns to be 4" steel on 36" x 36" x 12" poured concrete footings with 2-#4 rebar each direction, 2" from bottom of pour.
13. General Contractor to be responsible that all materials, methods, and structures are in strict compliance of all governing codes - City, state & federal.

Joseph Matto Architect - AIA  
Steel Beam Analysis

Dorf Residence- Stamford, Ct.

Description	Span		Trib. Area	Uniform Loads or PL Equiv.			Point Loads		Total Loads		Required	Moment of Inertia - X 900			2/28/21		
	Span	Width		Dead	Live	PL	Point	Total	Mmax	Selection		Mmax	Deflection	Beam			
1st Floor Flr	24.25	14.50	352	15	45	1.00	21.10	21.10	0.87	63.95							
2nd Floor	24.25	14.50	352	15	35	1.00	17.58	17.58	0.73	53.29							
Roof Load	24.25	14.50	352	15	35	1.00	17.58	17.58	0.73	53.29							
Combined	24.25	14.50	1,055	15	115	1.00	56.26	56.26	2.32	170.54	W: 18	50	224	0.81	0.78	18	1213

Exceeds Maximum Moment Required by 53.46 Sized by deflection

Description	Span		Trib. Area	Uniform Loads or PL Equiv.			Point Loads		Total Loads		Required	Moment of Inertia - X 22			3/19/18		
	Span	Width		Dead	Live	PL	Point	Total	Mmax	Selection		Mmax	Deflection	Beam			
Slab	12.75	6.25	80	25	35	1.00	4.78	4.78	0.38	7.62	W: 6	12	20	0.43	0.35	16	153

Exceeds Maximum Moment Required by 12.38 Sized by deflection

Description	Span		Trib. Area	Uniform Loads or PL Equiv.			Point Loads		Total Loads		Required	Moment of Inertia - X 510			3/19/18		
	Span	Width		Dead	Live	PL	Point	Total	Mmax	Selection		Mmax	Deflection	Beam			
2nd Floor	27	9.00	243	15	35	1.00	12.15	12.15	0.45	41.01							
Attic	27	9.00	243	15	10	1.00	6.08	6.08	0.23								
Roof	27	9.00	243	15	35	1.00	12.15	12.15	0.45								
Combined	27	9.00	729	15	80	1.00	30.38	30.38	1.13	41.01	W: 18	35	114	0.90	0.91	16	945

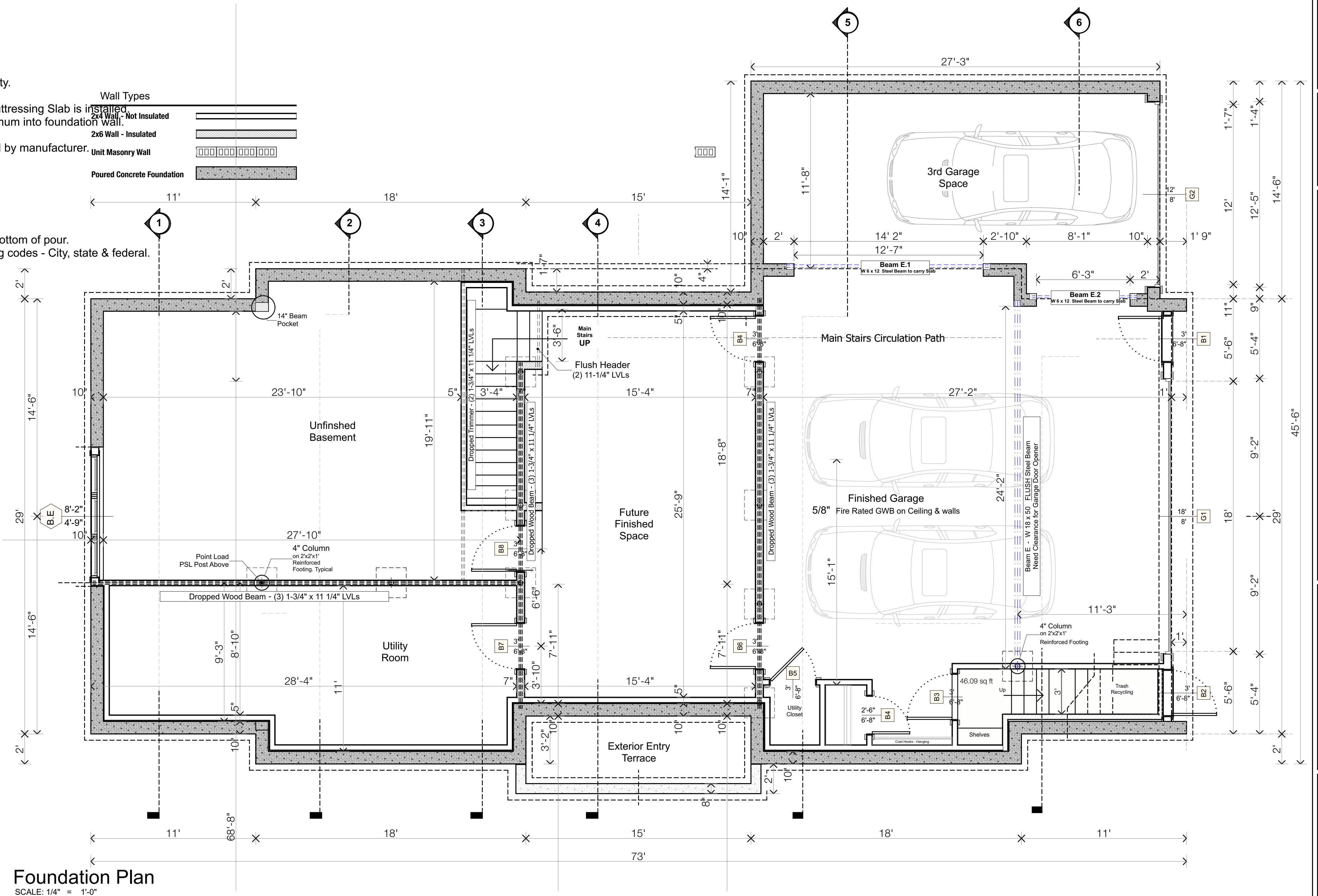
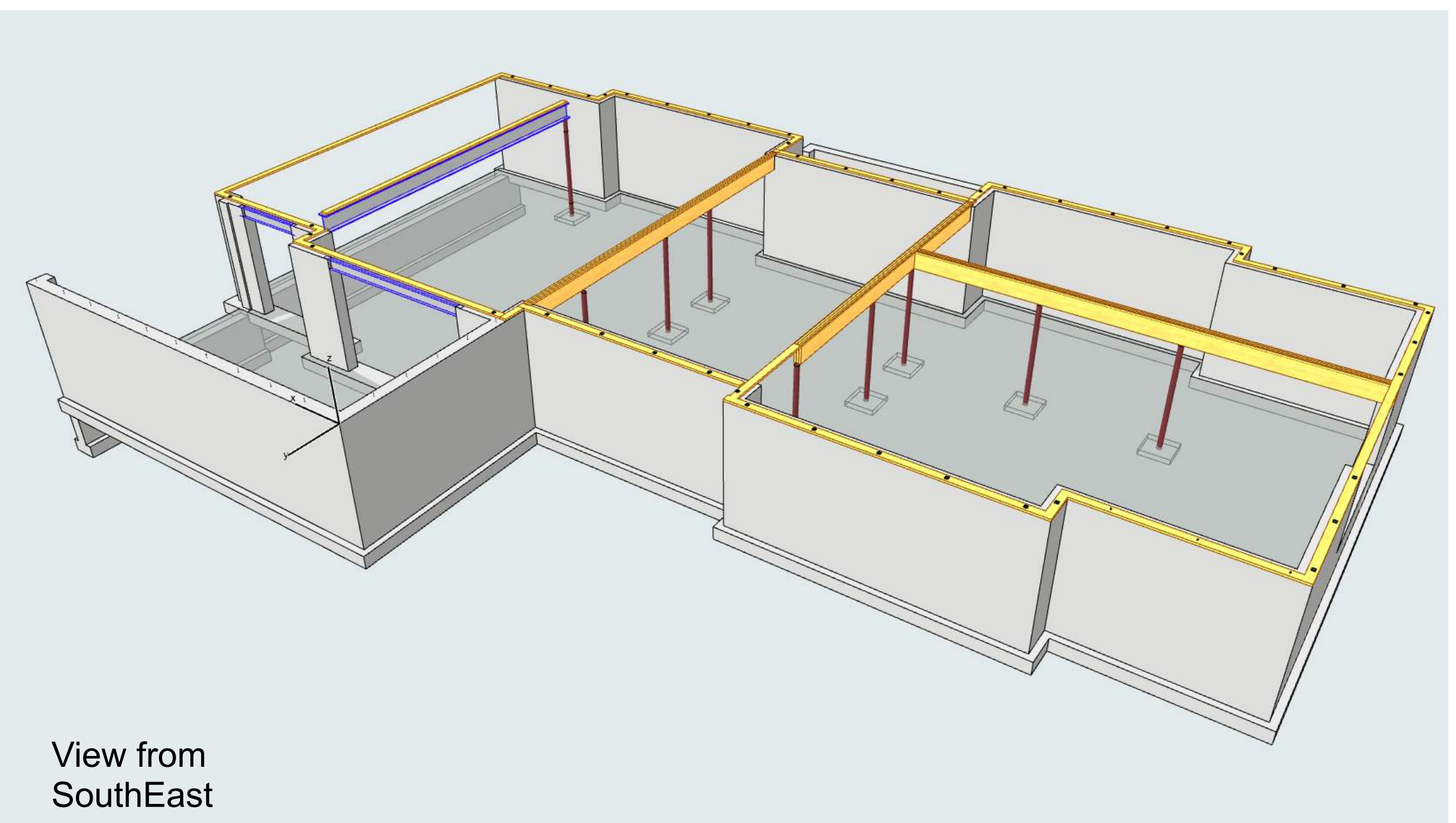
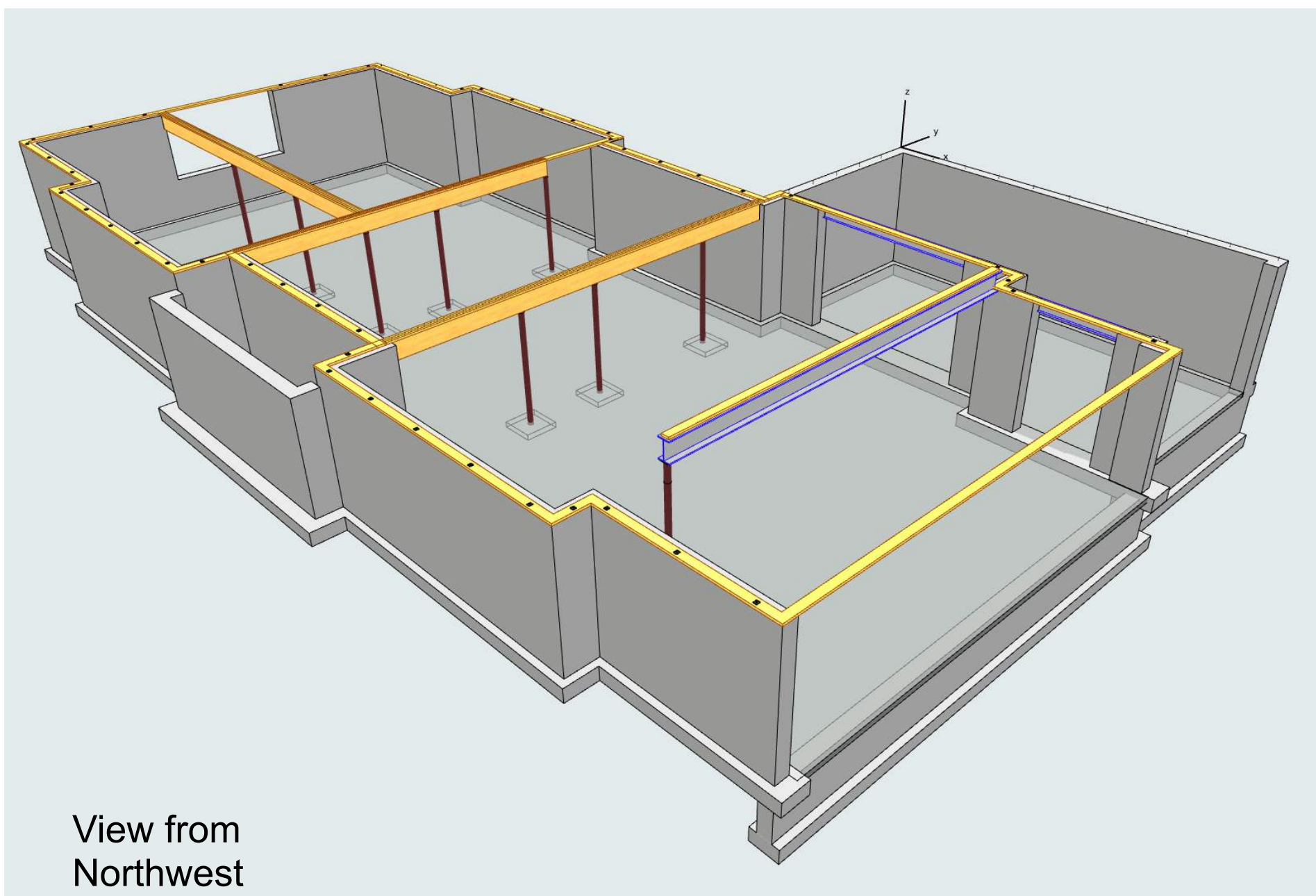
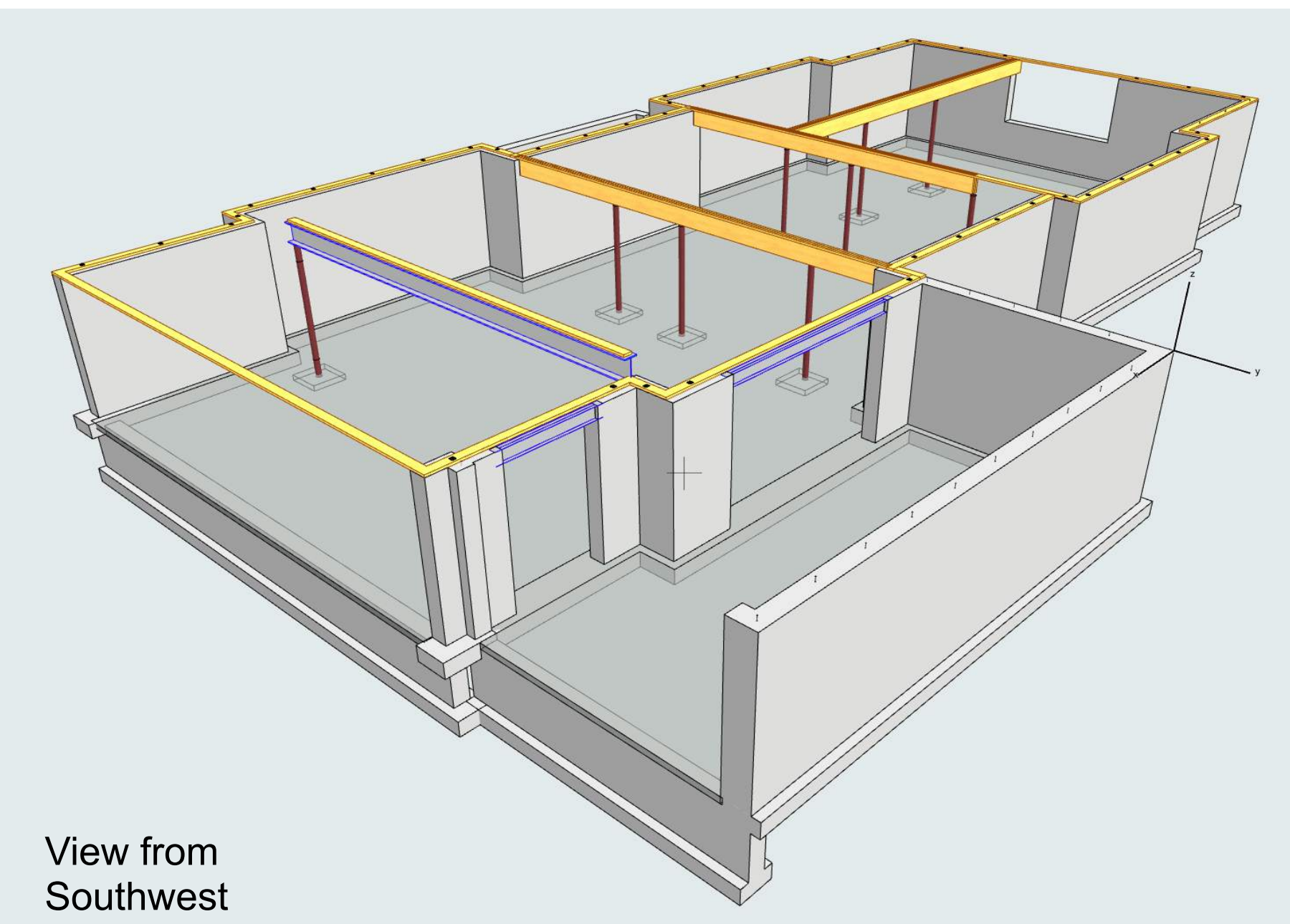
Exceeds Maximum Moment Required by 72.99 Sized by deflection

Elevation benchmarks

Top of Footing	EL 310
Top of Slab	EL 310.25
Top of Foundation	EL 319
Top of 1st Floor	EL 320.25

Foundation Quantities (estimated without Waste factors)

Slab Surface Area =	2407 ft2
Slab Volume .....	30 Cubic Yards
Poured Concrete Walls ....	62.5 Cubic Yards
Footings .....	15 Cubic Yards



Foundation Plan  
SCALE: 1/4" = 1'-0"

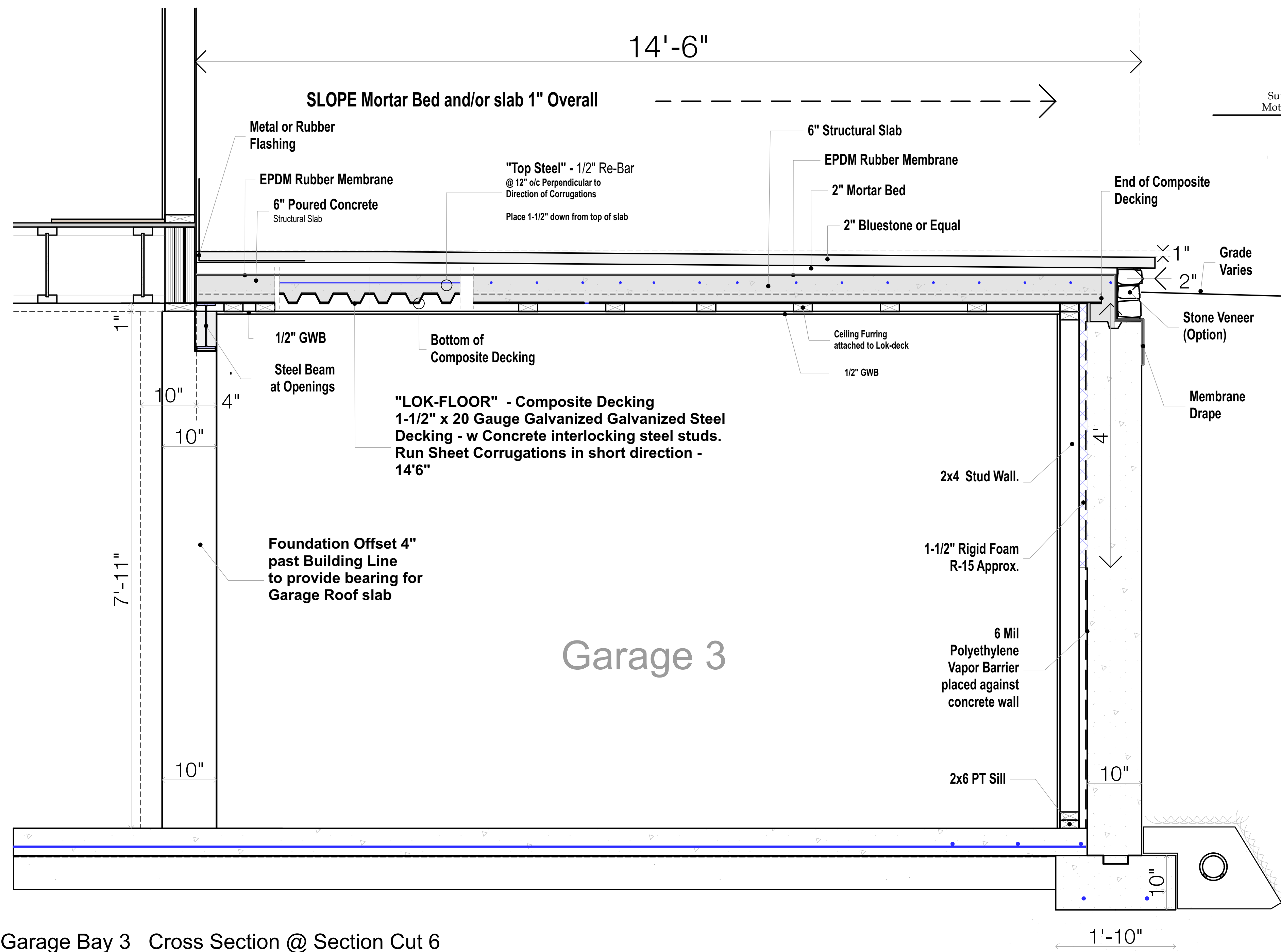
Issue Date	6/10/23
------------	---------

Revisions

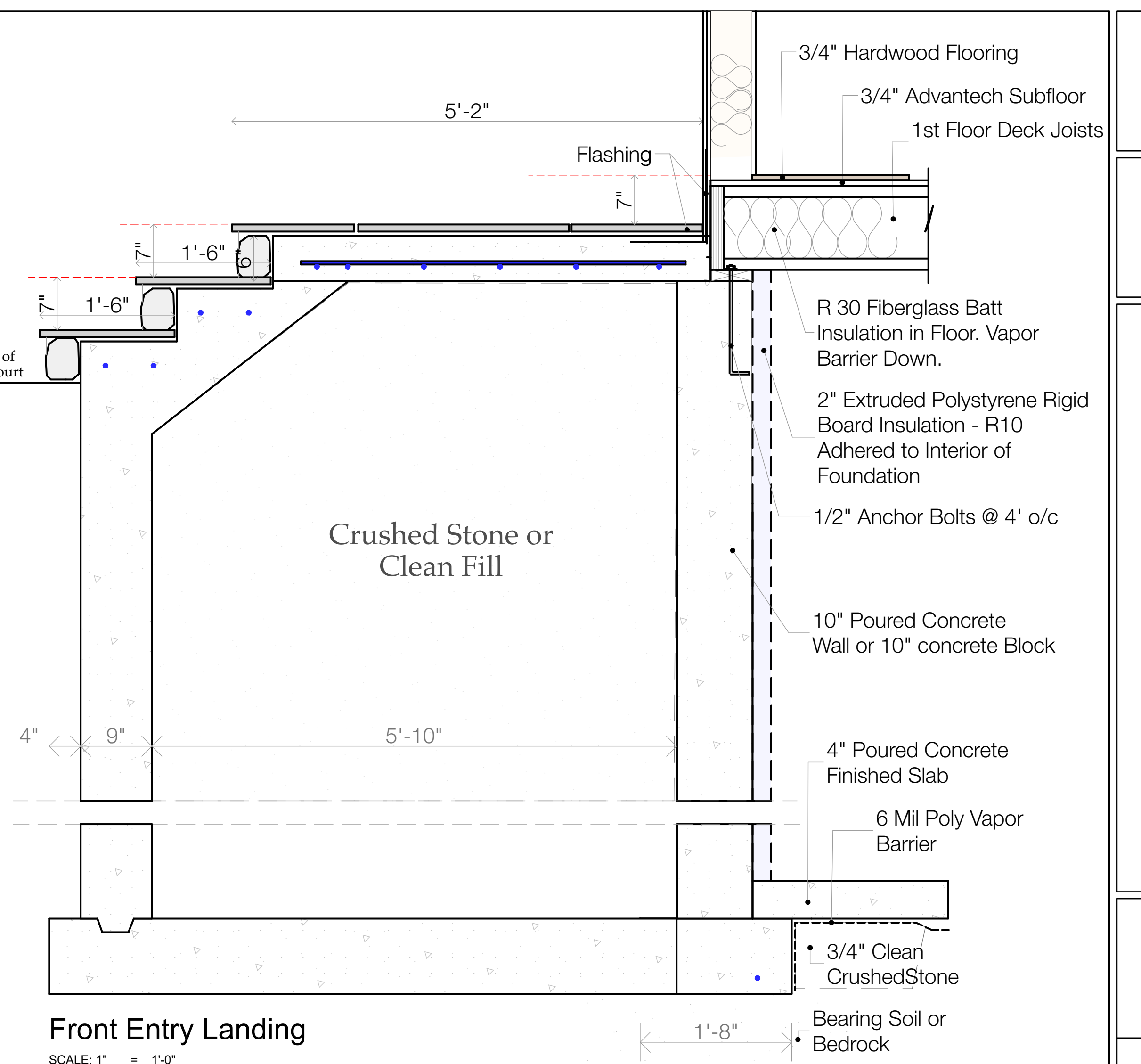
Scale (s)	
-----------	--

72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

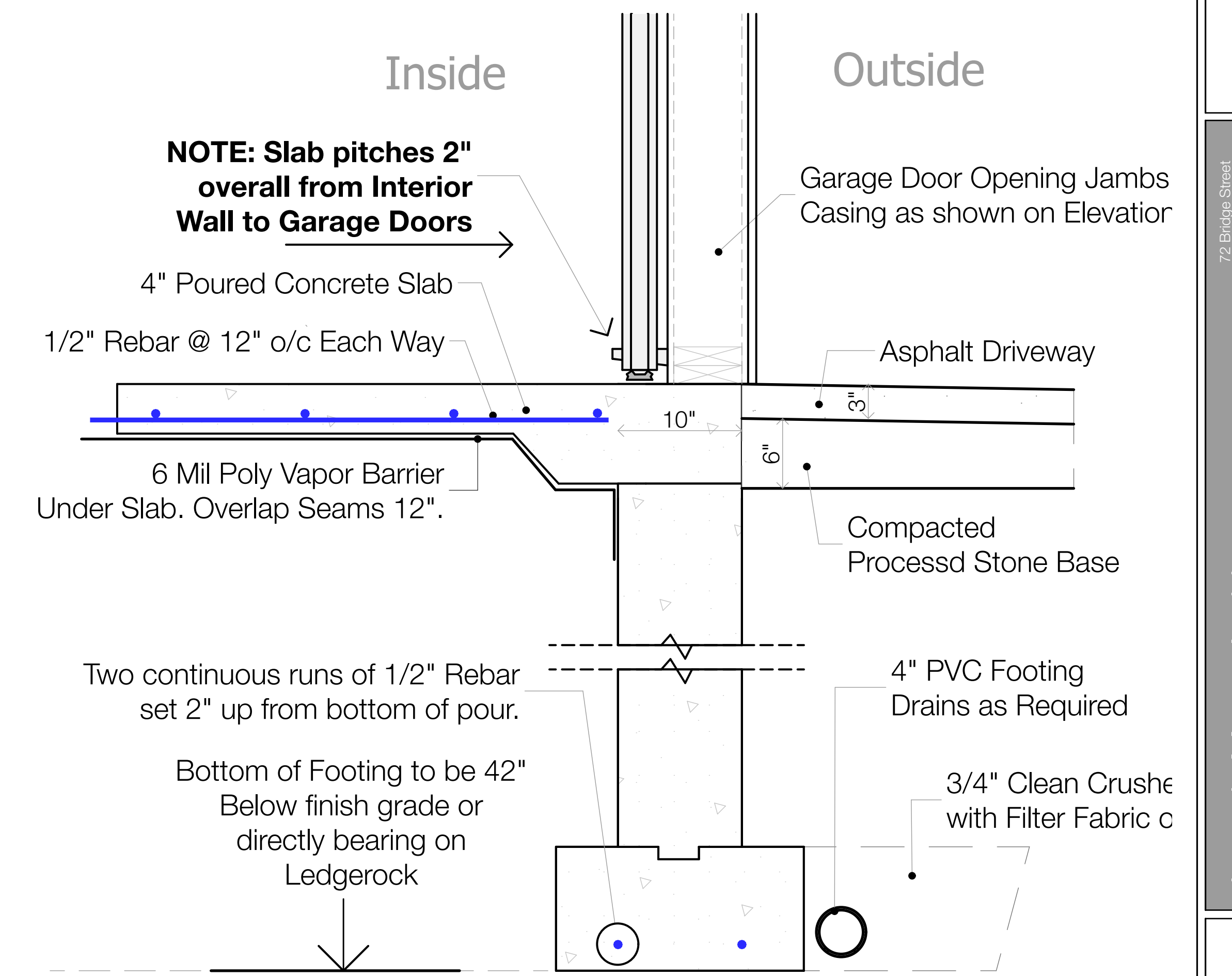
Joseph Matto Architect AIA  
Samantha and Bryan Dorf



Garage Bay 3 Cross Section @ Section Cut 6  
SCALE: 1" = 1'-0"



Front Entry Landing  
SCALE: 1" = 1'-0"



SCALE: 1 1/2" = 1'-0"  
Foundation @ Garage Doors

Issue Date	
6/10/23	
Revisions	
Foundation 3D & Garage Bay 3 Section	
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	
Chestnut Hill Stamford, Ct.	
Joseph Matto Architect AIA	
Samantha and Bryan Dorf	
Page	
A3	

# Pella Windows

## Lifestyles Series

### Transoms

Opening	(451) (432)	(552) (533)	(603) (584)	(654) (635)	(756) (737)	(832) (813)	(908) (889)
Frame	1' 5"	1' 9"	1' 11"	2' 1"	2' 5"	2' 8"	2' 11"
1' 5 3/4" x 1' 9 3/4"	1714	2114	2314	2514	2914	3214	3514
1' 5 3/4" x 1' 11 3/4"	1717	2117	2317	2517	2917	3217	3517
1' 9 3/4" x 1' 9 3/4"	1721	2121	2321	2521	2921	3221	3521
1' 9 3/4" x 1' 11 3/4"	1723	2123	2323	2523	2923	3223	3523
1' 11 3/4" x 1' 9 3/4"	1725	2125	2325	2525	2925	3225	3525
1' 11 3/4" x 1' 11 3/4"	1729	2129	2329	2529	2929	3229	3529

### Vent Units

Opening	(832) (813)	(908) (889)	(1060) (1041)	(1213) (1194)	(1365) (1346)	(1518) (1499)	(1670) (1651)	(1822) (1803)	(1873) (1854)
Frame	2' 8"	2' 11"	3' 5"	3' 11"	4' 5"	4' 11"	5' 5"	5' 11"	6' 1"
2' 8 3/4" x 2' 8 3/4"	1732	2132	2332	2532	2932	3232	3532		
2' 8 3/4" x 2' 11 3/4"	1735	2135	2335	2535	2935	3235	3535		
2' 11 3/4" x 2' 8 3/4"	1741	2141	2341	2541	2941	3241	3541		
2' 11 3/4" x 2' 11 3/4"	1747	2147	2347	2547	2947	3247	3547		
3' 5 3/4" x 2' 8 3/4"	1753	2153	2353	2553	2953	3253	3553		
3' 5 3/4" x 2' 11 3/4"	1759	2159	2359	2559	2959	3259	3559		
3' 11 3/4" x 2' 8 3/4"	1765	2165	2365	2565	2965	3265	3565		
3' 11 3/4" x 2' 11 3/4"	1771	2171	2371	2571	2971	3271	3571		
4' 5 3/4" x 2' 8 3/4"	1773	2173	2373	2573	2973	3273	3573		

### Miscellaneous Formulas (Equal Sash Only)

Visible Glass	Vent Units
Width = Frame - 5"	Width = Frame - 5"
Height = (Frame - 6.3125") + 2	Height = (Frame - 6.3125") + 2
Actual Glass	Clear Opening Height:
Width = Frame - 4"	(Frame Height + 2) - 3.25"
Height = (Frame - 4.3125") + 2	Frame Width - 3.1875"

### Egress Notes:

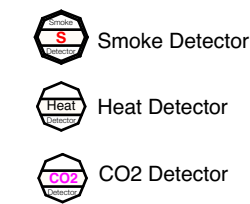
Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft<sup>2</sup>.

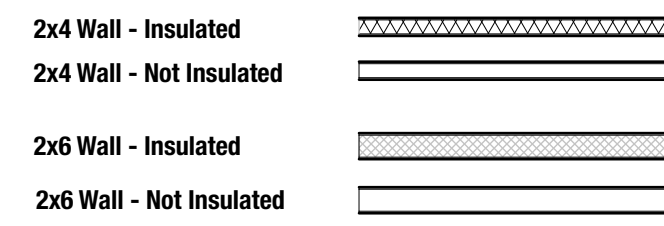
E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft<sup>2</sup>.

See Design Data pages in this section for clear opening dimensions.

### Detectors & Alarms



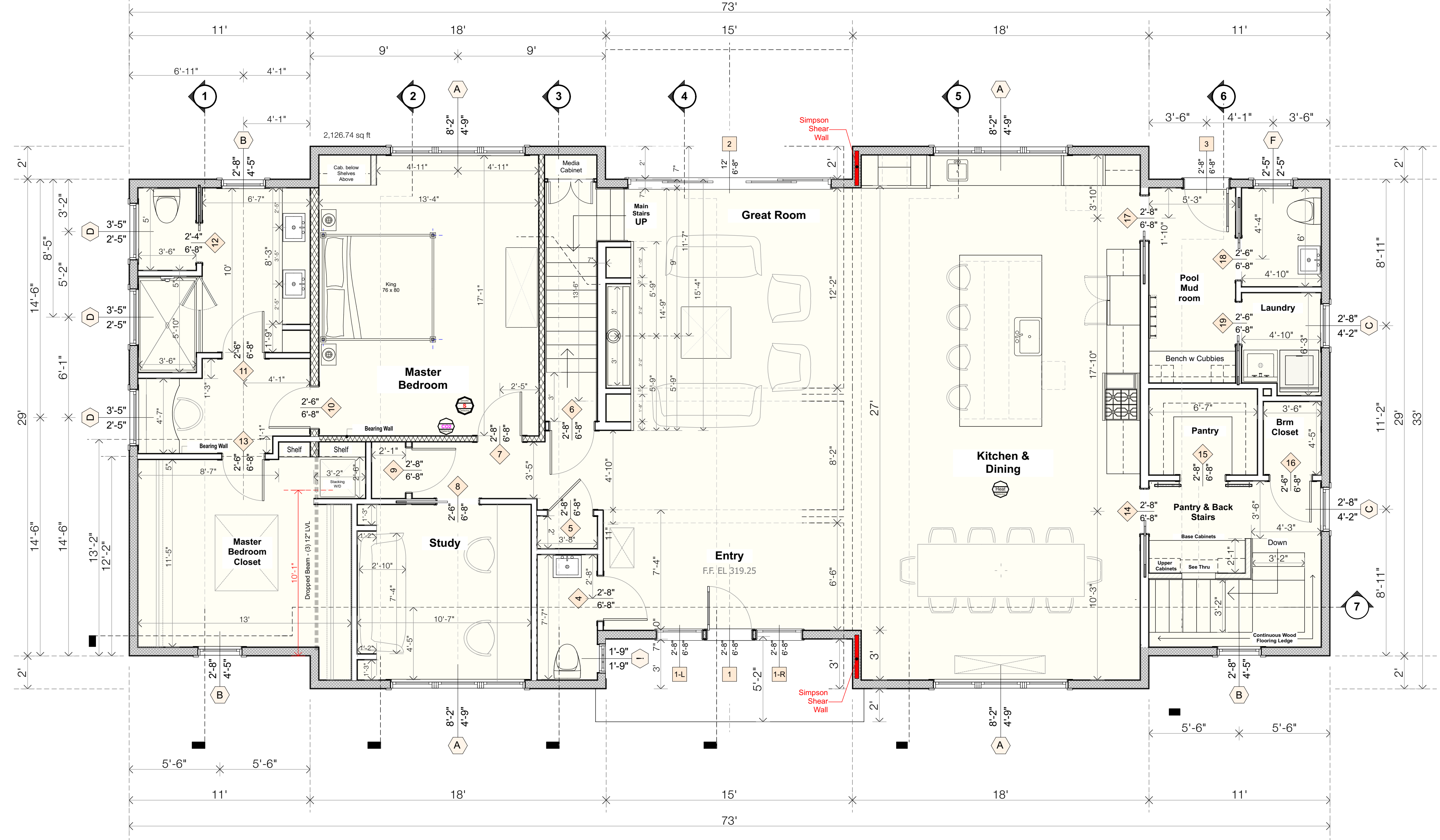
### Wall Types



### Area Calculations Square Feet

	2,126	Basement Total Including Garage, 4,02
1st Fir Interior Conditioned Space	2,126	
2nd Fir Interior Conditioned Space	1,160	2nd Fir Interior Attic Spaces 158
Total Interior Conditioned Space	3,280	Total Non-Conditioned Spaces 2,560

All Room Dimensions are to Sheetrock Surface. For Framing Dimensions add 1/2" for each wall



### Window Schedule

ID	QTY	LOCATION	MNFTR	TYPE	UNIT DESIGNATION	R.O.	SASH CUT	JAMB	INT. FINISH	EXT FINISH	HDWARE	NOTES:
I	1	1ST FLR GUEST VANITY	PELLA	CASEMENT	SINGLE - 1919 - CASEMENT RIGHT HINGE	1'-9"x1'-9"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
A	4	1ST FLOOR N&S GABLES	PELLA	TRIPLE CASEMENT	TRIPLE - 3259 MULL - CENTER FIXED	8'-2"x4'-9"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
B	3	MBR CLOS. & BATH, STAIR, MUDRM	PELLA	CASEMENT	SINGLE - 3259 - LEFT HINGE	2'-8"x4'-5"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
B.E	1	BASEMENT EAST WALL	PELLA	TRIPLE CASEMENT	TRIPLE - 3259 MULL - CENTER FIXED	8'-2"x4'-9"	2WX2H	V.I.F.	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
C	2	LAUNDRY & PANTRY	PELLA	CASEMENT	SINGLE - 3253 - LEFT HINGE	2'-8"x4'-2"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
C	2	EAST 2ND FLR BATHRM, WEST ATTIC	PELLA	CASEMENT	SINGLE - 3253 - RIGHT HINGE	2'-8"x4'-2"	2WX2H	5-9/16"	PRIMED WHITE	BLACK ALUM. CLAD	TBD	
D	3	MBR BATHROOM SPACES	PELLA	AWNING	4129 - AWNING	3'-5"x2'-5"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
F	1	POOL MUDROOM	PELLA	AWNING	SINGLE AWNING - 2929 TOP HINGED	2'-5"x2'-5"	2WX2H	5-9/16"	PRIMED WOOD	BLACK ALUM. CLAD	TBD	
G	2	BEDROOM 2 & 3	PELLA	DBLE CASEMENT	DOUBLE - 3259 MULL	6'x4'-2"	2WX2H	5-9/16"	PRIMED WHITE	BLACK ALUM. CLAD	TBD	
H	2	2ND FLOOR - EXERCISE RM & BR 4	PELLA	TRIPLE CASEMENT	TRIPLE - 3259 MULL - CENTER FIXED	8'x4'-2"	2WX2H	5-9/16"	PRIMED WHITE	BLACK ALUM. CLAD	TBD	
	21											

Issue Date  
6/10/23

1st FLOOR PLAN & Window Schedule

Scale (s)

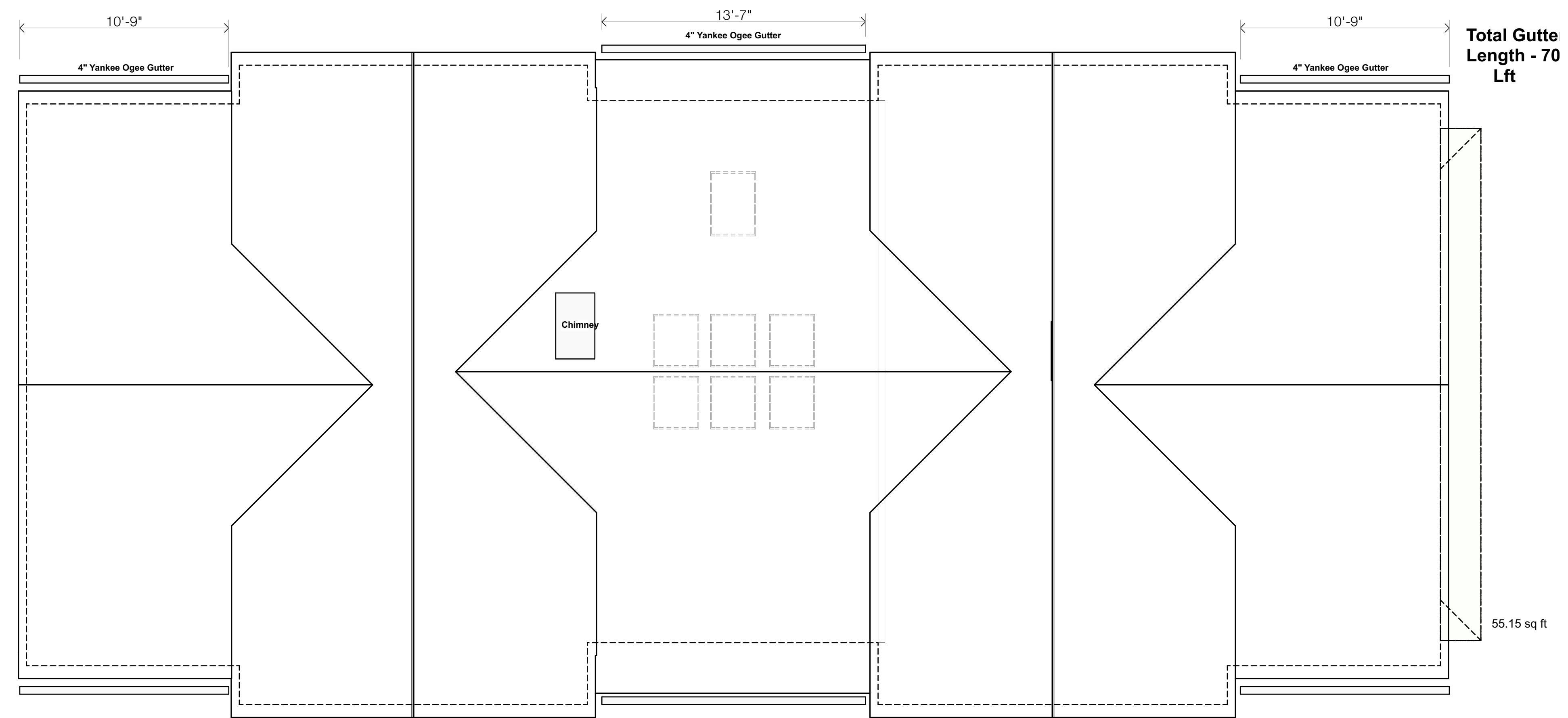
72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA  
Samantha and Bryan Dorf

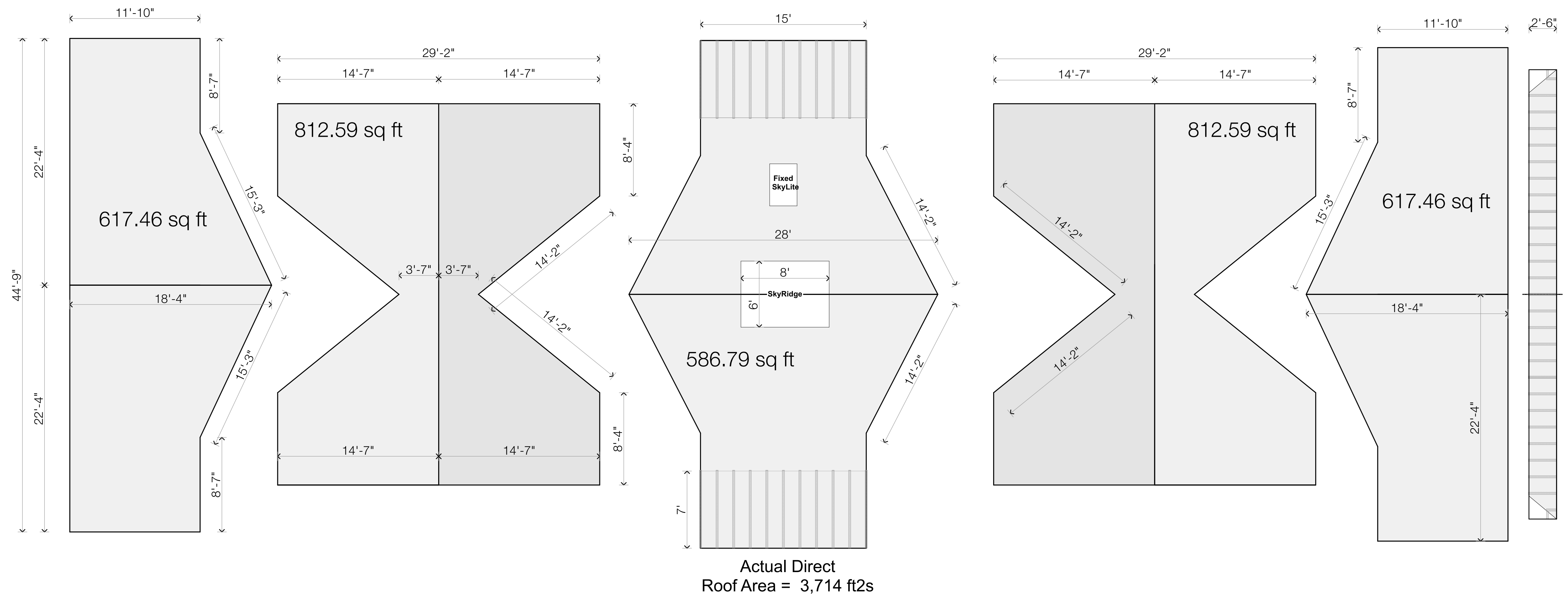
Page

A4





**Roof Surfaces Plan**  
SCALE: 1/4" = 1'-0"



Issue Date  
6/10/23

Revisions

No.	Description

Roof Surfaces Plan

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

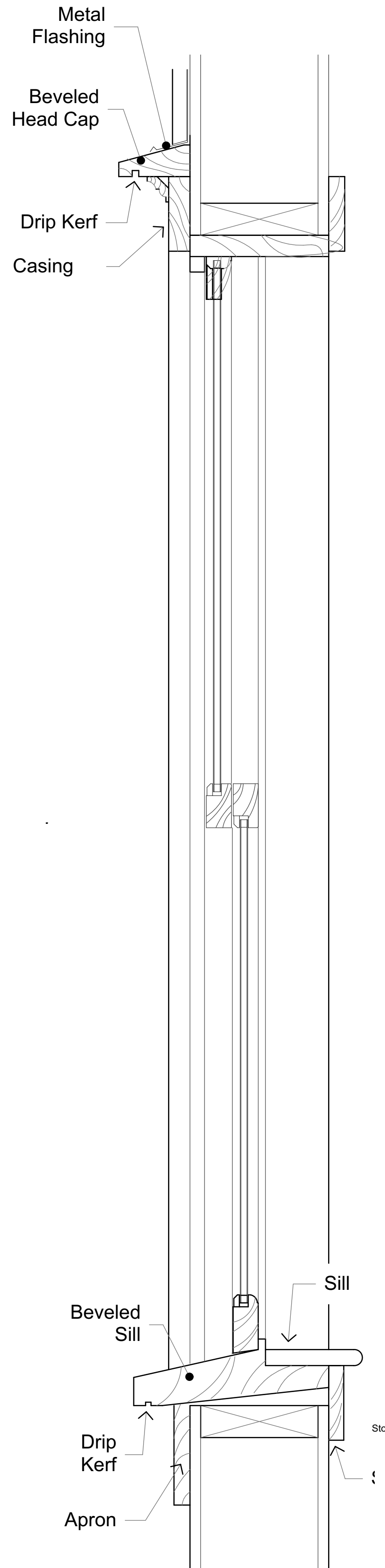
Joseph Matto Architect AIA  
Samantha and Bryan Dorf

Chestnut Hill  
Stamford, Ct.

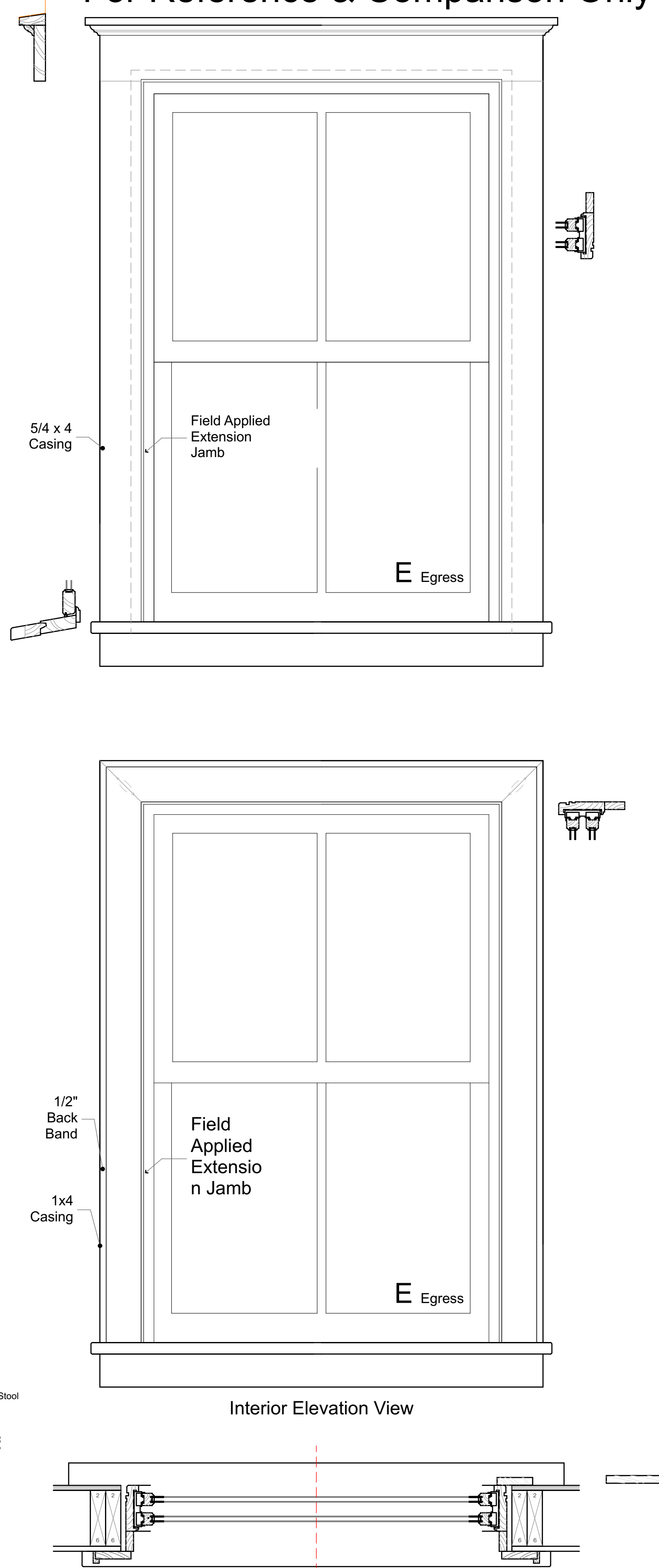
Page  
A6



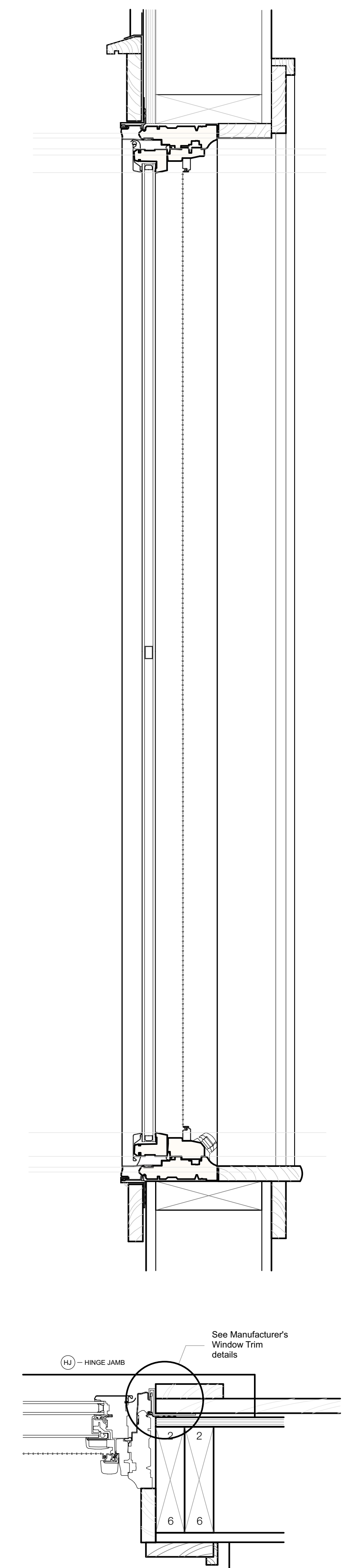
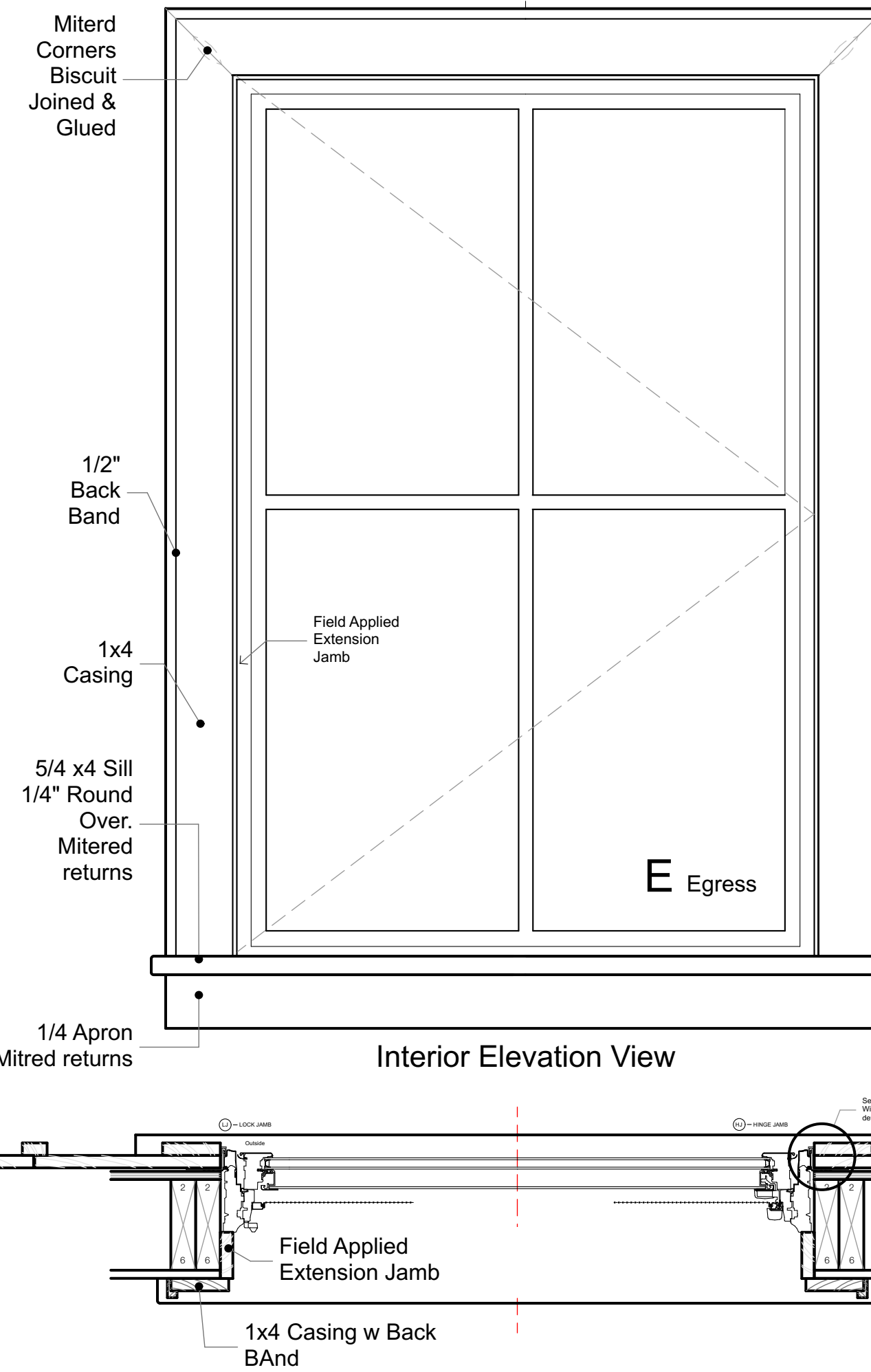
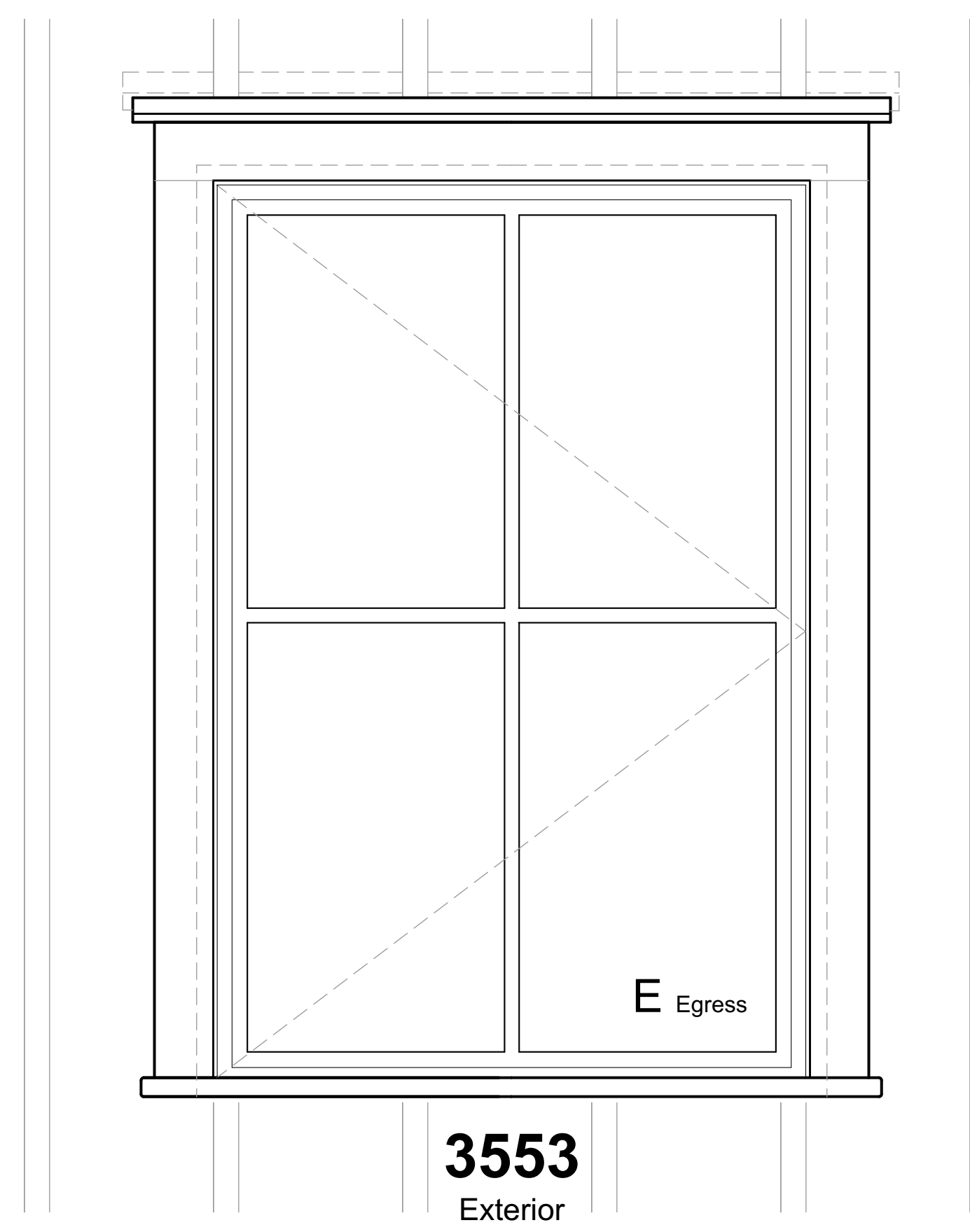
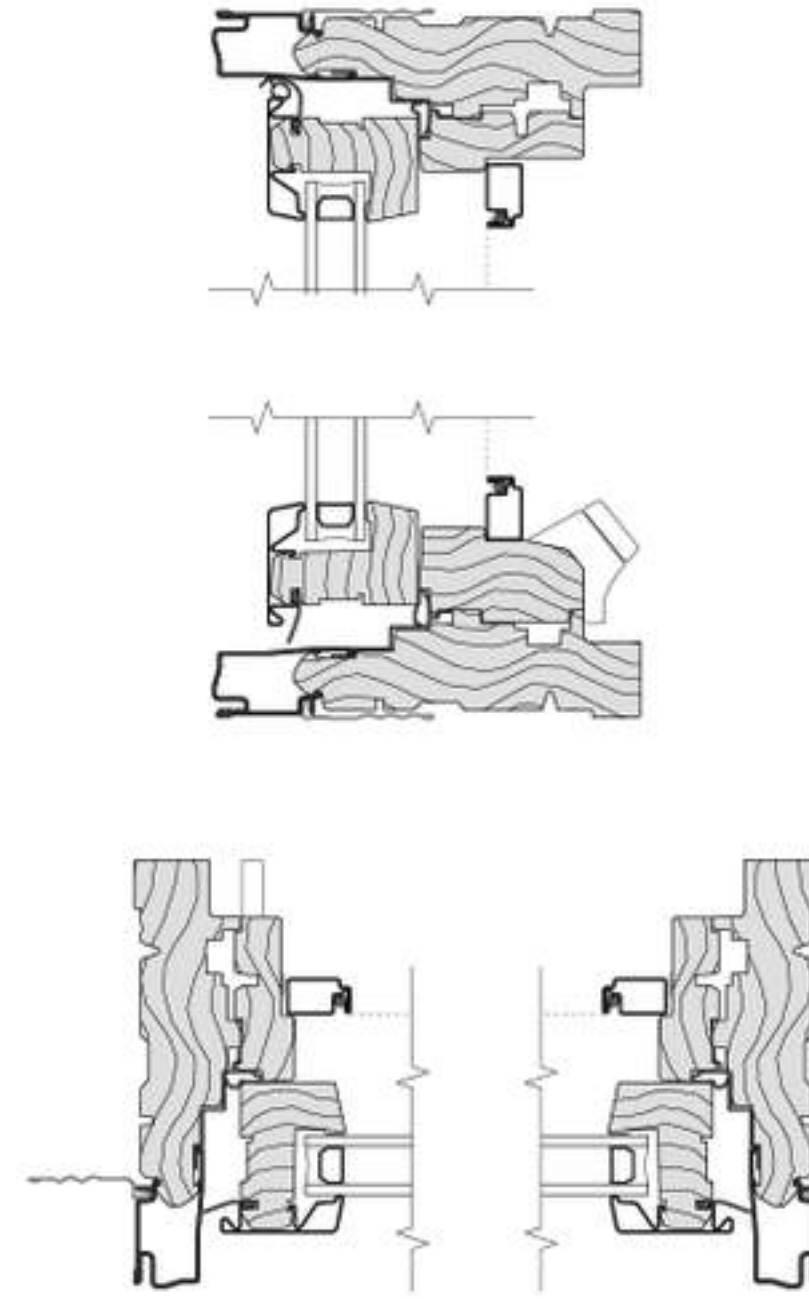
Window Type Comparisons



Dbl Hung Units  
For Reference & Comparison Only



Pella - Lifestyles Casements, Fixed & Awnings



Window Sections and Trim Details

Issue Date  
6/10/23

Revisions

Scale (s)

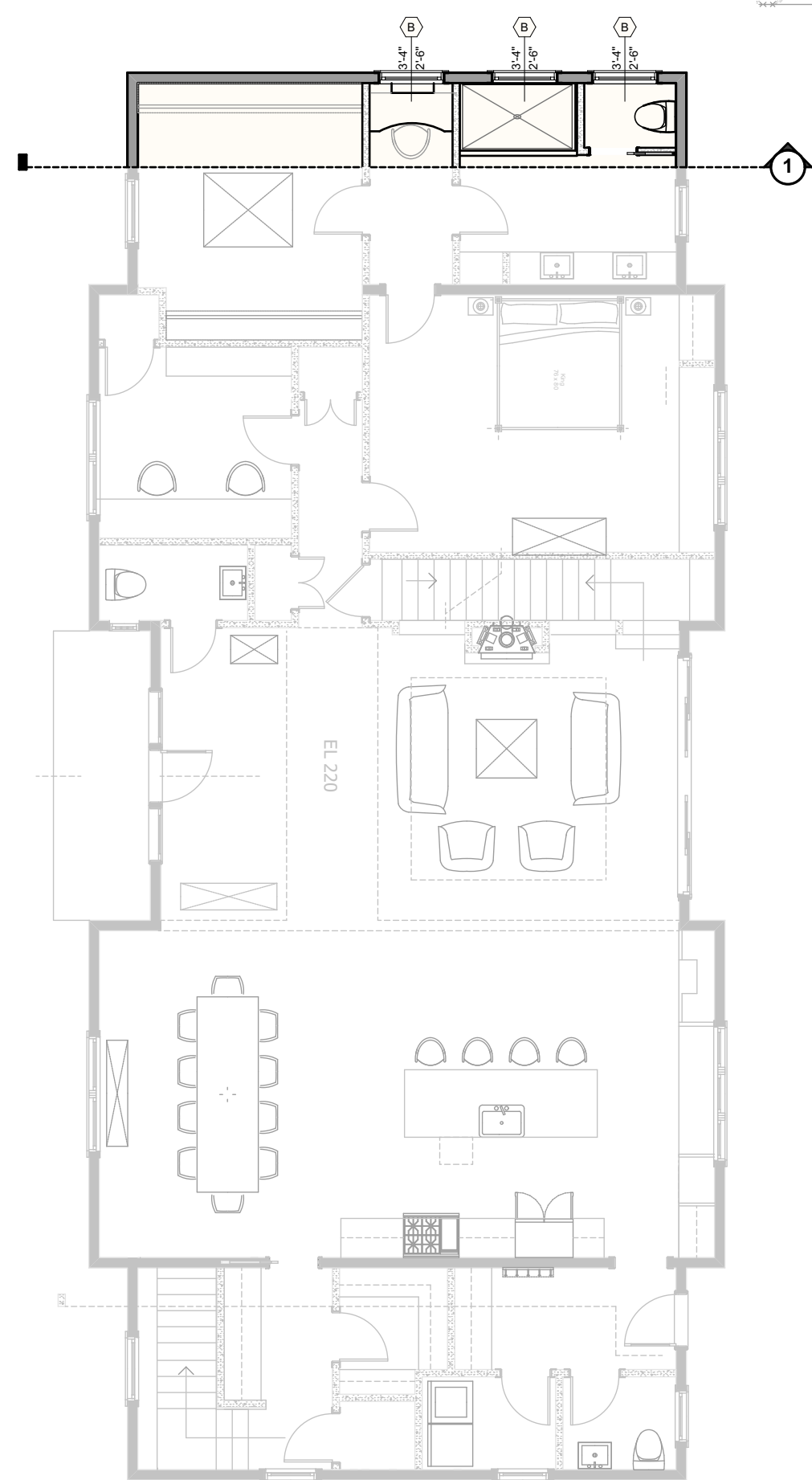
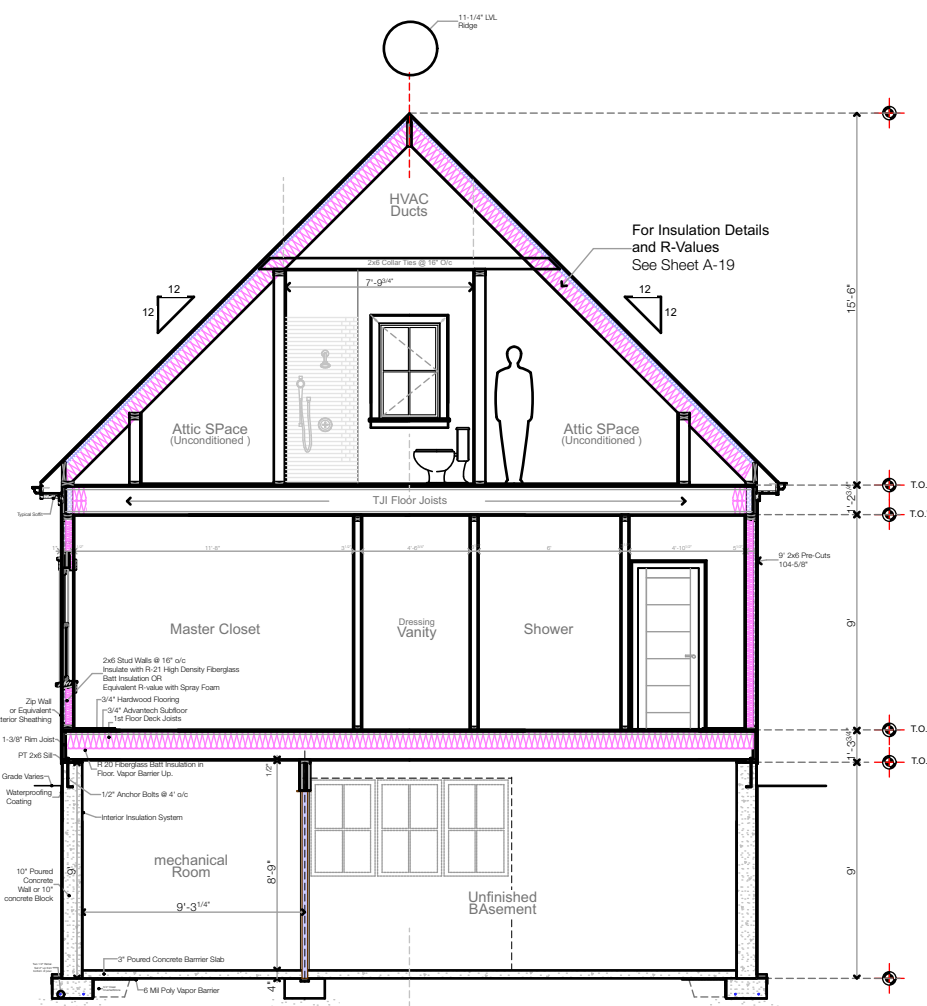
72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

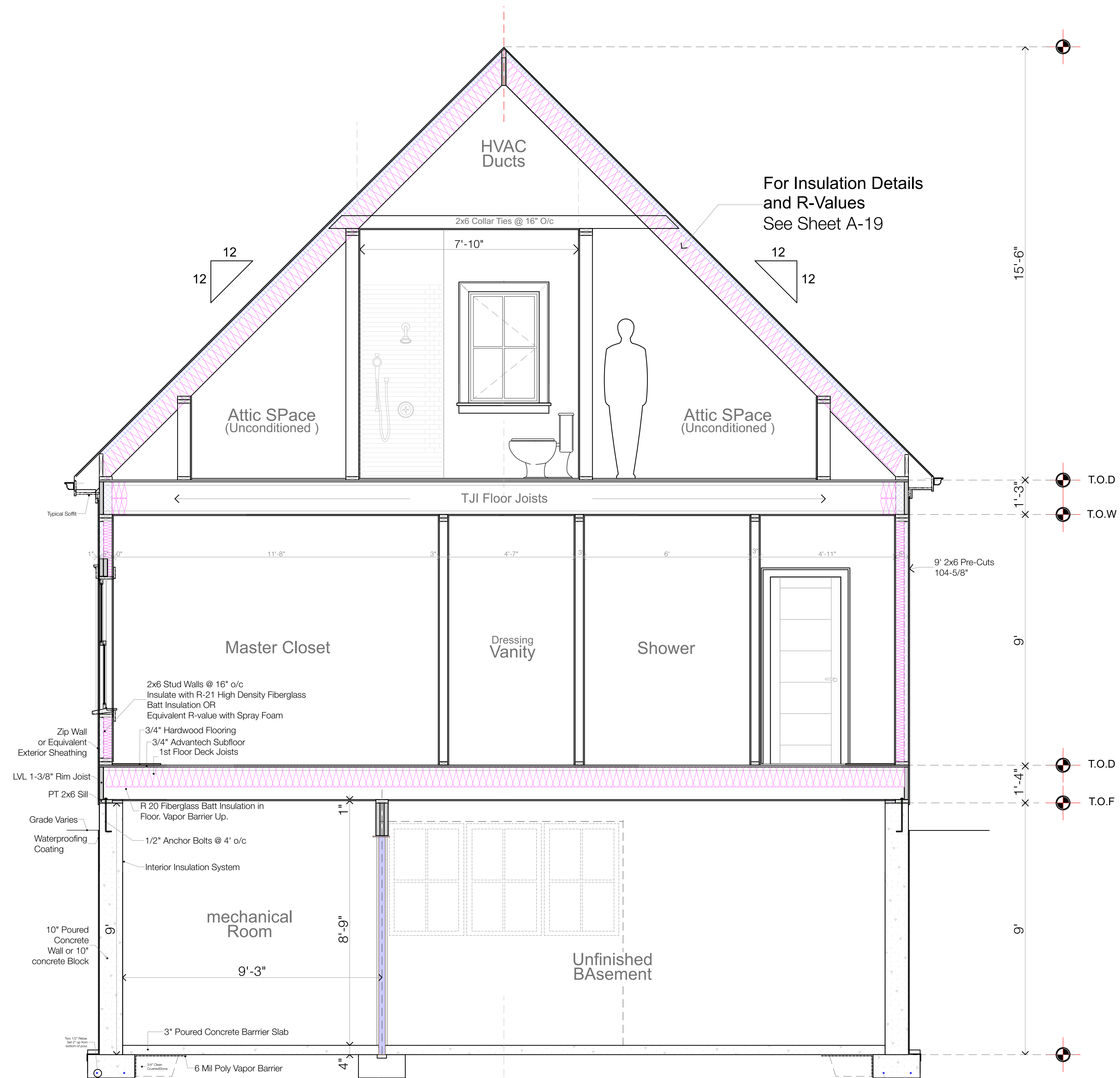
Joseph Matto Architect AIA

Samantha and Bryan Dorf

Page  
A7



Section 1



Section 1 - East Bathroom Section

SCALE: 1/2" = 1'-0"

Issue Date  
6/10/23

Cross Section 1 - Master Bathroom & Closet

Scale (s)

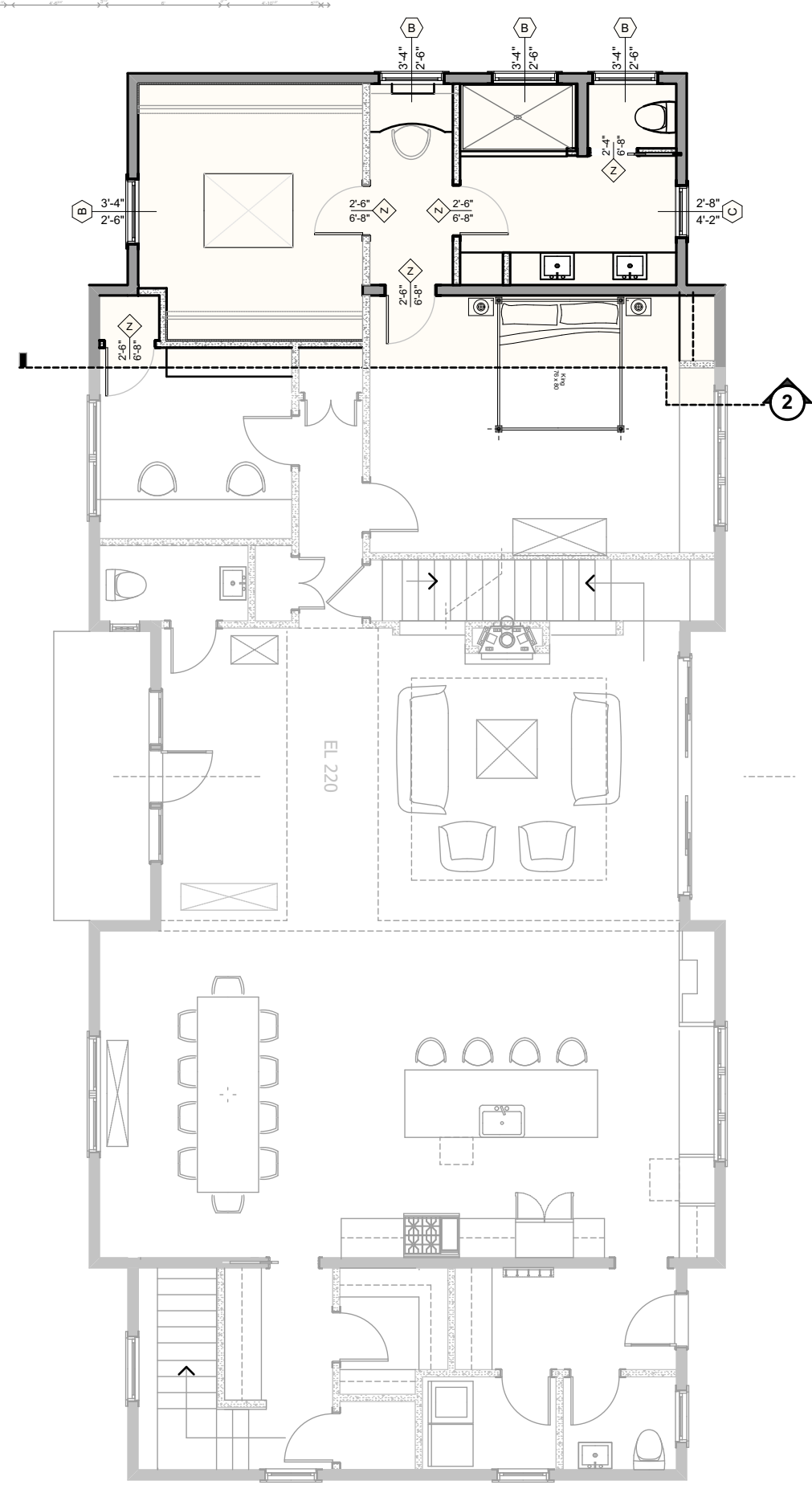
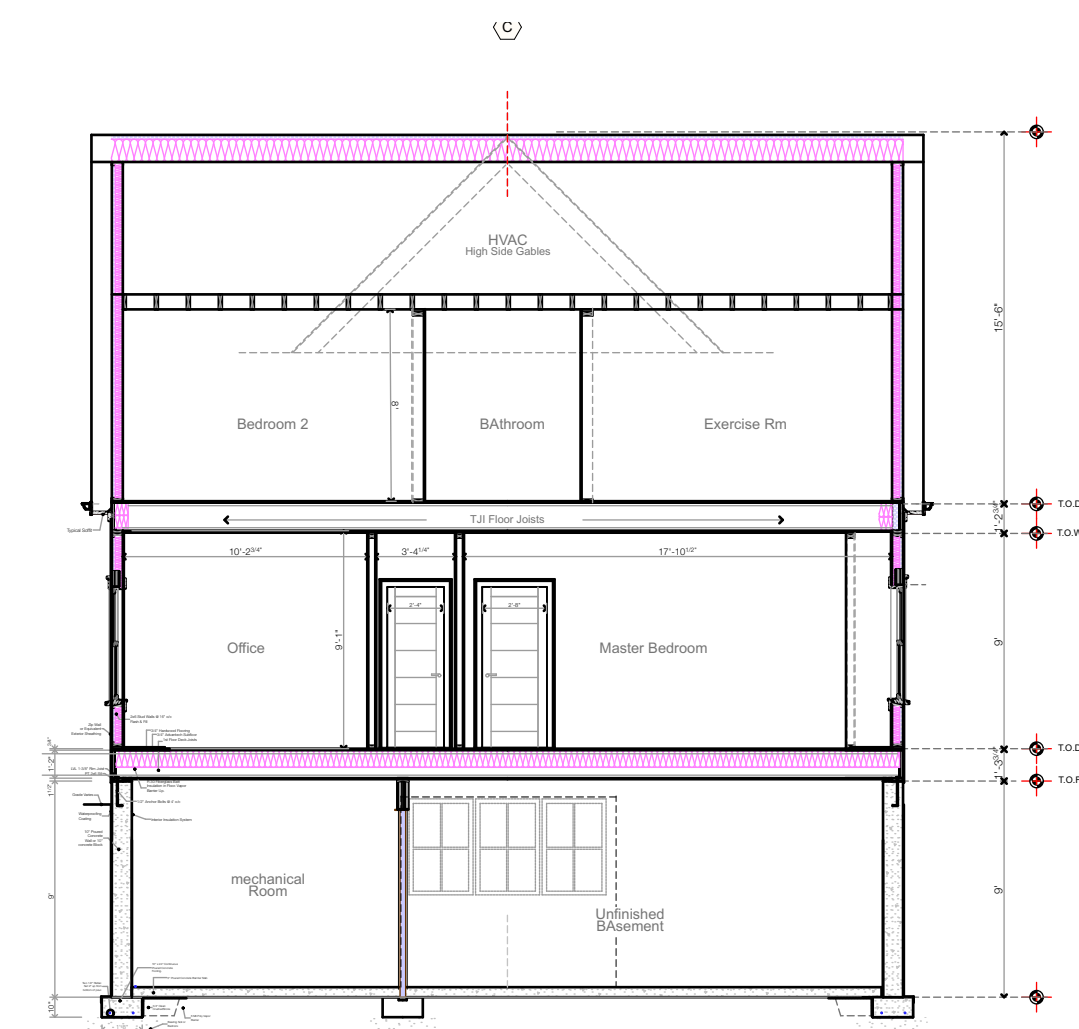
72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA

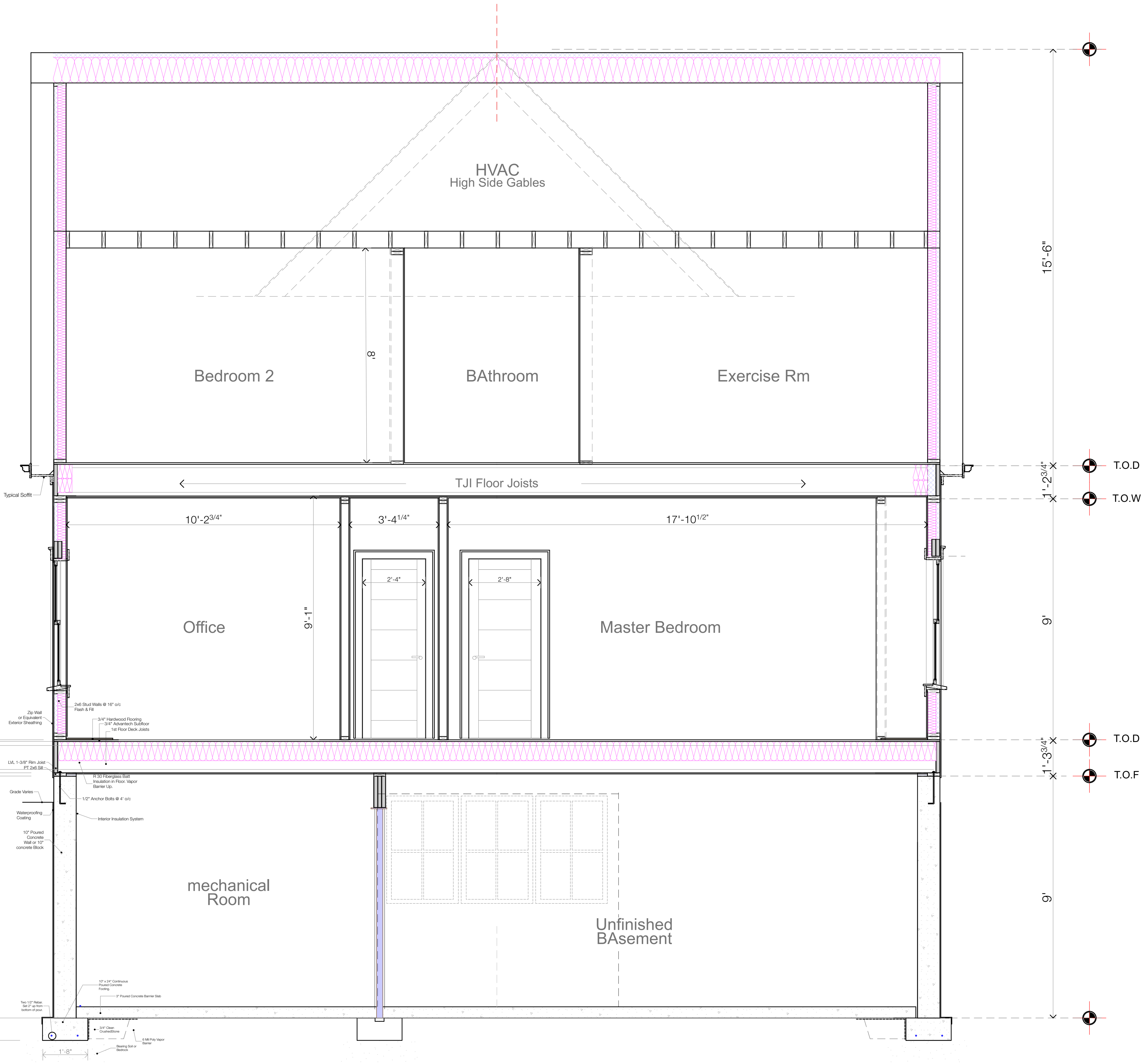
Samantha and Bryan Dorf

Page

A8



Section 2



Section 2 - Thru Office & Master Bedroom  
SCALE: 1/2" = 1'-0"

Issue Date  
6/10/23

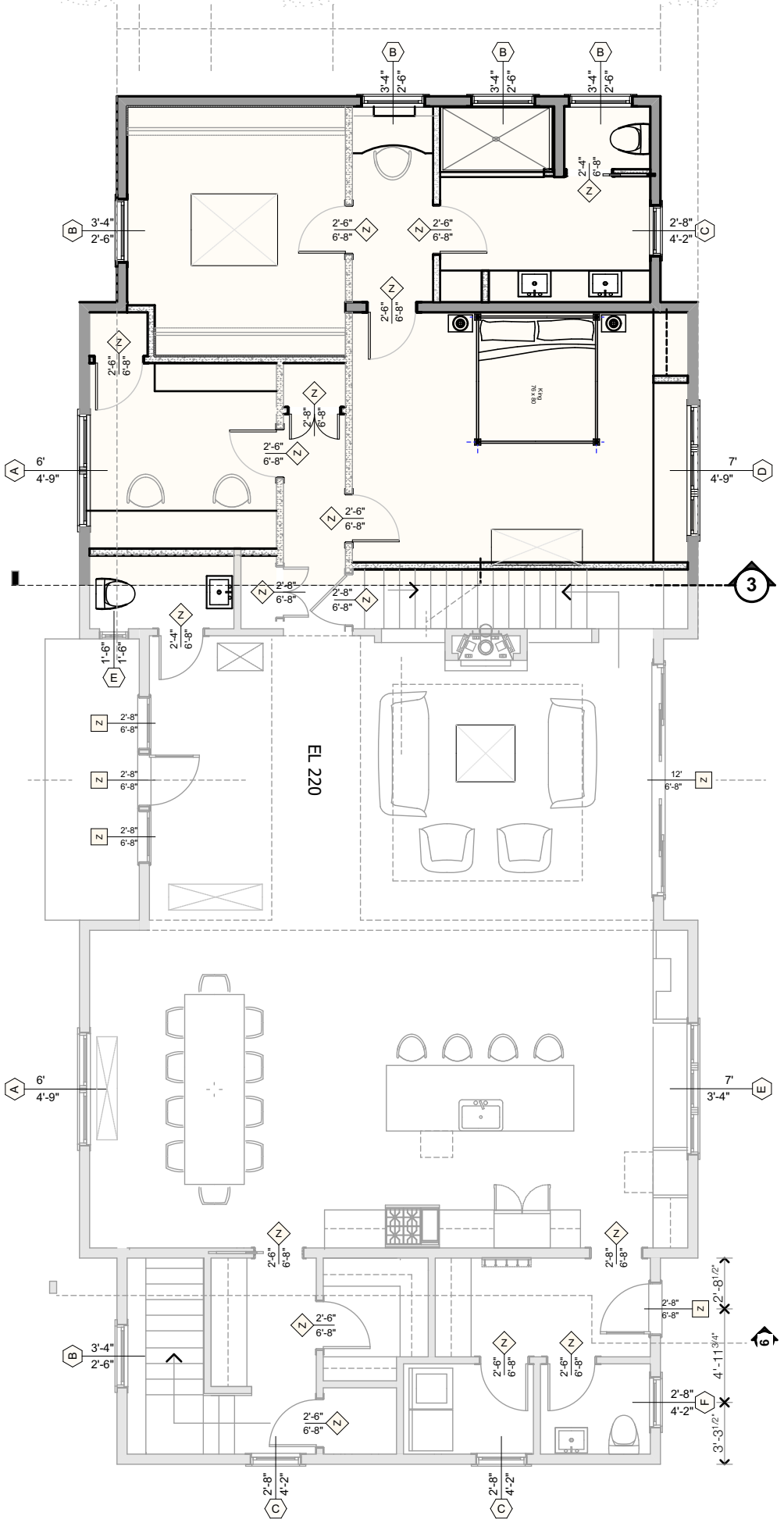
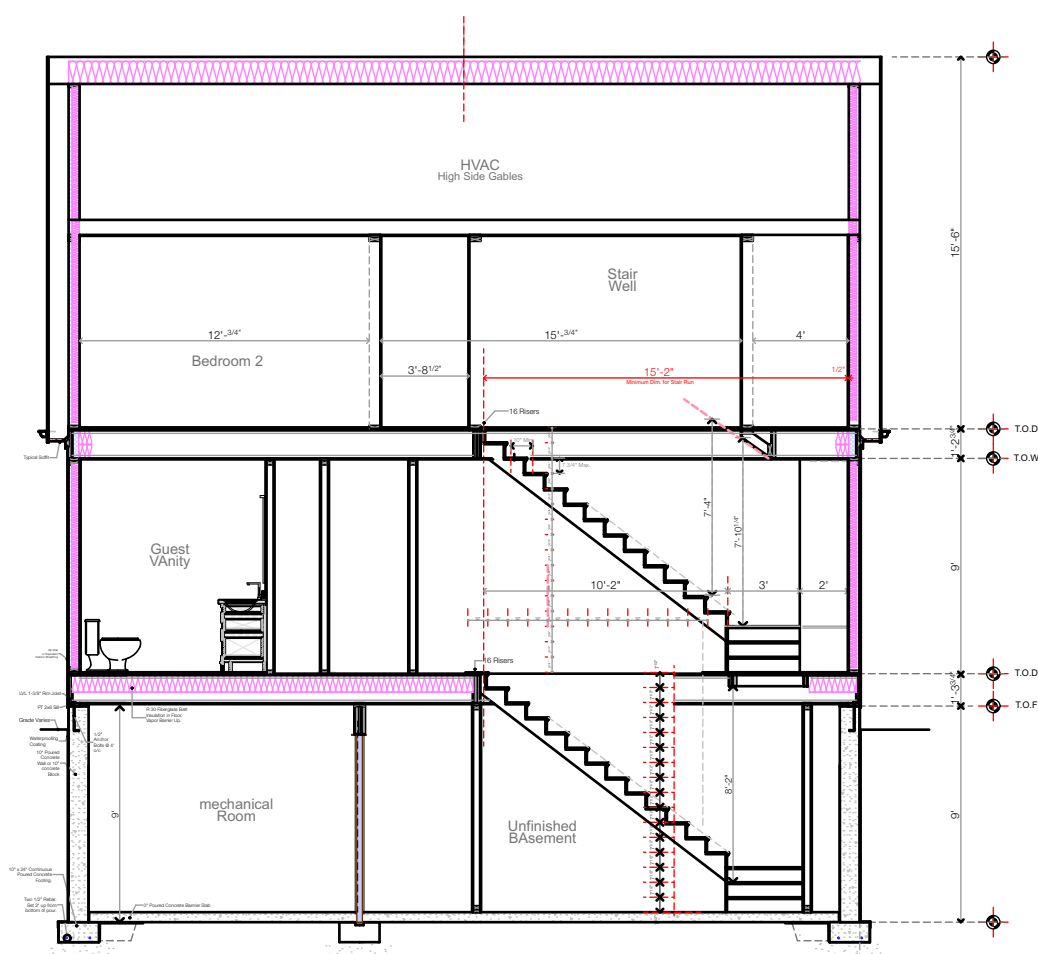
Revisions

Scale (s)

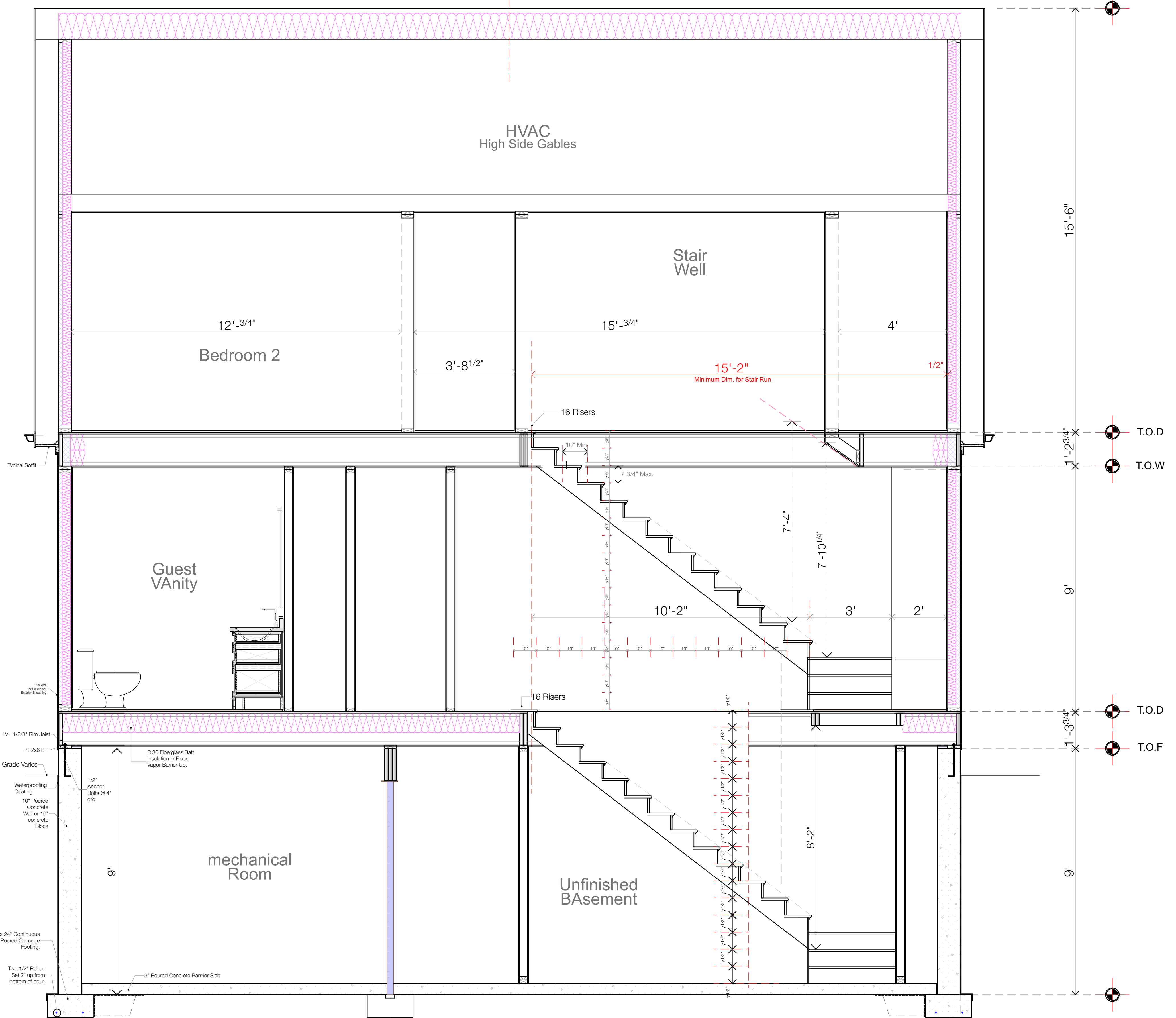
72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA  
Samantha and Bryan Dorf

Page  
A9

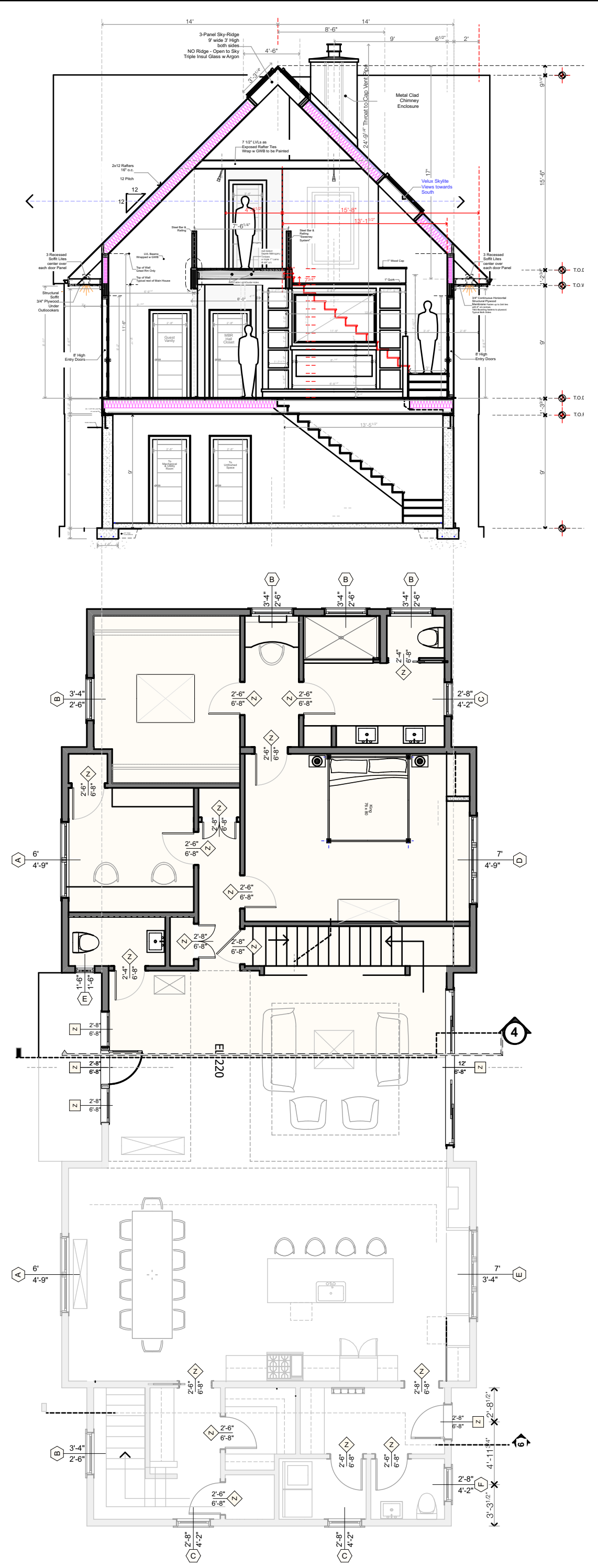


Section 3

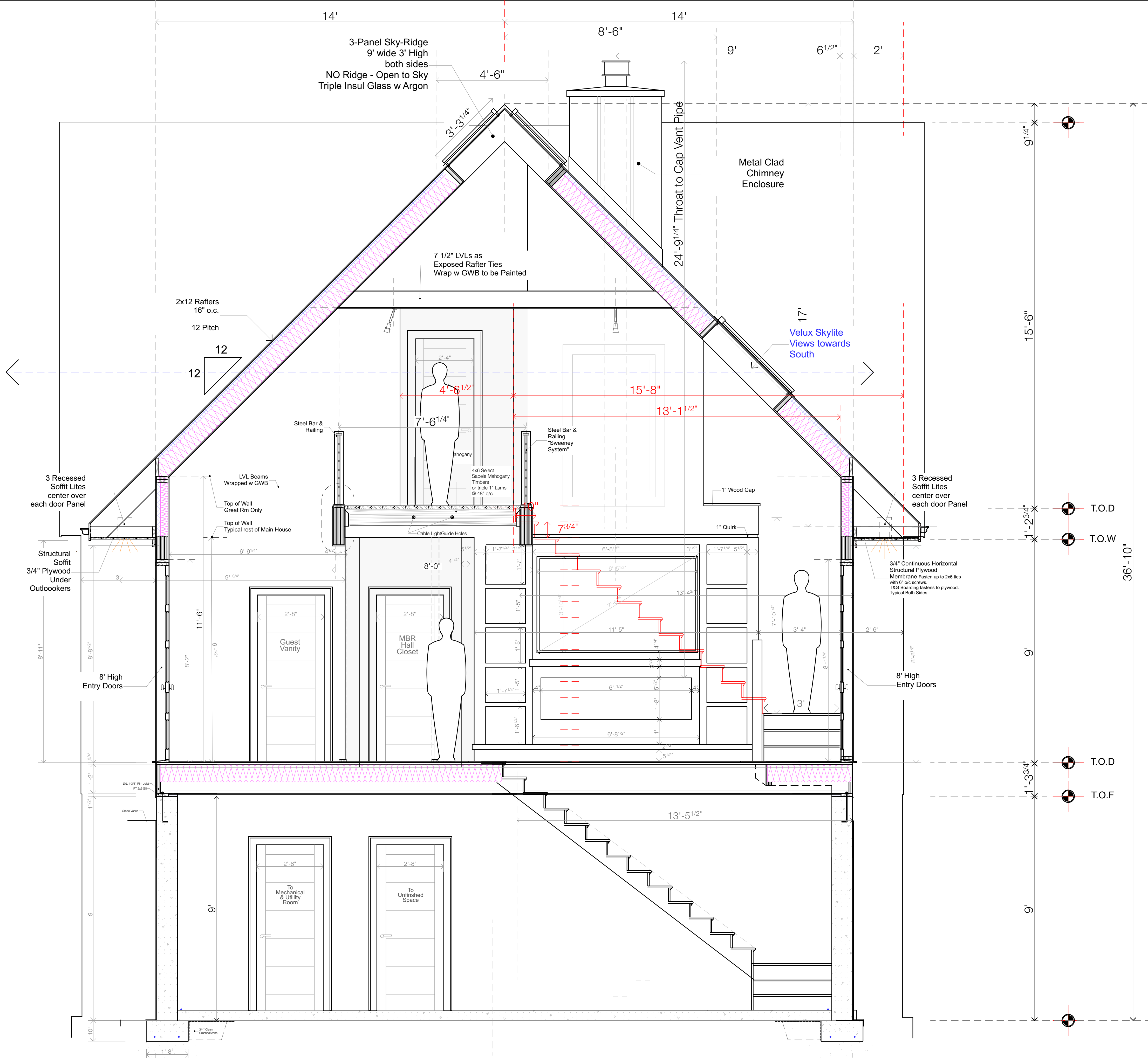


Section 3 - Center Stairs

SCALE: 1/2" = 1'-0"

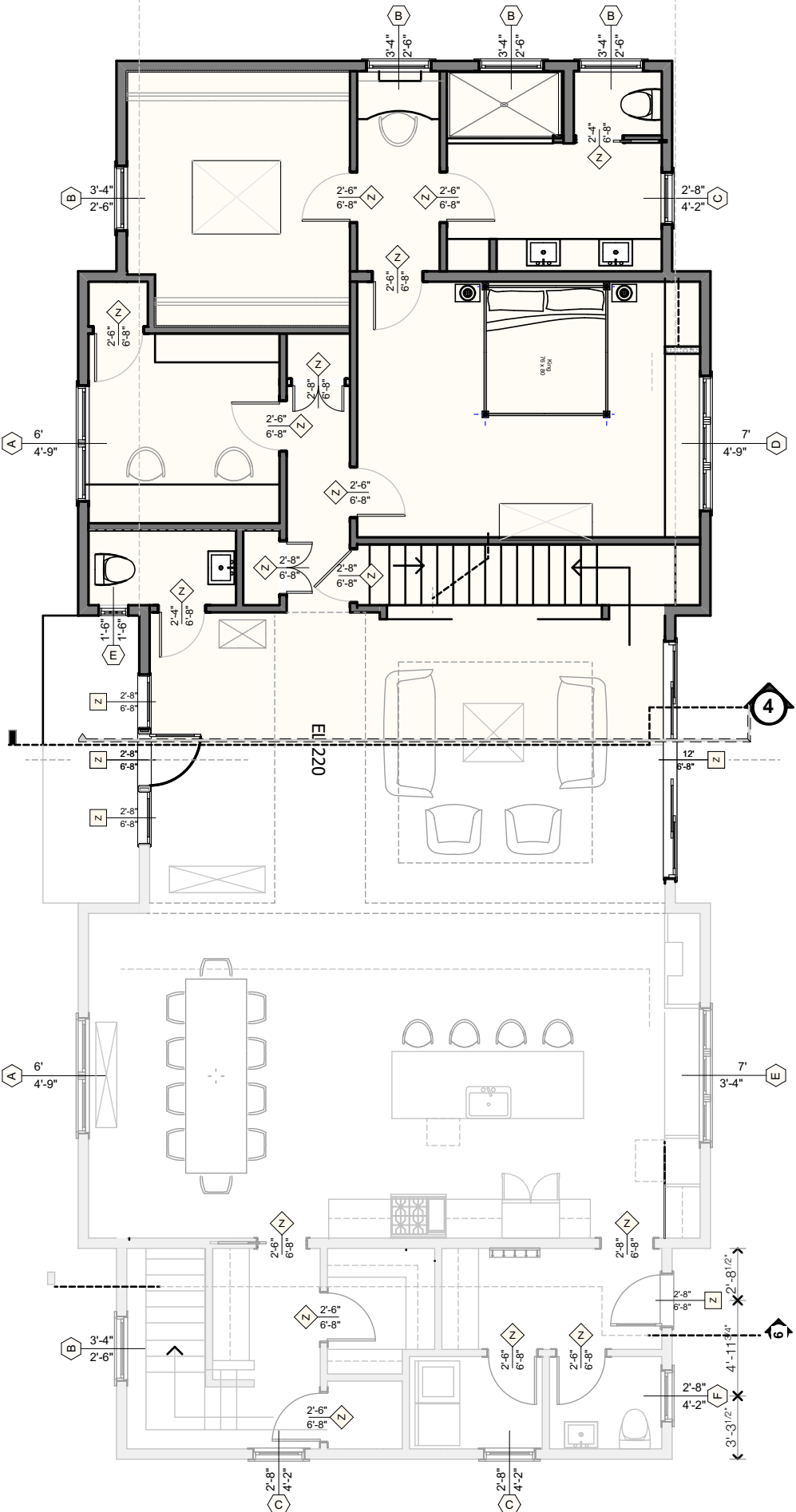
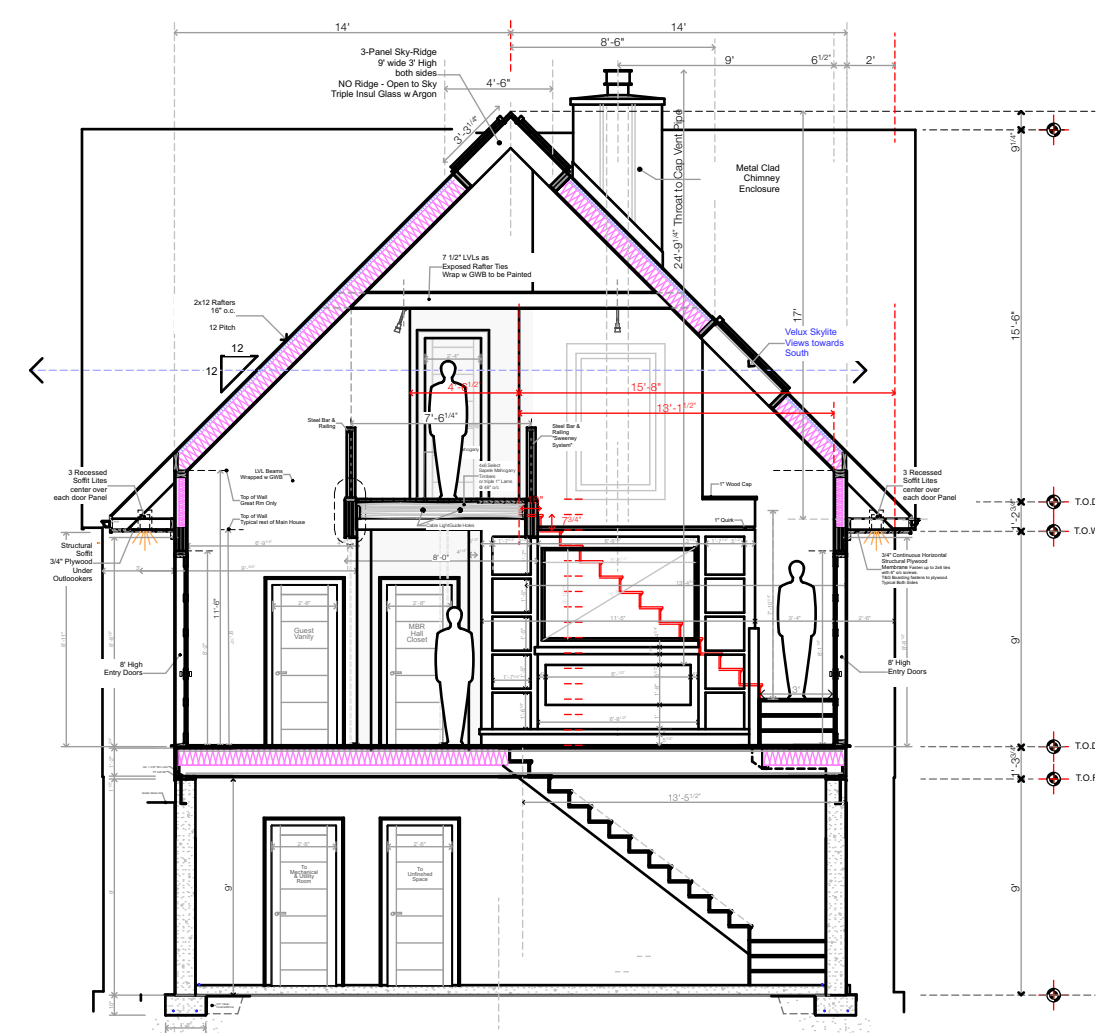


Section 4



Section 4 - Great Room & Bridge  
SCALE: 1/2" = 1'-0"

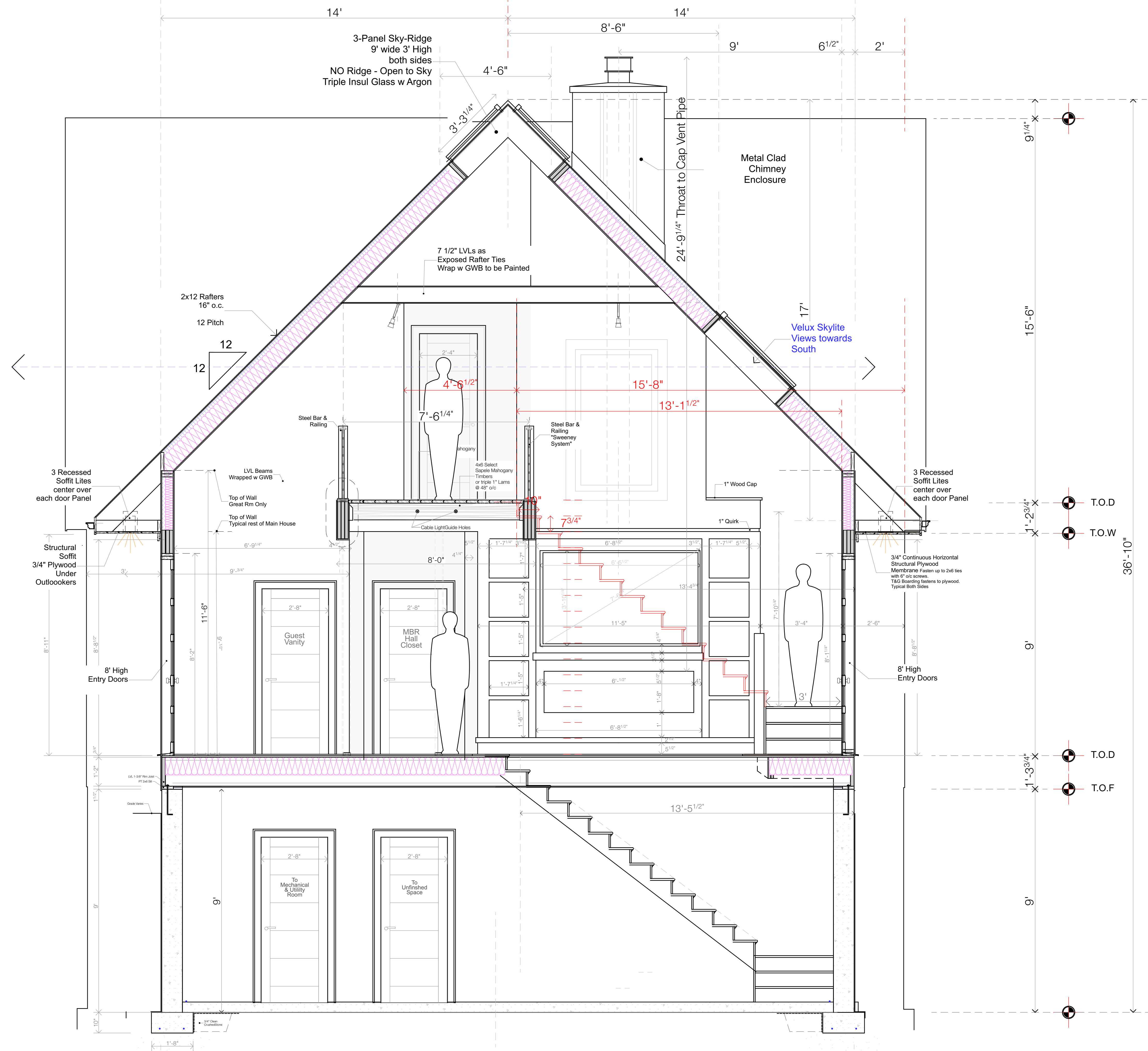
Issue Date 6/10/23	
Revisions	
Cross Section 4 - Great Room & Bridge - Stairs Beyond	
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	
Chestnut Hill Stamford, Ct.	
Joseph Matto Architect AIA Samantha and Bryan Dorf	
Page	A11



Section 4

Section 4 - Great Room & Bridge

SCALE: 1/2" = 1'-0"



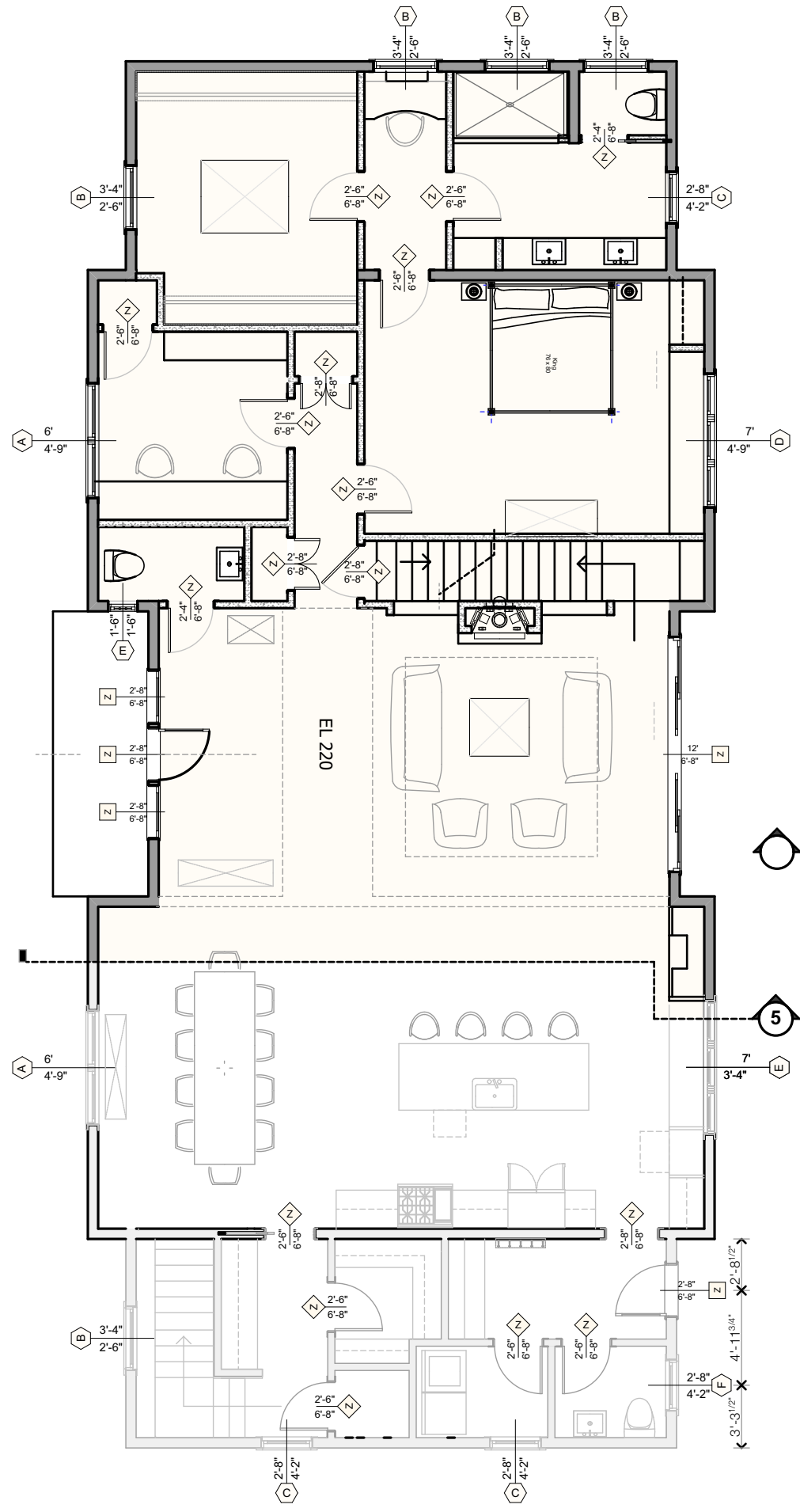
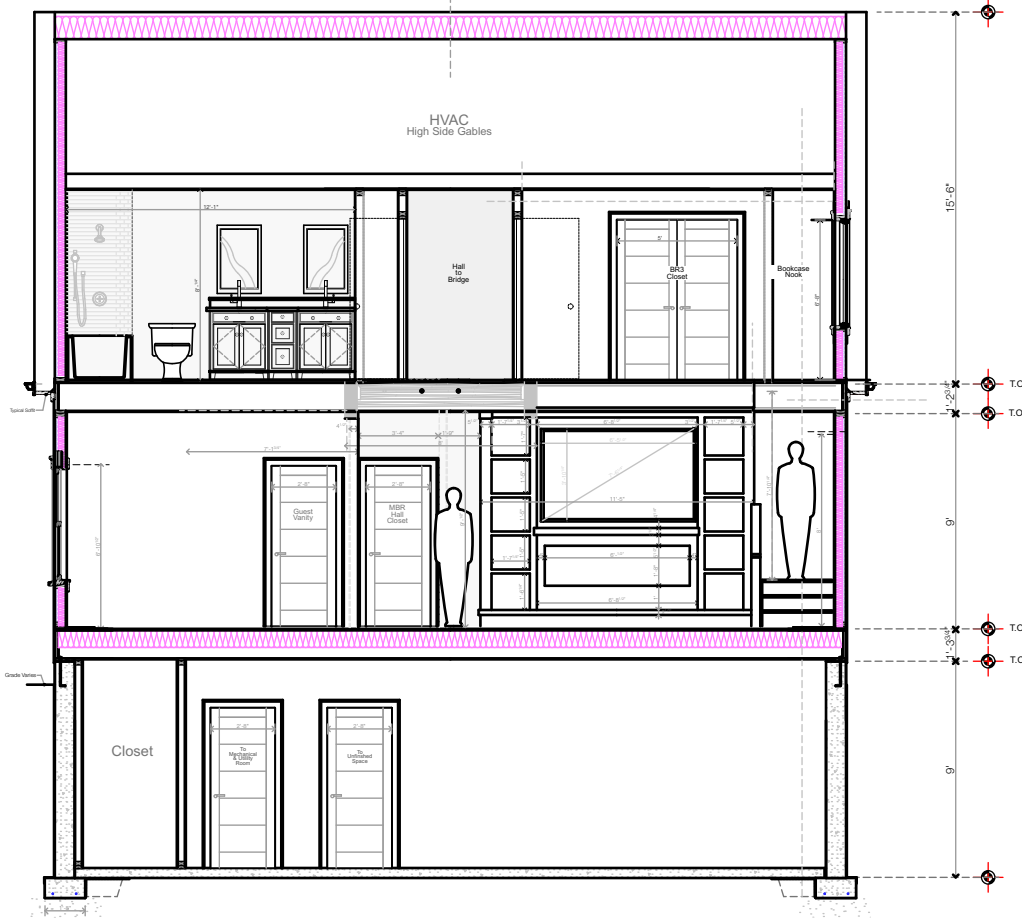
Issue Date	6/10/23
------------	---------

Revisions

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA  
Samantha and Bryan Dorf



Section 5



Section 5 - Dining Room and Kitchen - Looking East Before Cabinets Begin

SCALE: 1/2" = 1'-0"

Issue Date

6/10/23

Cross Section 5 - Kitchen & Dining Room

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

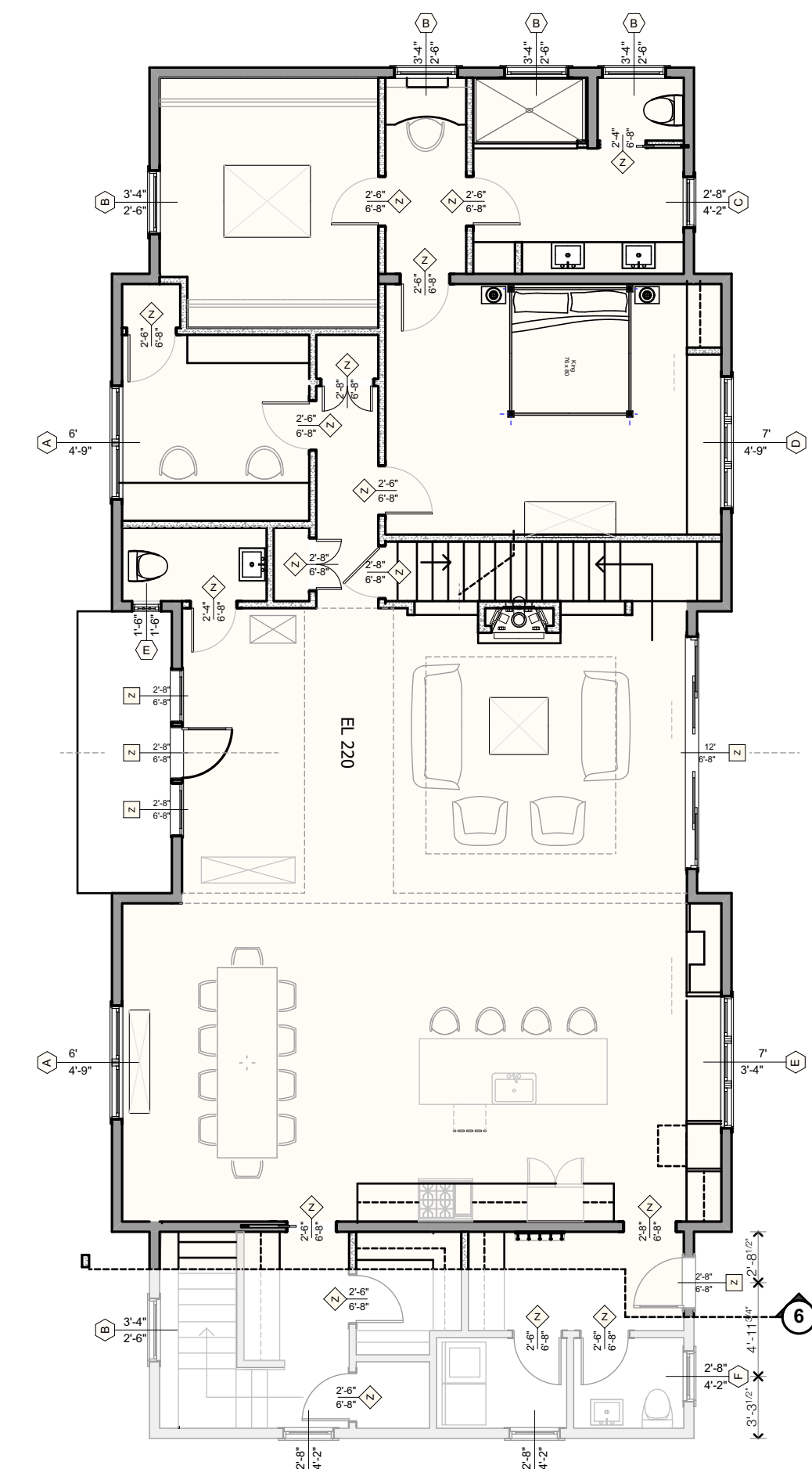
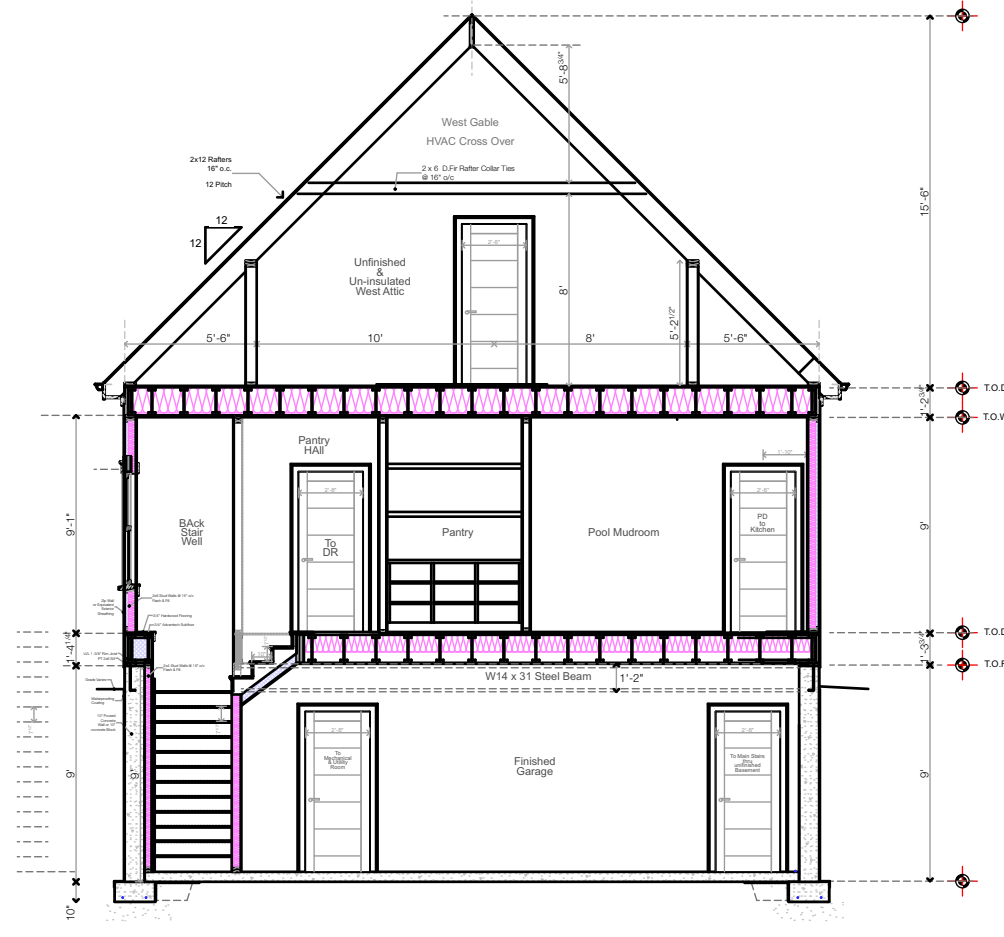
Joseph Matto Architect AIA

Page

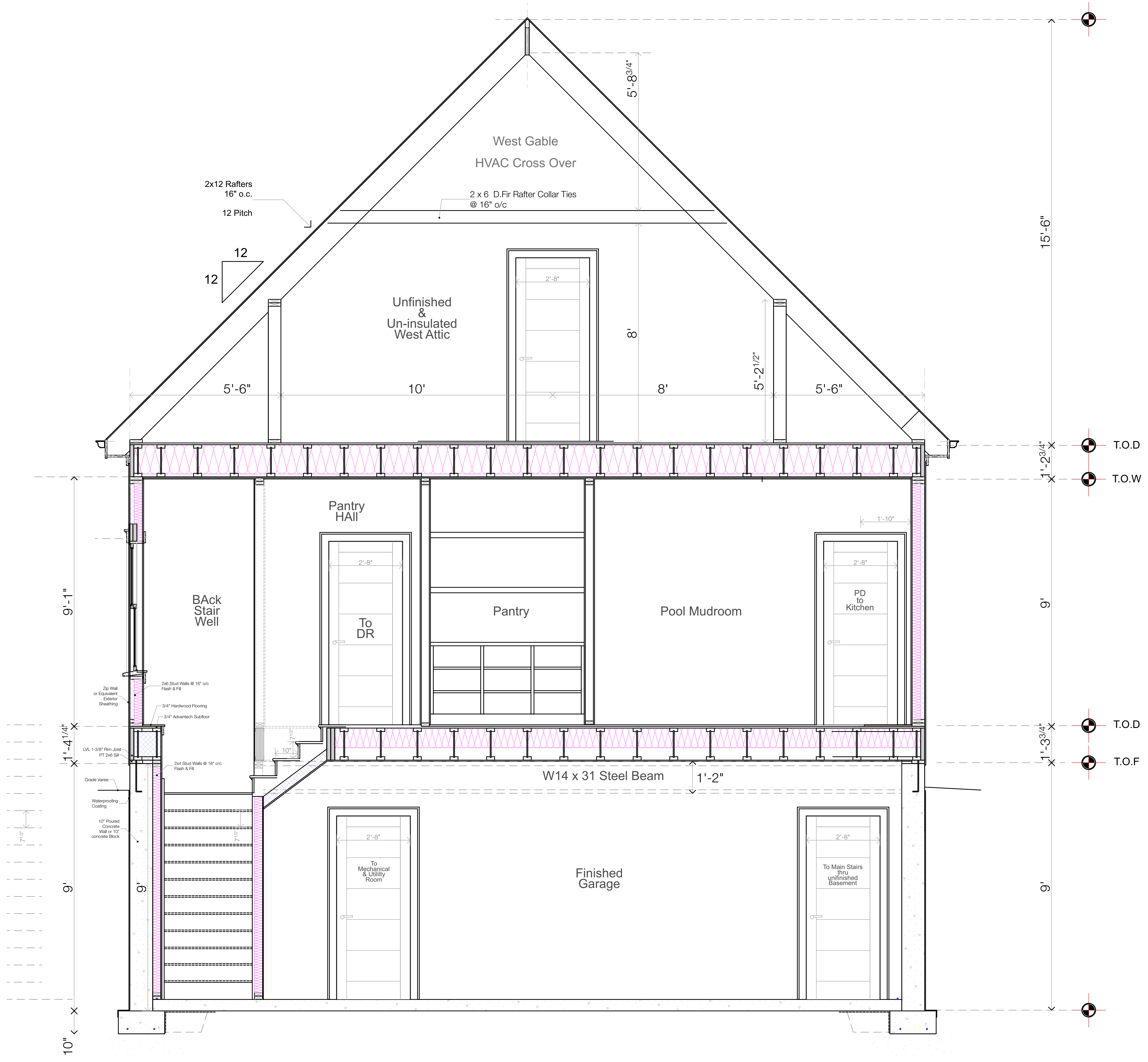
A12

Chestnut Hill  
Stamford, Ct.

Samantha and Bryan Dorf



Section 6



Section 2 - Thru Office & Master Bedroom

SCALE: 1/2" = 1'-0"

Issue Date  
6/10/23

Revisions

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

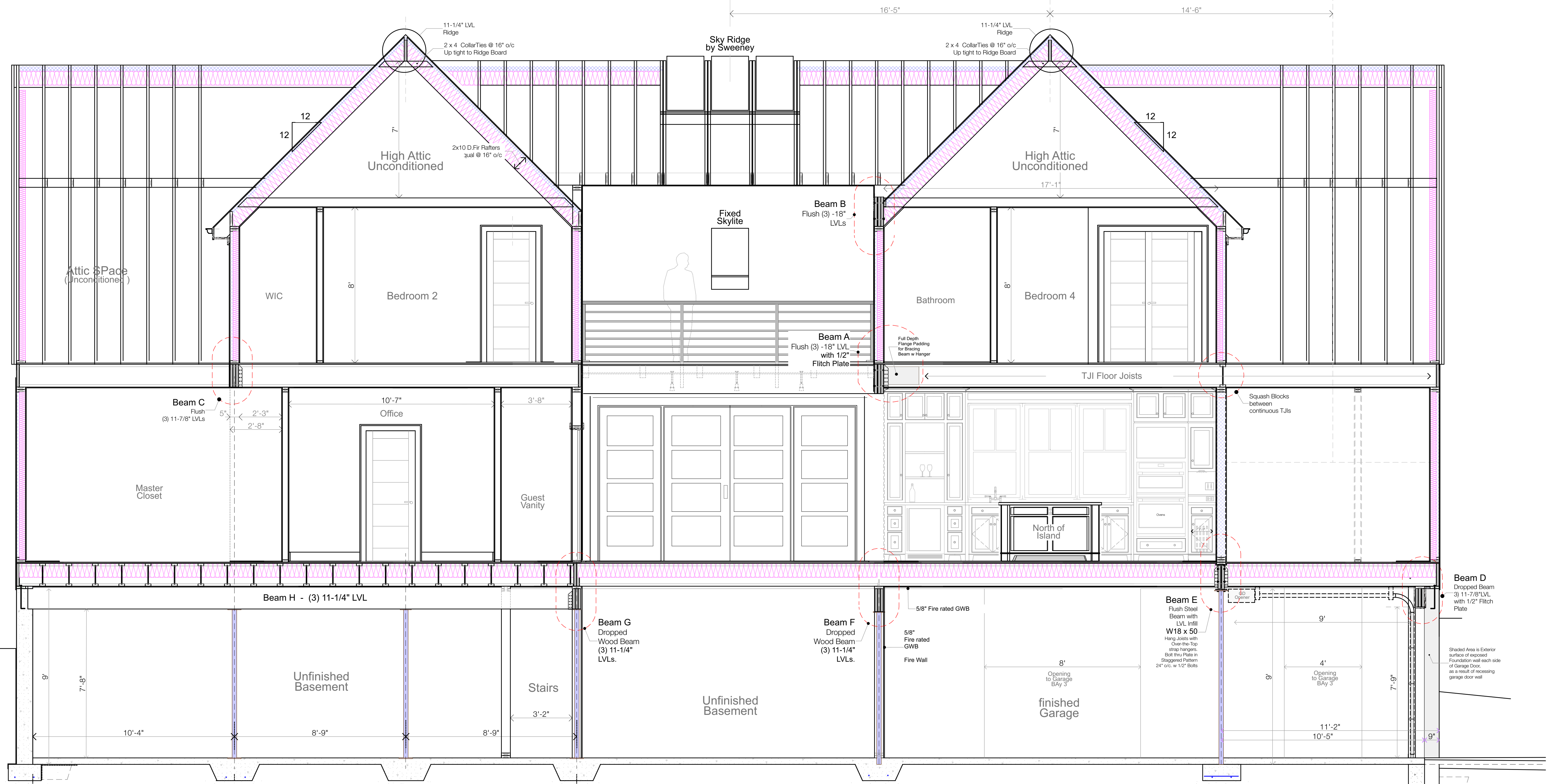
Joseph Matto Architect AIA  
Samantha and Bryan Dorf



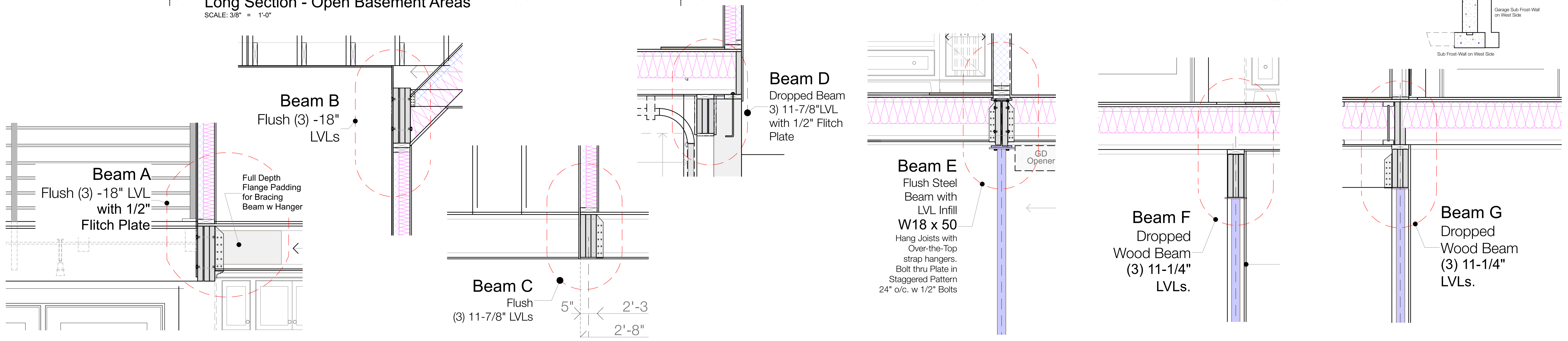


Long Section Thru - MBR Hall, Great Room, Dining Room, Pantry Mudroom and Corner Stairs

SCALE: 3/8" = 1'-0"



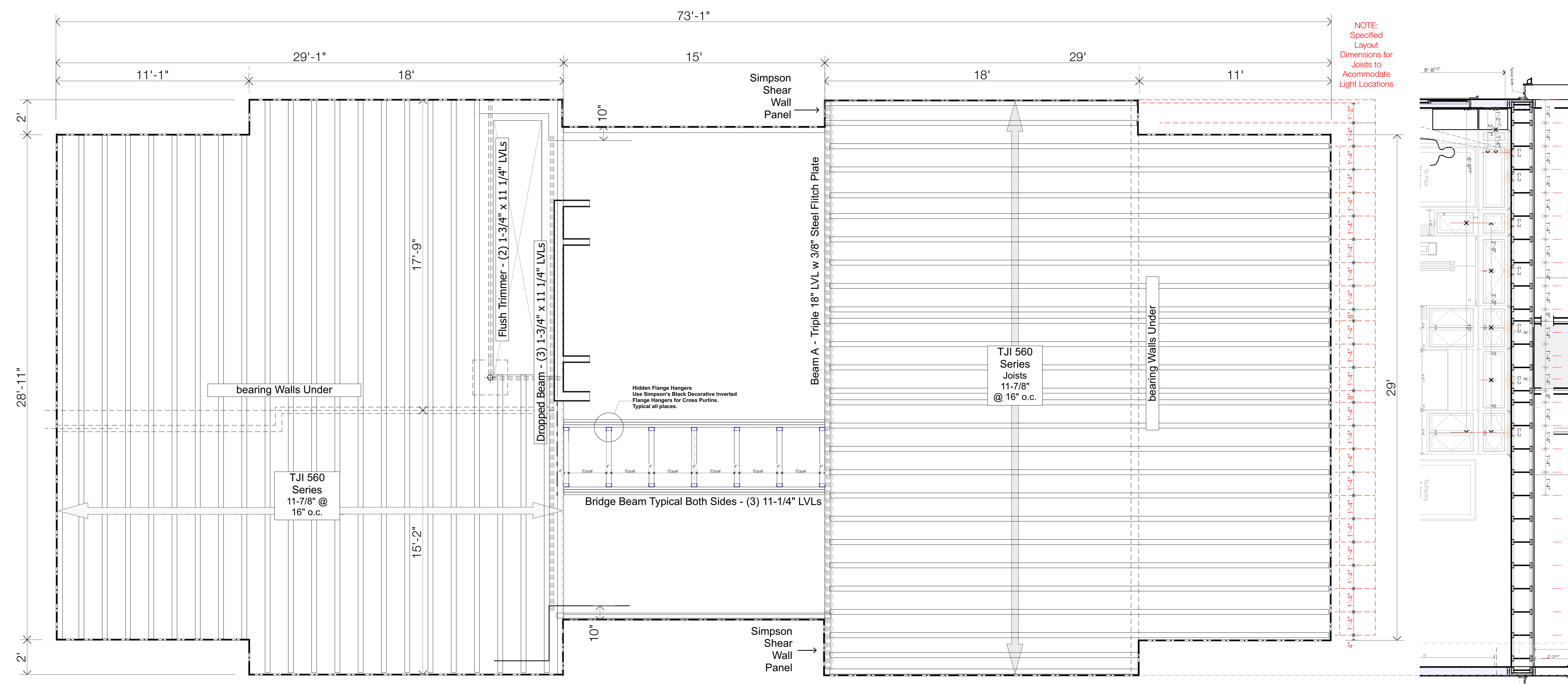
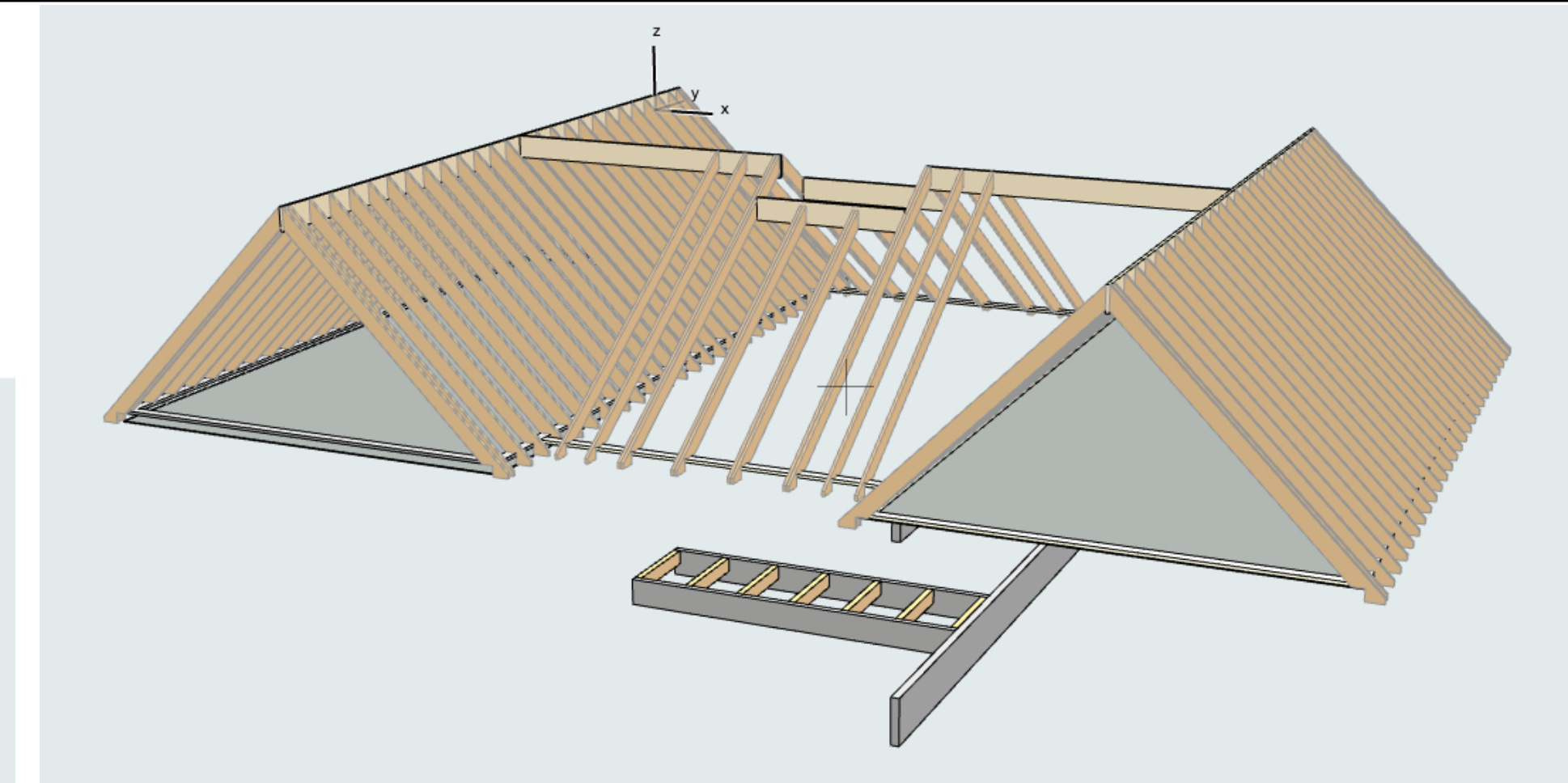
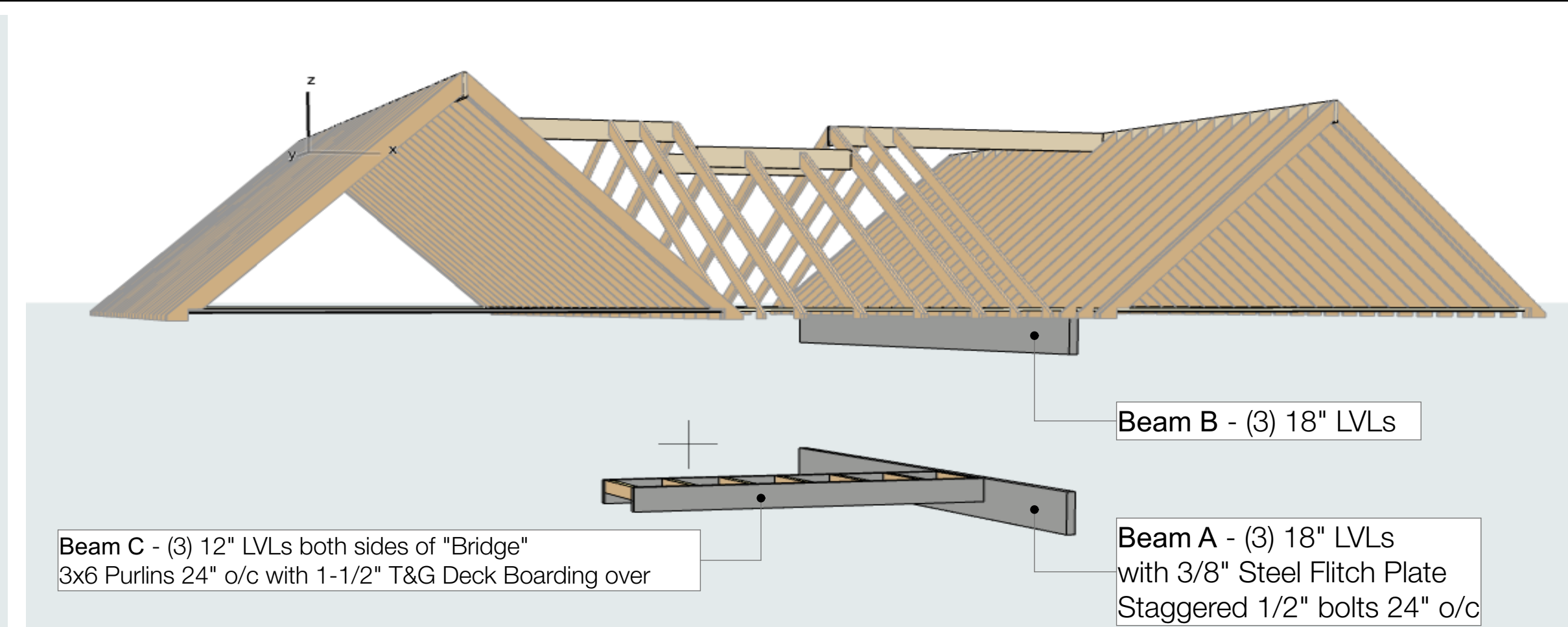
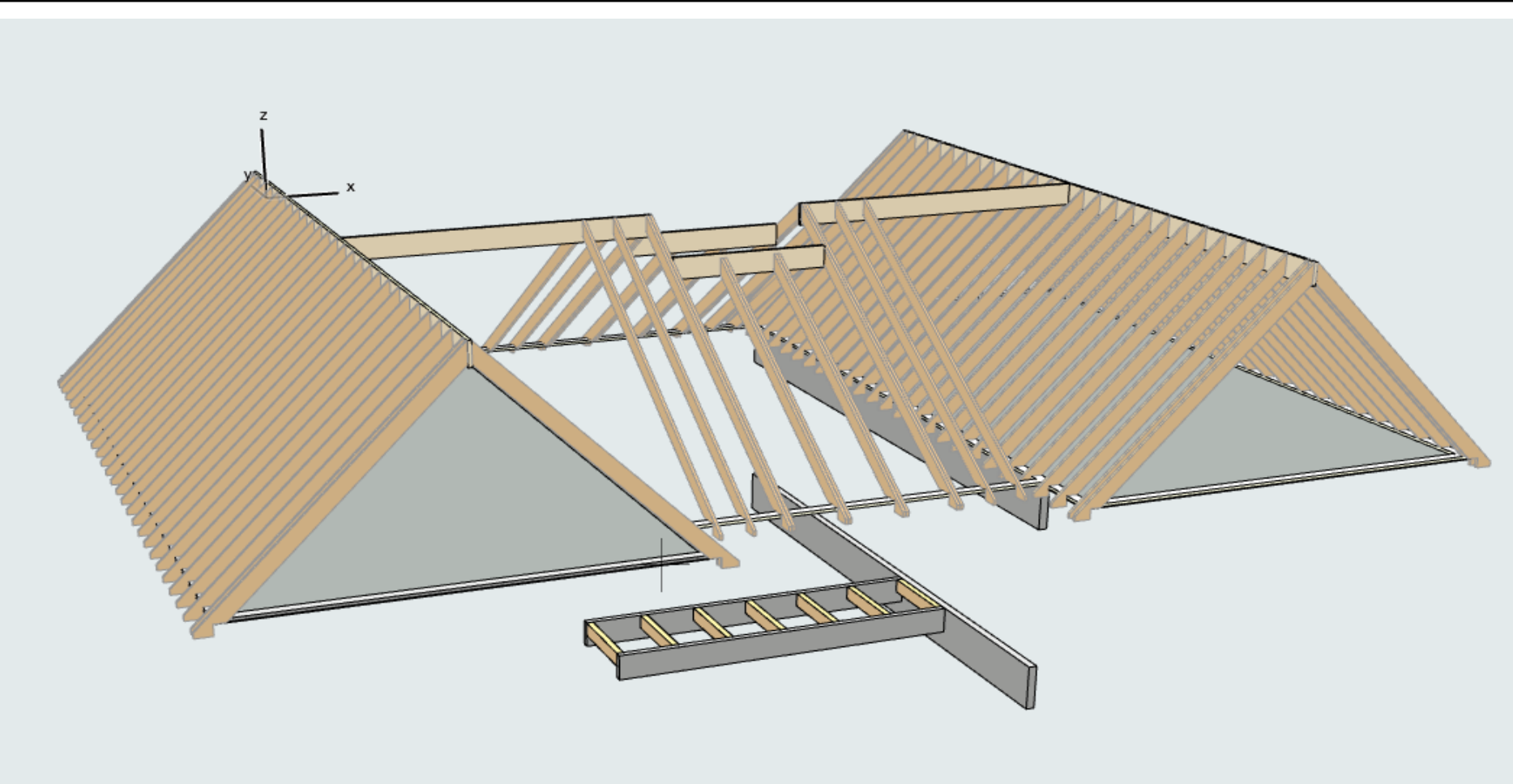
**Long Section - Open Basement Areas**  
SCALE: 3/8" = 1'-0"



Issue Date	
6/10/23	
Revisions	
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	
Chestnut Hill Stamford, Ct.	
Joseph Matto Architect AIA	
Samantha and Bryan Dorf	
Page	
A15	

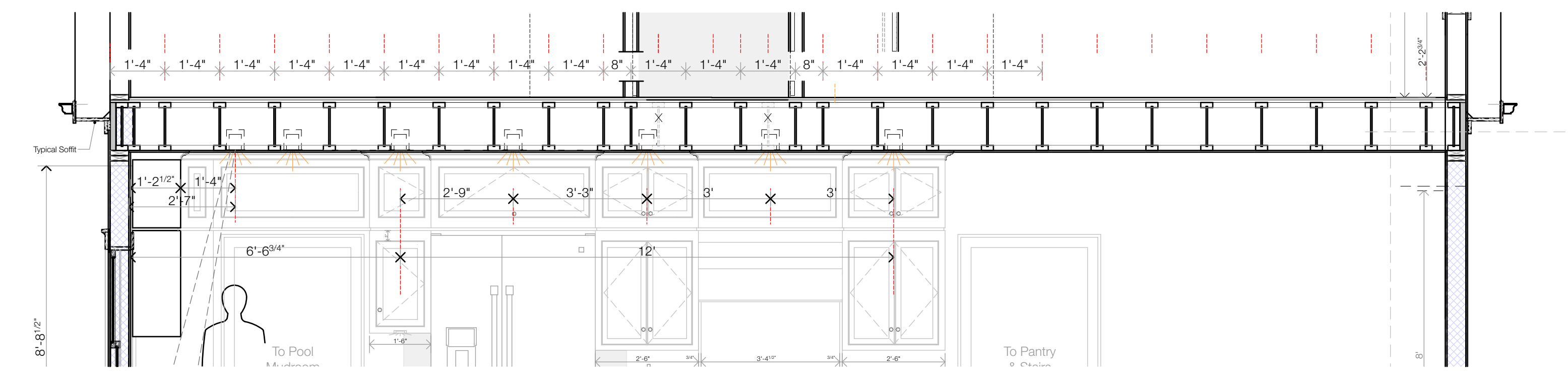
Long Section 2 - Master Closet, Office, Garage





2nd Floor Deck Framing Plan

SCALE: 1:38.400



TJI Layout Modification to Accomodate Recessed Lights to Center over Cabinets

SCALE: 1:28.235

Issue Date  
6/10/23

Revisions


2nd Floor Framing Plan

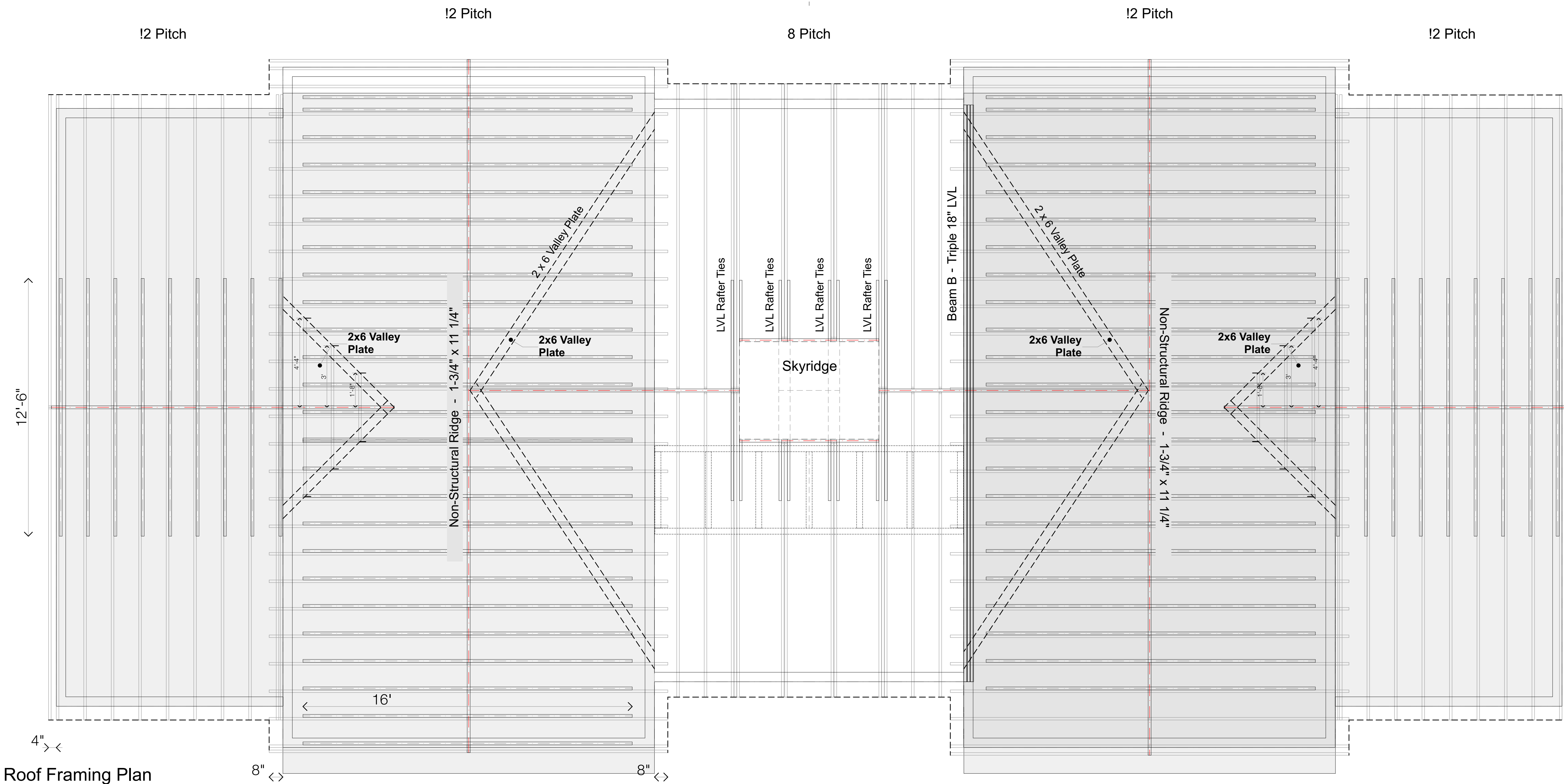
Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

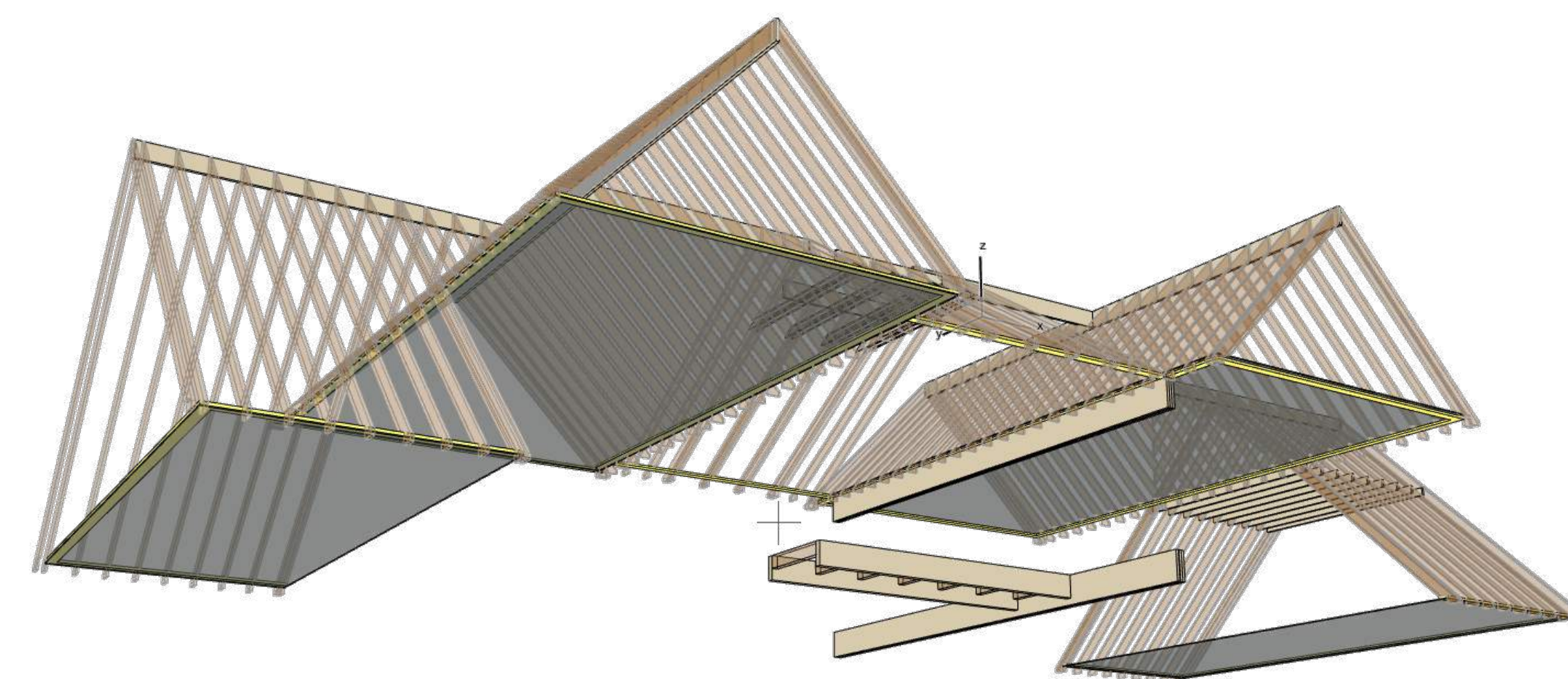
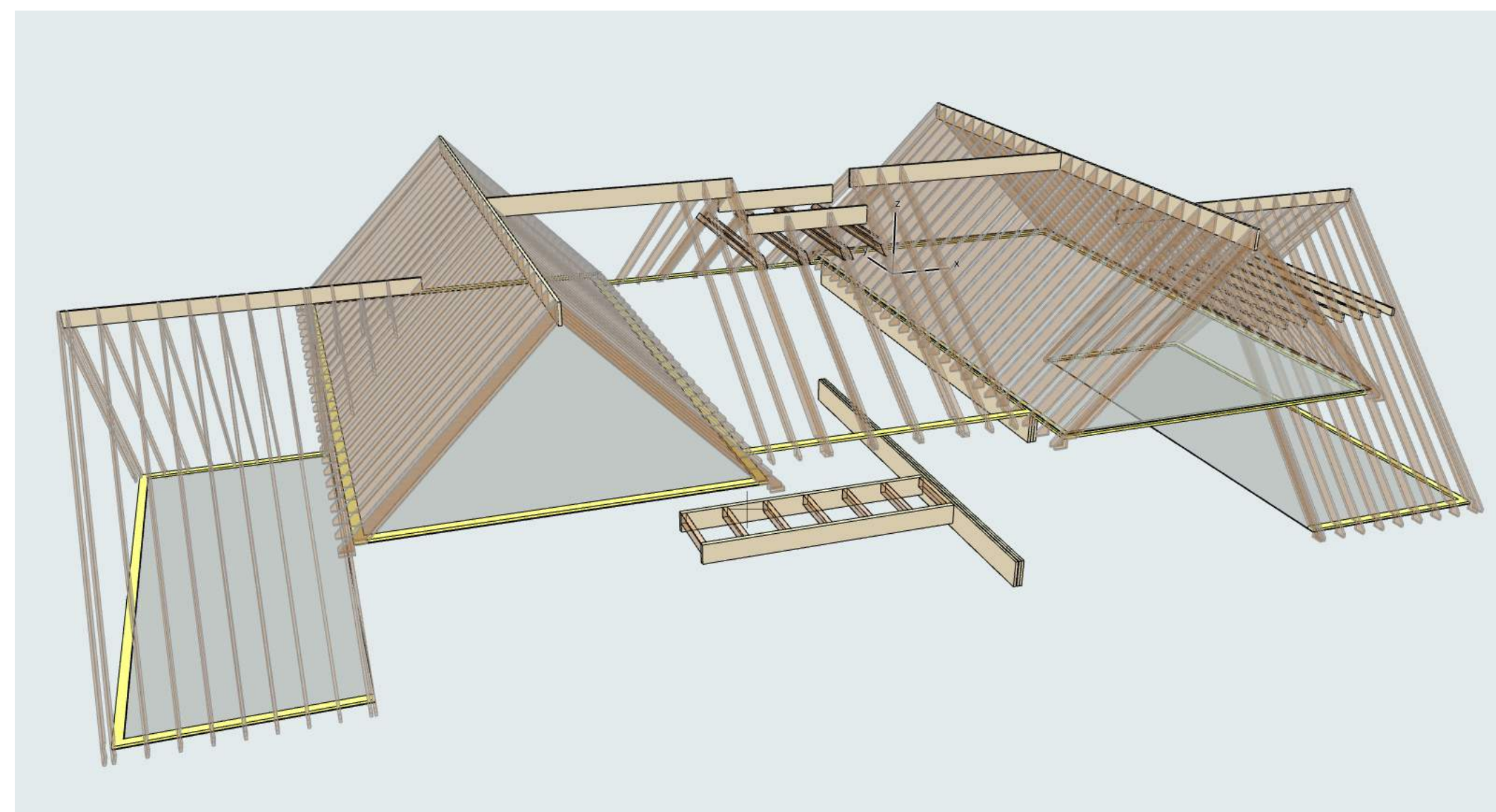
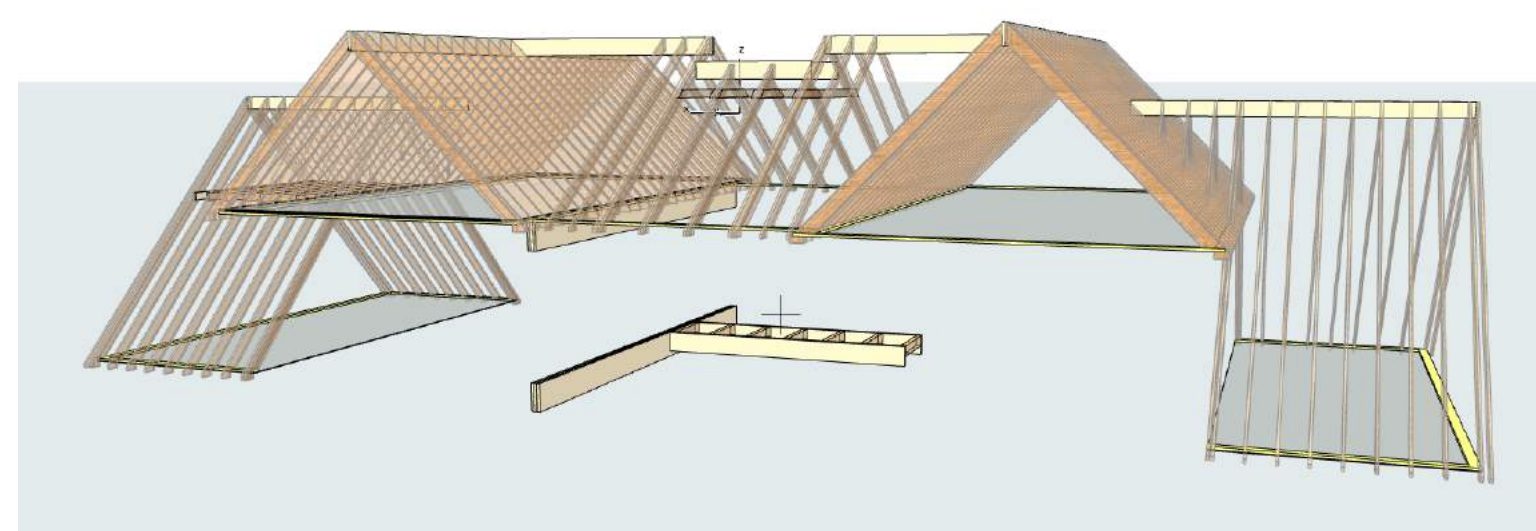
Joseph Matto Architect AIA

Samantha and Bryan Dorf



Roof Framing Plan

SCALE: 3/8" = 1'-0"



Issue Date  
6/10/23

Revisions	

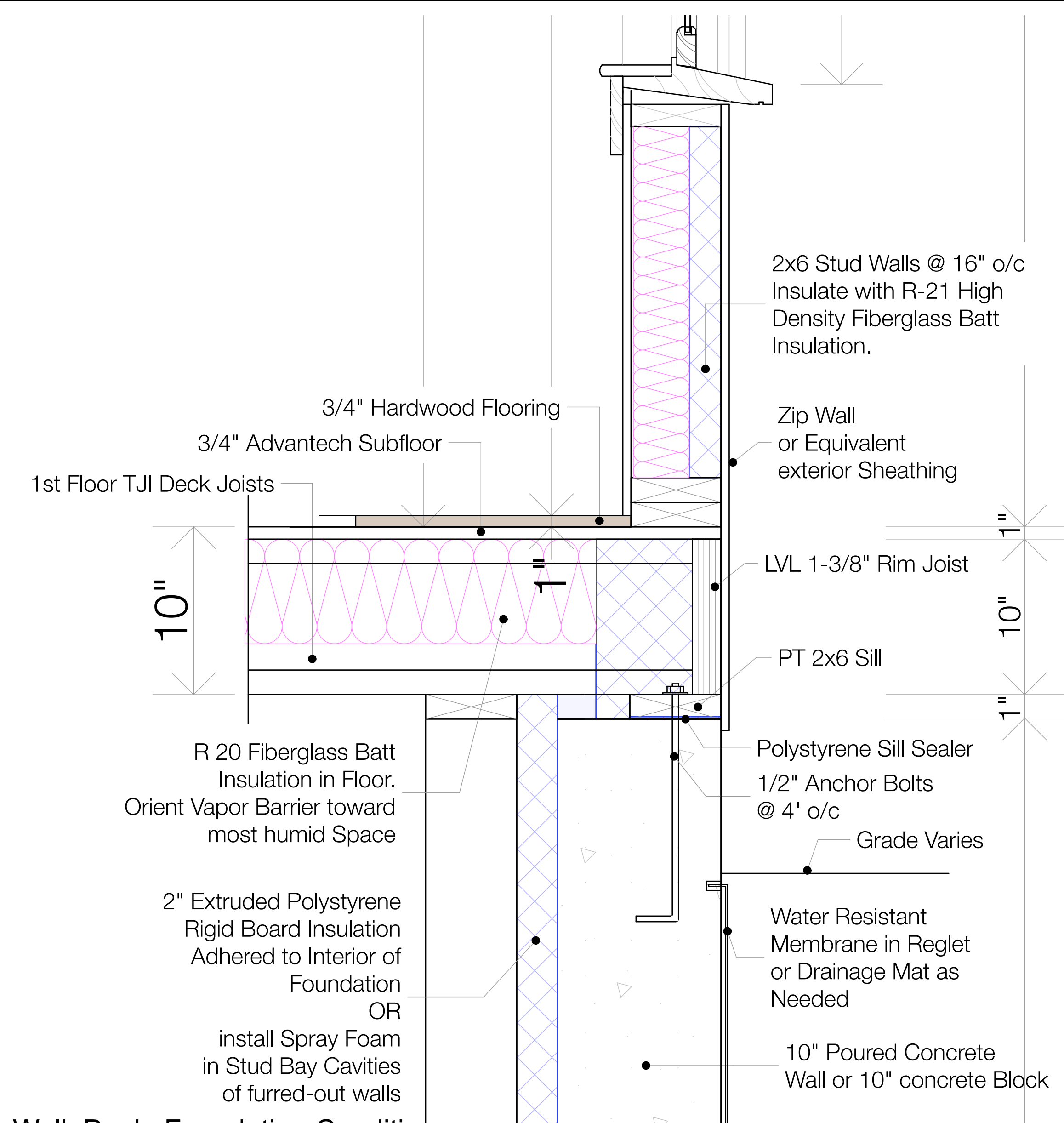
Roof Framing Plan

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

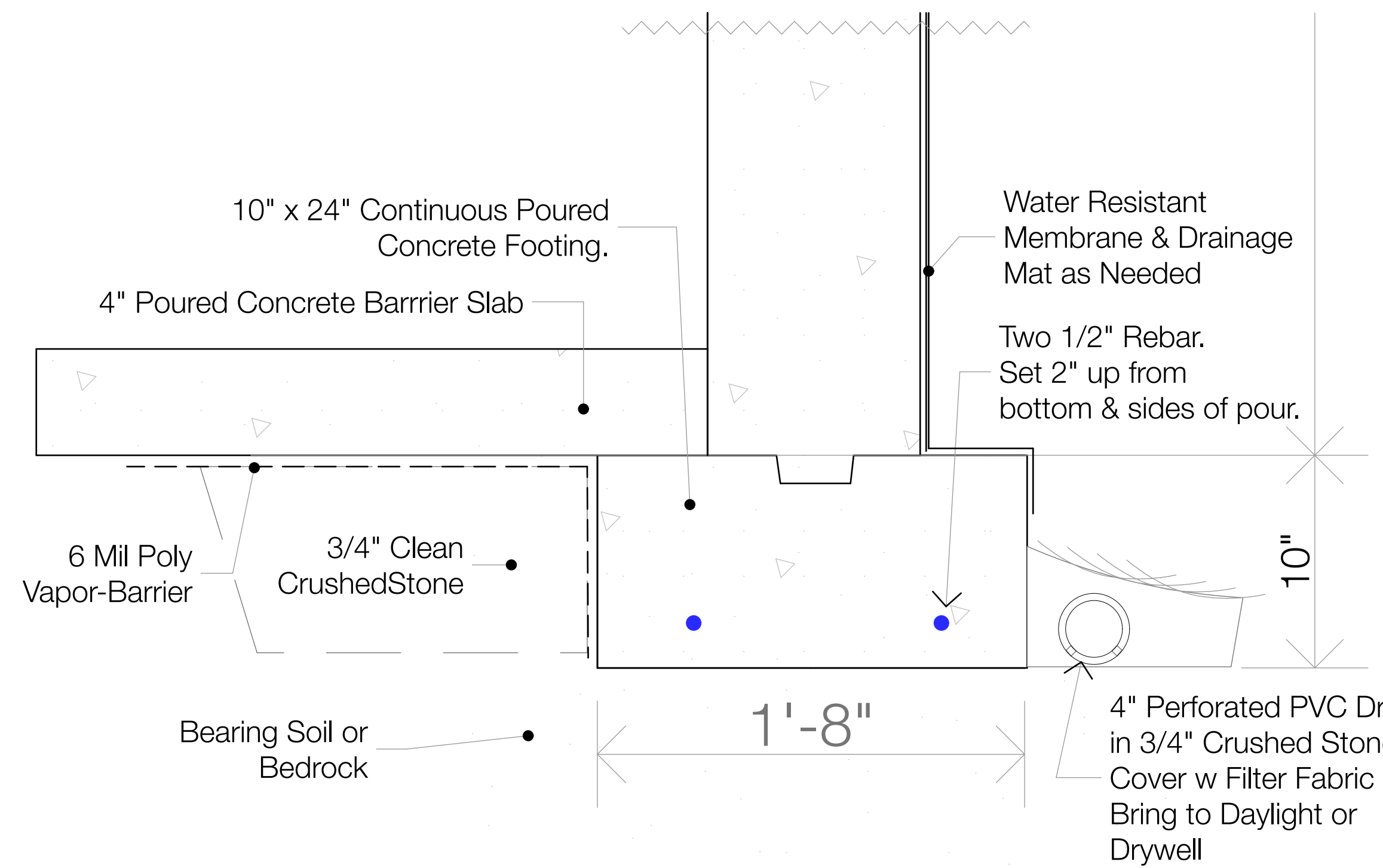
Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA  
Samantha and Bryan Dorf



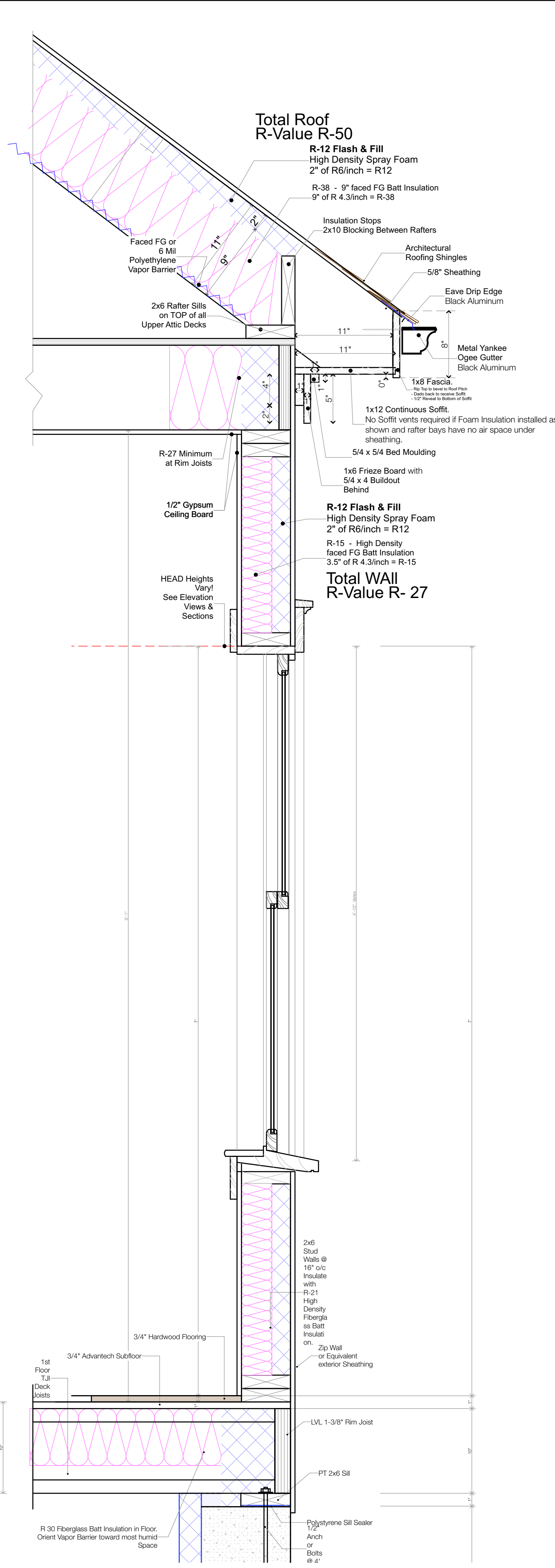
Wall, Deck, Foundation Conditions

SCALE: 1:5.393



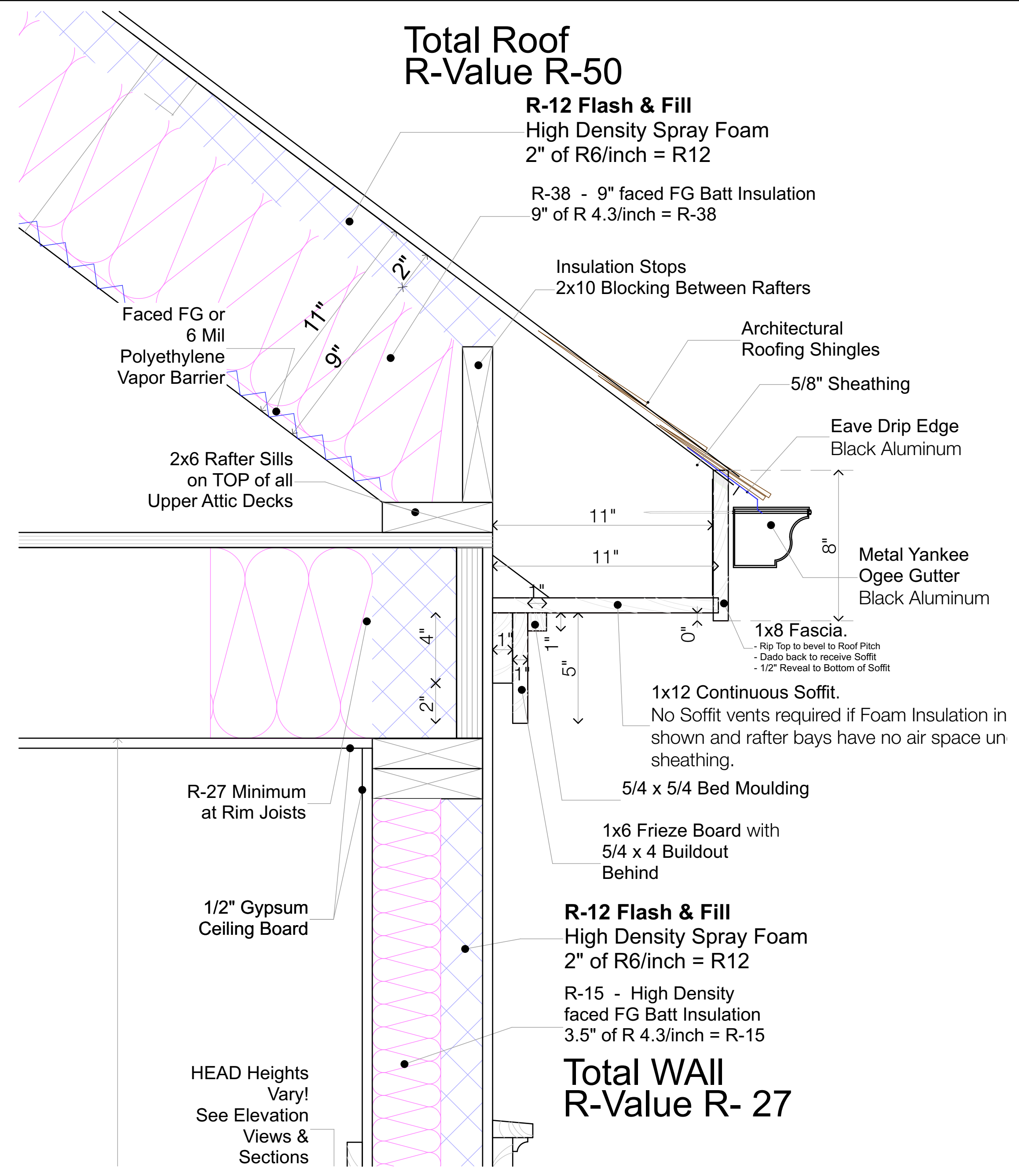
Footing, Slabs & Drains

SCALE: 1:5.393



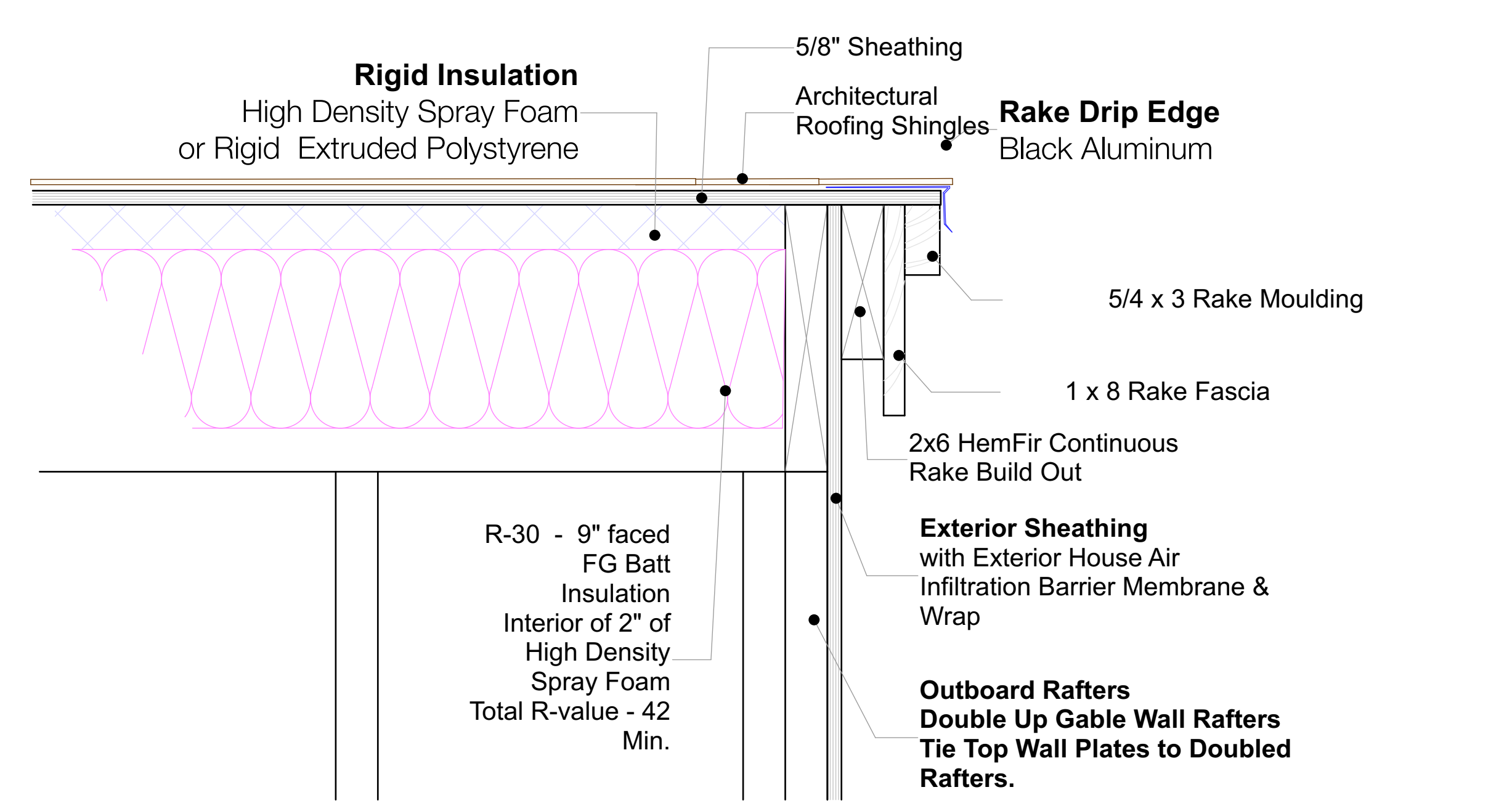
Typical Wall Section

SCALE: 1:8.421



Typical Soffit & Eave Details

SCALE: 1:4.211



Roof Rakes @ Gable Ends

SCALE: 1:4.211

Issue Date	
6/10/23	
Typical Insulation Details - Typical Wall Conditions	Revisions
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	
Chestnut Hill Stamford, Ct.	
Joseph Matto Architect AIA	
Samantha and Bryan Dorf	
Page	A19

### Front To Back Bracing Lines

2018 IRC Required Braced-Wall-Line Length Calculations

#### PROJECT INFORMATION

NAME: Dorf  
 ADDRESS: 54 Chestnut Hill Rd, Stamford, 06903  
 WALL DIRECTION: Front to Back  
 SEISMIC DESIGN CATEGORY: C Detached One or Two-Family Dwelling  
 ULTIMATE DESIGN WIND SPEED: 110 mph  
 WIND EXPOSURE CATEGORY: B

	Wall Line A-1	Wall Line B-1	Wall Line C-1	Wall Line D-1
<b>Inputs</b>				
Braced-Wall-Line Location	1st of 1-story	1st of 1-story	1st of 1-story	1st of 1-story
Eave to Ridge Height	14 ft	14 ft	14 ft	14 ft
Braced-Wall-Line Spacing	29.00 ft	22.00 ft	22.00 ft	29.00 ft
Wall Height	9 ft	9 ft	9 ft	9 ft
Bracing Method	WSP	WSP	WSP	WSP
GB Construction Type	N/A	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	Yes	Yes	Yes
Holddown Device Used	Yes	Yes	Yes	Yes
<b>WIND</b>				
Tabulated Wind Bracing Amount	4.85 ft	3.8 ft	3.8 ft	4.85 ft
Exposure Height Factor	1	1	1	1
Eave-to-Ridge Height Factor	1.24	1.24	1.24	1.24
Wind Wall Height Factor	0.95	0.95	0.95	0.95
Number of BWL Factor	1.45	1.45	1.45	1.45
Holddown Factor	0.8	0.8	0.8	0.8
Blocked Joint Factor	1	1	1	1
Gypsum on Inside Factor	1	1	1	1
Wind GB Construction Factor	1	1	1	1
Required Wind Bracing Amount	6.63 ft	5.19 ft	5.19 ft	6.63 ft
<b>RESULTS</b>				
Length of Wall Bracing Required	6.63 ft	5.19 ft	5.19 ft	6.63 ft

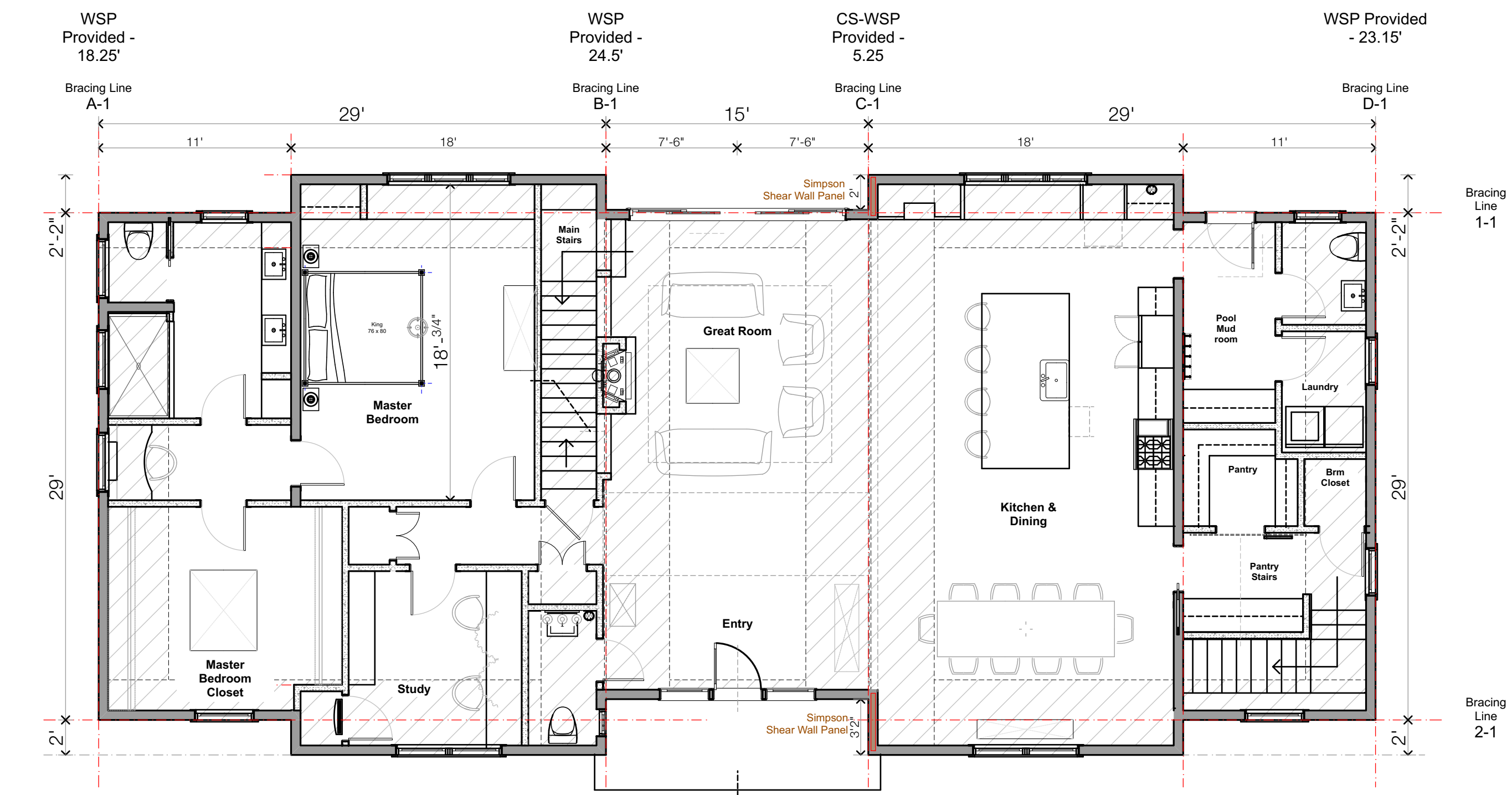
### Side to Side Bracing Lines

2018 IRC Required Braced-Wall-Line Length Calculations

#### PROJECT INFORMATION

NAME: Dorf  
 ADDRESS: 54 Chestnut Hill Rd, Stamford, 06903  
 WALL DIRECTION: Side To Side  
 SEISMIC DESIGN CATEGORY: C Detached One or Two-Family Dwelling  
 ULTIMATE DESIGN WIND SPEED: 110 mph  
 WIND EXPOSURE CATEGORY: B

	Wall Line 1-1	Wall Line 2-1
<b>Inputs</b>		
Braced-Wall-Line Location	1st of 1-story	1st of 1-story
Eave to Ridge Height	14 ft	14 ft
Braced-Wall-Line Spacing	29.00 ft	29.00 ft
Wall Height	9 ft	9 ft
Bracing Method	WSP	WSP
GB Construction Type	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes
Horizontal Joints Blocked	No	No
Holddown Device Used	No	No
<b>WIND</b>		
Tabulated Wind Bracing Amount	4.85 ft	4.85 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1.24	1.24
Wind Wall Height Factor	0.95	0.95
Number of BWL Factor	1	1
Holddown Factor	1	1
Blocked Joint Factor	2	2
Gypsum on Inside Factor	1	1
Wind GB Construction Factor	1	1
Required Wind Bracing Amount	11.43 ft	11.43 ft
<b>RESULTS</b>		
Length of Wall Bracing Required	11.43 ft	11.43 ft



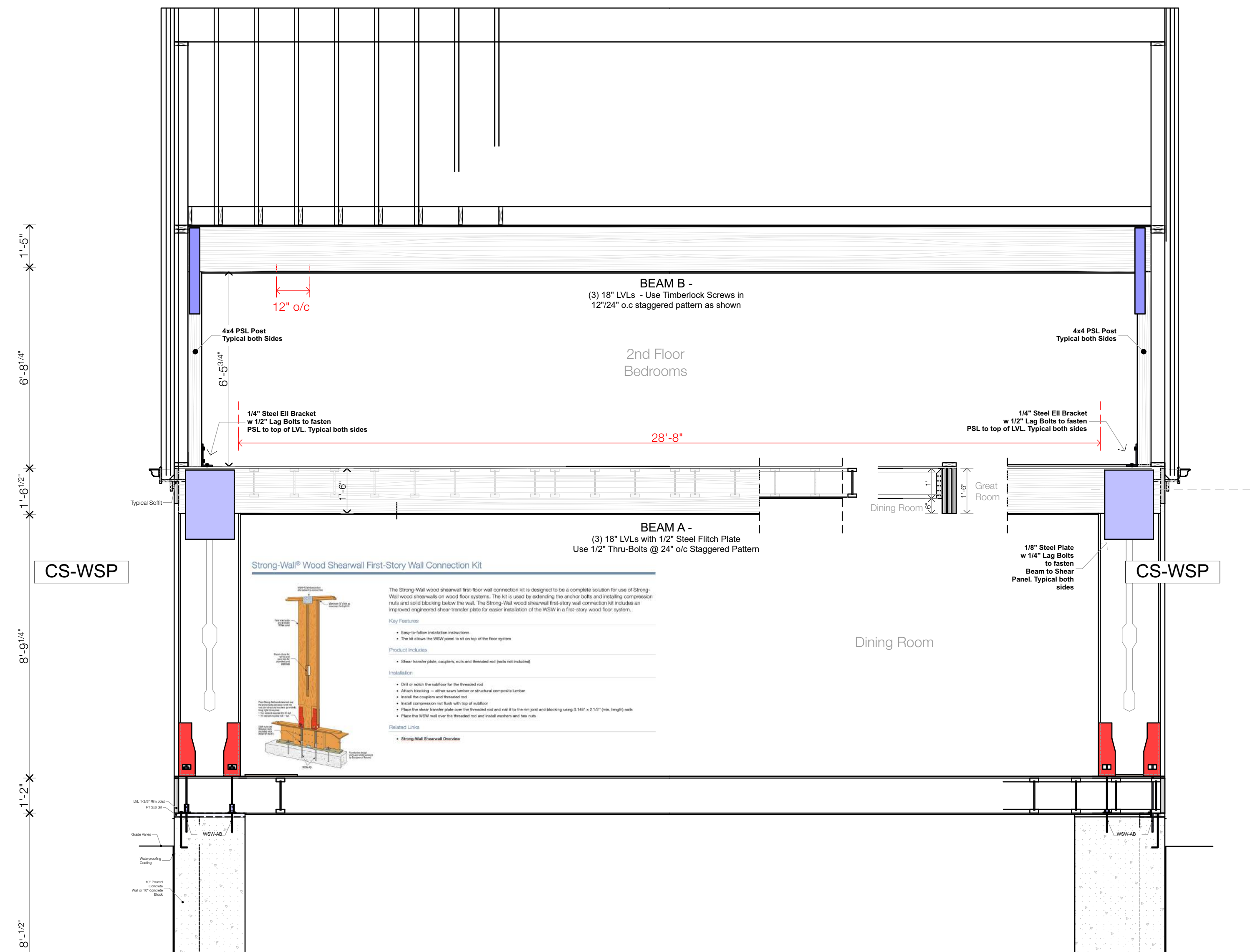
Lateral BRACING WALL LINES

NOT TO SCALE



Lateral Bracing Exterior Walls

SCALE: 1/8" = 1'-0"



Lateral Wall Bracing for Line C-1.....with Simpson Shear Wall Panels for Interior Wall w Long Beam

SCALE: 3/8" = 1'-0"

Issue Date  
6/10/23

Revisions  
Lateral Wind Load Bracing Analysis

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Joseph Matto Architect AIA  
Samantha and Bryan Dorf

Page  
A20

# 110 MPH - Wind Design

See Section R301.2.1.1 of the 2012 International Building Code.

Additional Connection, Nailing & Sheathing Methods and Requirements are in the Wood Framing Construction Manual-2001

## Schedule of Approved Connectors

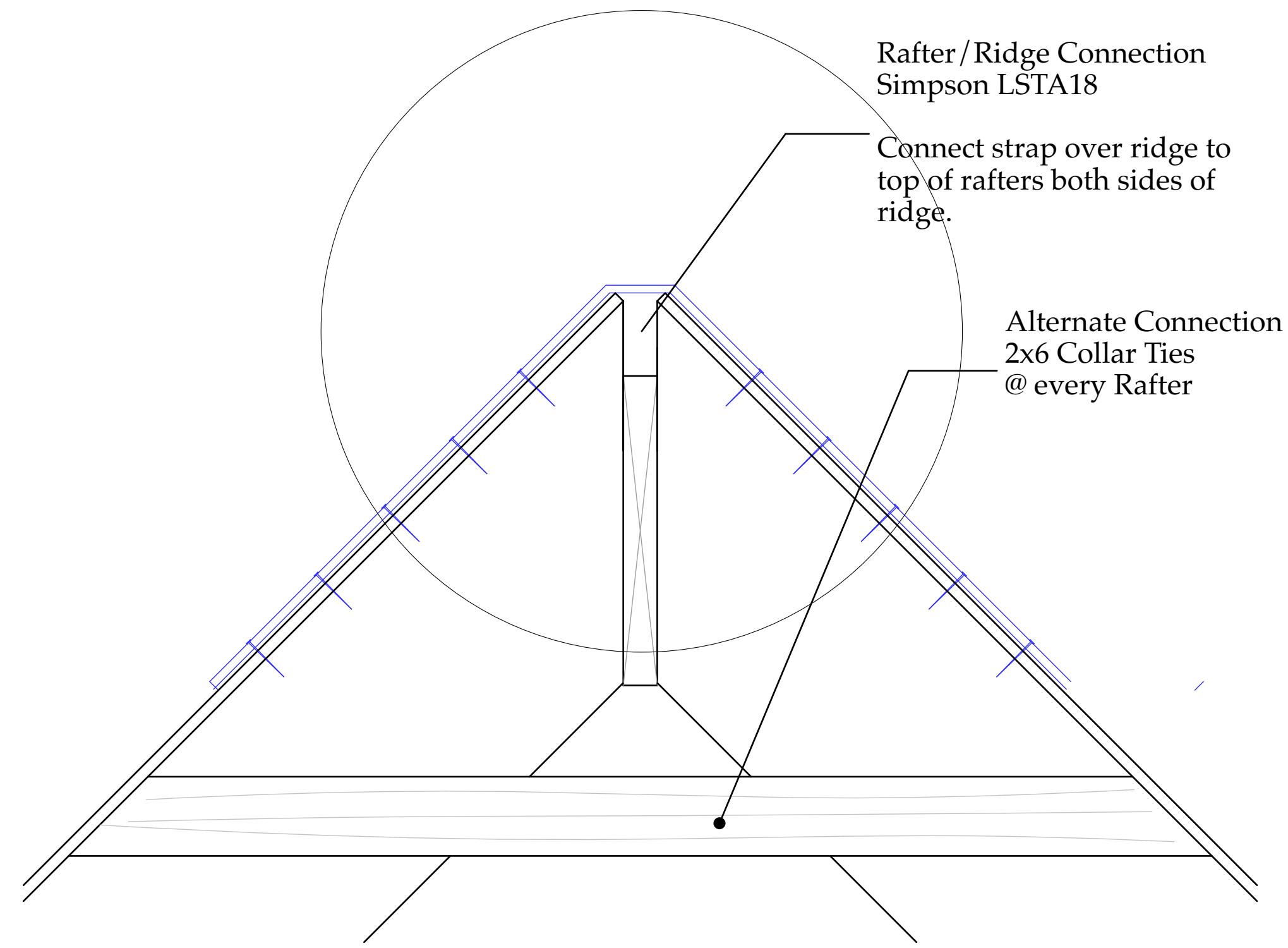
Type	Manufacturer	Application
Anchor Bolt	Generic	Sill Plate to Foundation @ 48" o/c.
CS Series	Simpson	Floor to Floor @ 32" o/c.
CS Series	Simpson	At Door & Window Openings
STHD Series	Simpson	Deck to Foundation
RSP4	Simpson	Deck to Foundation
HTT22	Simpson	Wood Stud to Foundation
H7	Simpson	Rafters to Top Wall Plates
ST 2115	Simpson	Stud-to-Stud Straps
LSTA 15	Simpson	Rafter-to-Rafter Over Ridge
HUTF/HUSTF	Simpson	Solid Wood Joist Hangers
ITT/HIT/MIT	Simpson	Top Flange Joist Hangers (TJI's)
BC8	Simpson	Wood Post Base
CC w strap	Simpson	Wood Post Cap
LCC	Simpson	Building Column Cap

Wall & Floor Framing 16 Common - .162"

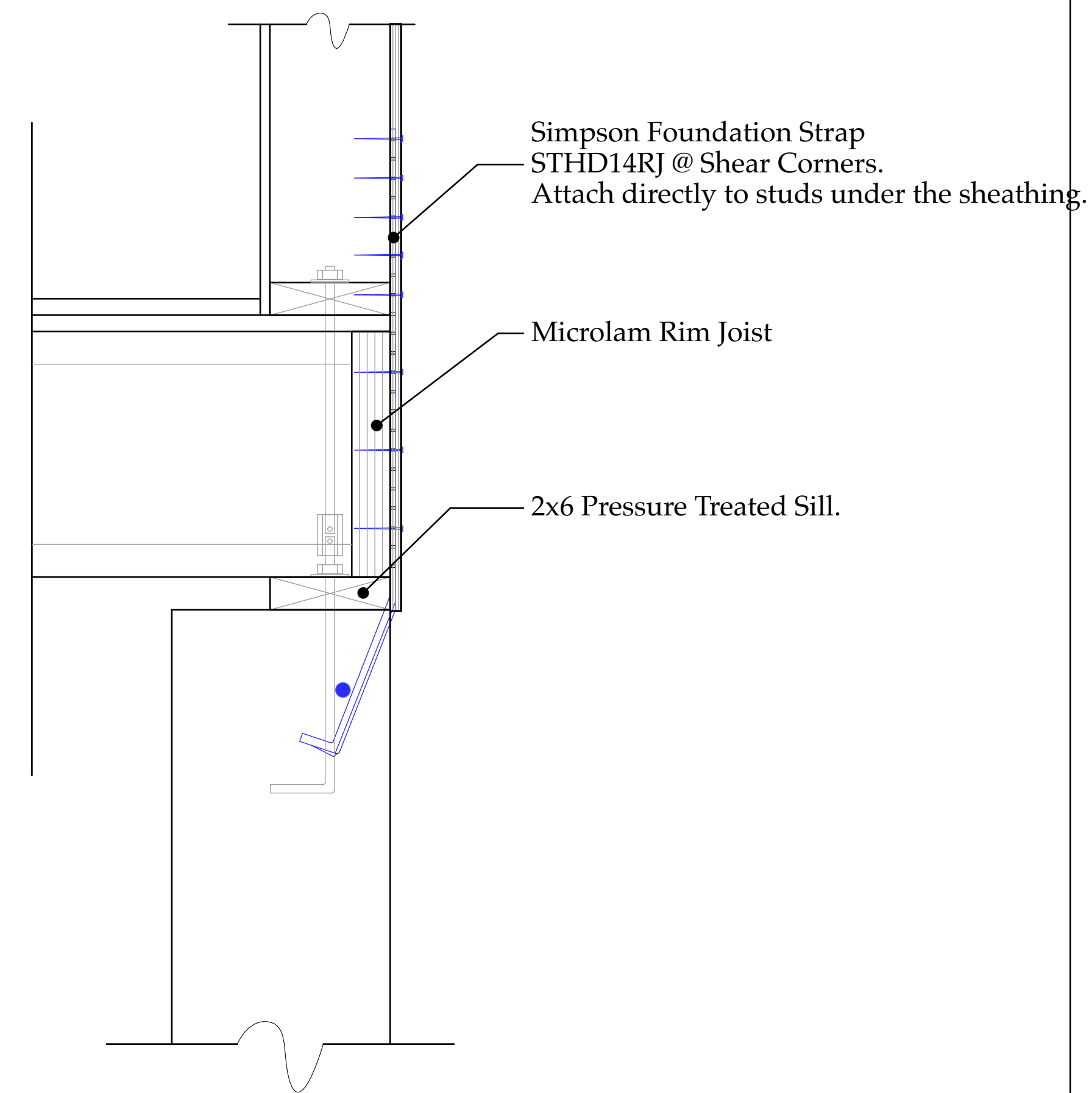
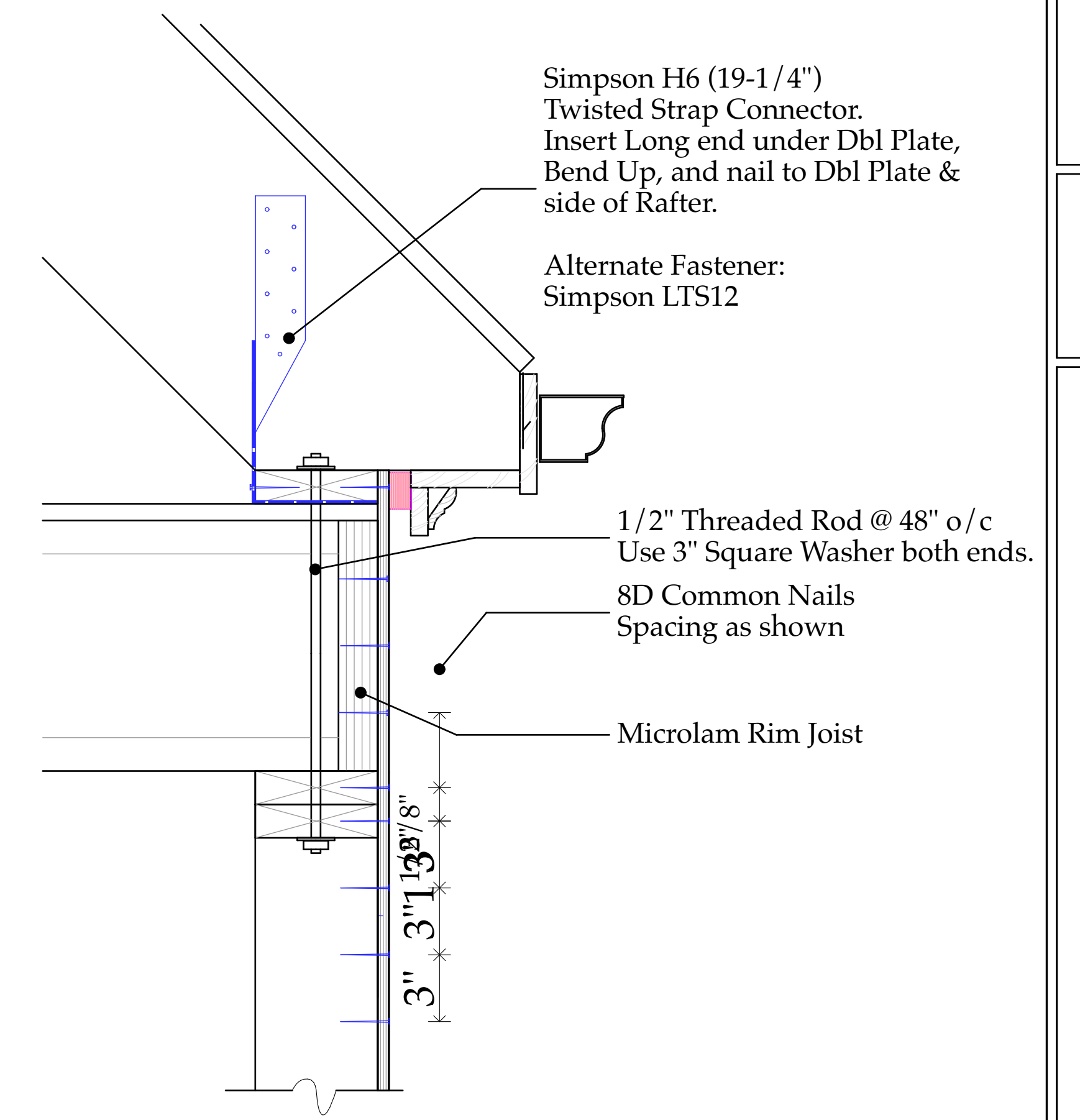
Toe Nailing 12 Common - .148"

Sheathing, Toe Nailing 10 D - .148"

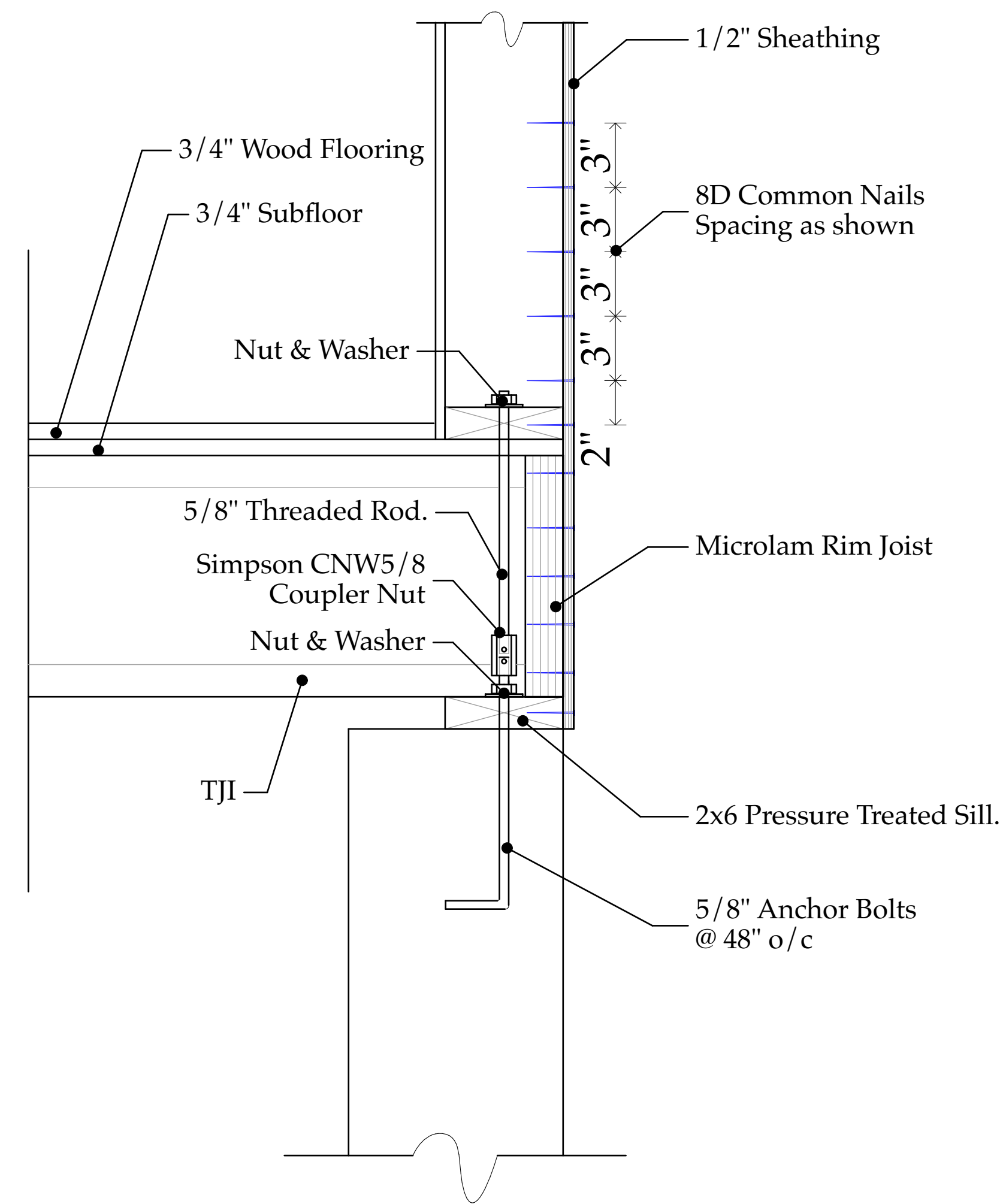
Wall & Roof Sheathing 8D - .131"



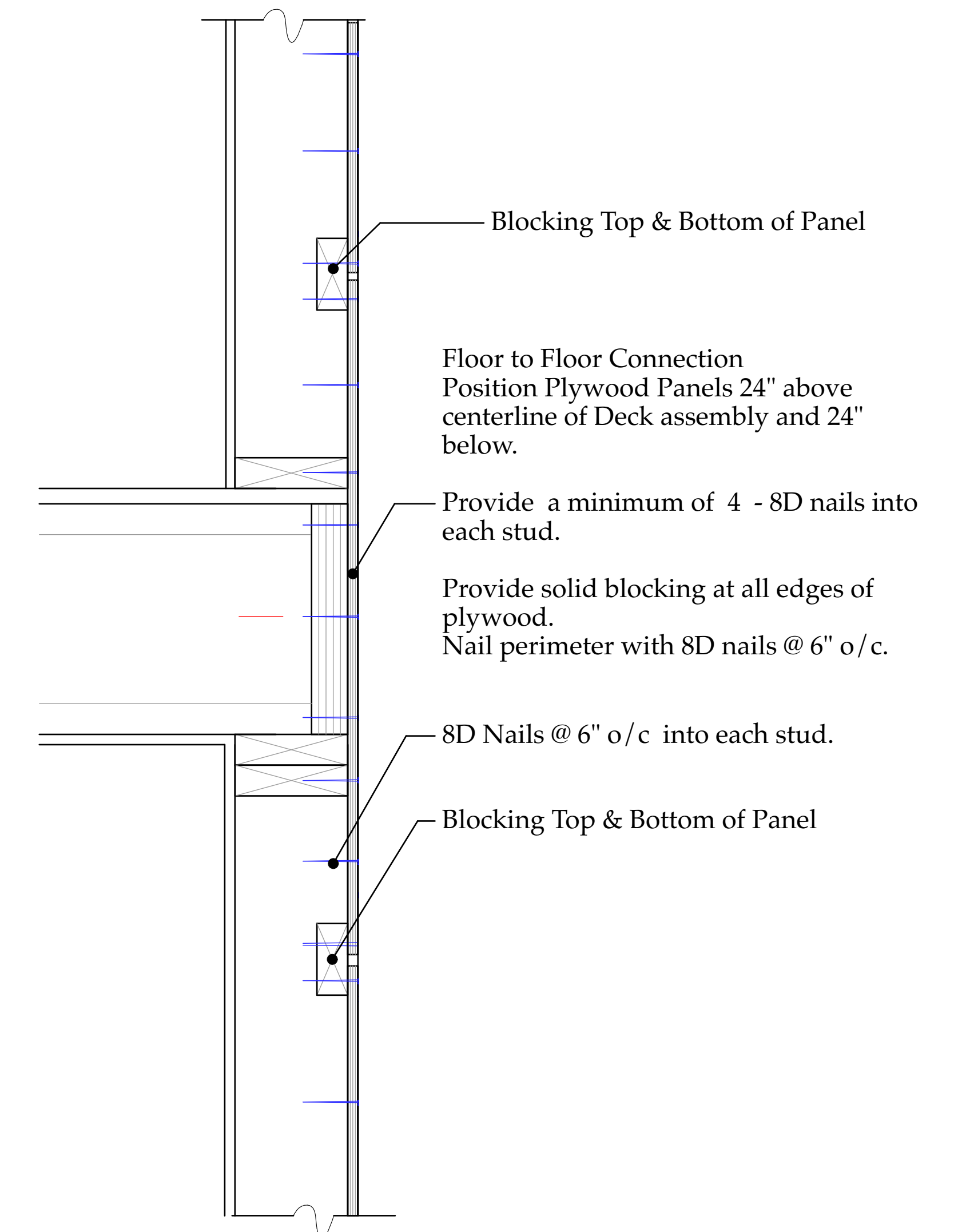
Rafter to Rafter Connection @ Ridge



Roof to Floor Deck & Wall Connection



Wall to Foundation Connection Along Length of a Shear Wall



Wall to Wall Connection Across Floor Decks

Issue Date

6/10/23

Revisions

High Wind Details (As Applicable)

Scale (s)

Not To Scale

72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA  
Samantha and Bryan Dorf

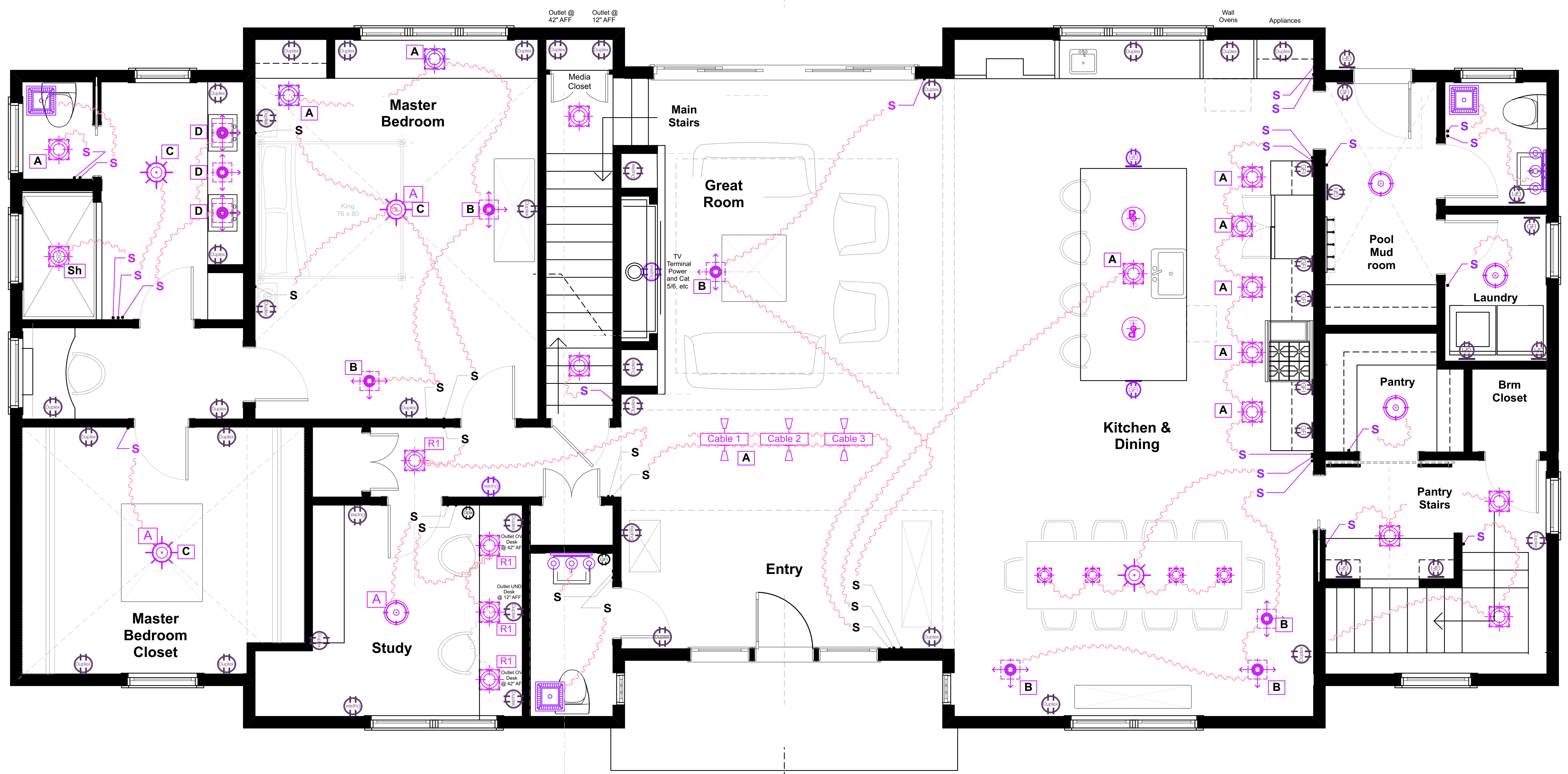
Page

A21



Electrical Symbols

OUTLETS	
	Duplex Outlet
	Duplex Outlet, GFI
	1/2 Switched Outlet
	Cable TV Jack
	Telephone Jack
	Data Jack
Switches	
	Single Pole Switch
	3-Way Switch
	Multi-Pole Switch
	Master Switch to Flood Lights
	Jamb Switch
Recessed Light Fixture	
	Adjustable Recessed
	Recessed Shower Light
	Recessed Pin Light
	Ceiling Light
	Pendant Light Chandelier Light
	Wall Mounted Light (Sconce)
	Under Cabinet LED, Over/Mirror Strip Light
	Closet Light
	Articulated Arm Wall Light
	Paddle Fan - No Lights
	Exterior Flood Light
Fans	
	Exhaust Fan
	Exhaust Fan
Detectors	
	Smoke Detector
	Heat Detector
	CO2 Detector



Lighting Schedule

	Mark	Qty	Manufacturer	Lamp Type	Watt/Lamp	Total Watts	Notes
Recessed Lights	A						
Adjustable Recessed Lights	B						
Ceiling Surface Mounted Lights/ Chandeliers	C						
Pendants	D						
Wall Sconces	E						
Duplex Outlets							
GFI Duplex Outlets							

Issue Date  
6/10/23

Lighting & Devices Locations - 1st Floor

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484  
Chestnut Hill  
Stamford, Ct.

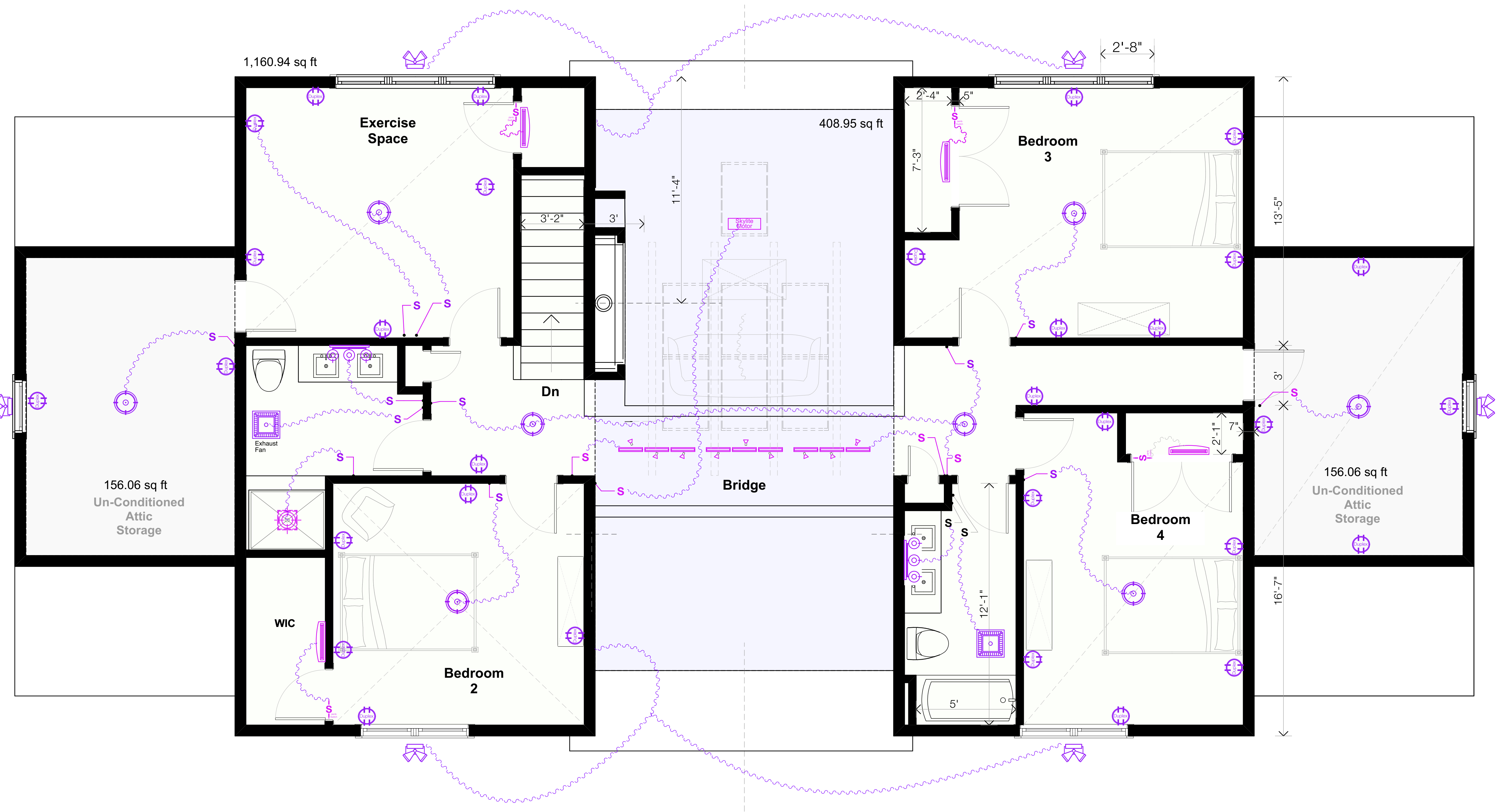
Joseph Matto Architect AIA

Samantha and Bryan Dorf

Page

E1

Electrical Symbols	
<b>OUTLETS</b>	
	Duplex Outlet
	Duplex Outlet, GFI
	1/2 Switched Outlet
	Cable TV Jack
	Telephone Jack
	Data Jack
<b>Switches</b>	
	Single Pole Switch
	3-Way Switch
	Multi-Pole Switch
	Master Switch to Flood Lights
	Jamb Switch
<b>Lights</b>	
	Recessed Light Fixture
	Adjustable Recessed
	Recessed Shower Light
	Recessed Pin Light
	Ceiling Light
	Pendant Light
	Chandelier Light
	Wall Mounted Light (Sconce)
	OverMirror Strip Light
	UnderCabinet LED
	Closet Light
	Articulated Arm Wall Light
	Paddle Fan - No Lights
	Exterior Flood Light
<b>Fans</b>	
	Exhaust Fan
	Exhaust Fan
<b>Detectors</b>	
	Smoke Detector
	Heat Detector
	CO2 Detector



### Lighting Schedule

	Mark	Qty	Manufacturer	Lamp Type	Watt/Lamp	Total Watts	Notes
Recessed Lights	<b>A</b>						
Adjustable Recessed Lights	<b>B</b>						
Ceiling Surface Mounted Lights/ Chandeliers	<b>C</b>						
Pendants	<b>D</b>						
Wall Sconces	<b>E</b>						
Duplex Outlets							
GFI Duplex Outlets							

Issue Date		6/10/23	
Revisions			
Lighting & Devices Locations - 2nd Floor			
Scale (s)			
72 Bridge Street Shelton, Ct. 06484			
Chestnut Hill Stamford, Ct.			
Joseph Matto Architect AIA			
Samantha and Bryan Dorf			
Page			
E2			





**HVAC RELATED WORK:** The following items related to the HVAC work and to be provided by others are to be included in the Contractor's Base Bid for HVAC.

All Power wiring and connections, installation of low voltage temperature control wiring, and required service switches at equipment locations.

Kitchen Hood Exhaust Fan, Motorized Backdraft damper, controls & exterior vent cap.

Additional insulation of equipment spaces and pipe insulation.

Radiant Heat lines and manifolds.

All chasis or structural suspension systems for equipment.

Undercutting of doors or providing of fresh air supply into equipment rooms.

Concealment of ductwork and equipment as required.

Bathroom exhaust fans, ductwork, and vents. Provide remote exhaust motor systems such as 'FanTech' or 'Penn-Zephyr'.

Patching of floors and walls around ducts and vents.

Trenching for piping and underground supply lines.

Minimum 4" thick reinforced concrete pads for condenser units with perimeter frost protection..

### HVAC System Design: As per plans by HVAC engineers, Tucker Associates, Inc.

The HOUSE HVAC SYSTEM shall be comprised of Four (4) Hydro-air sub-systems as follows:

SUB-SYSTEM 1 - 2nd floor Master Bedroom Suite.

SUB-SYSTEM 2 - 2nd floor Secondary Bedrooms & Guest Bedroom Suite over the Garage.

Provide Zone Dampening for this system as follows:

- Zone 1 - Maise's Room, Wren's Room, Girl's Bathroom & Riley's Room.
- Zone 2 - Book Nook, Baylor's Room, Carson's Room, and Boy's Bathroom.
- Zone 3 - Guest Suite and Guest Stair Hall.

SUB-SYSTEM 3 - 1st Floor Formal spaces including the Living Room, Dining Room, Foyer and Entry

SUB-SYSTEM 4 - 1st Floor Informal spaces including Family Room, Breakfast Area, Kitchen, Pantry, mudroom areas and Basement Utility Space.

Provide Zone Dampening for this system as follows:

- Zone 1 - Kitchen, Breakfast Area & Family Room.
- Zone 2 - Mudroom, Bathroom, Pantry.

SUB-SYSTEM 5 - Future System for Attic Expansion. Provide Rough-in only of condensate drain lines and supply piping.

#### AIR SIDE of SYSTEM:

- Provide 4 Carrier F14 series air-handlers.
- Provide 4 Carrier Hot Water Coils.
- Provide 4 Carrier 24ABA3 base series Puron Condensing Units with SEER rating of 13.0.

Condensing units will be installed on concrete pads behind the Garage as shown on the drawings.

Air Handlers for Sub-system 1 & 2 will be located in the attic as hown on the drawings and will be suspended from the roof rafters and isolated for vibration and noise.

Air Handlers for Sub-systems 3 & 4 will be located in the Basement utility space.

The HVAC Contractor shall provide a complete air distribution system consisting of a main supply air trunk line rectangular in shape with round flexible branch ducts to each register which shall each have volume controls. All supply air ductwork will be insulated with 2" thick fiberglass insulation.

The HVAC Contractor will provide the following approximate quantities of registers and grilles:

- SUB-SYSTEM 1 - Nine (9) supply air registers and two (2) return air grilles.
- SUB-SYSTEM 2 - Sixteen (16) supply air registers and four (4) return air grilles.
- SUB-SYSTEM 3 - Eight (8) supply air registers and two (2) return air grilles.
- SUB-SYSTEM 4 - Fourteen (14) supply air registers and three (3) return air grilles.

All supply and return air grilles located in hardwood floors are to be made of wood to match the hardwood floors and to be manufactured by Woodventures Company or other approved supplier. All other grilles in walls or ceilings or non-wood floors to be made of metal and manufactured by Lima Corporation or other approved supplier, and as approved by the Owner and reviewed by the Architect.

The HVAC Contractor shall provide the following:

- Five (5) Honeywell programmable thermostats.
- Five (5) Space Guard Media Filters.
- Two (2) 'April-Aire' by-pass type Humidifiers and piping for Subsystems #1 & #2.
- Six (6) Fan-Tech FR-100 remote bath exhaust fans and ductwork and two(2) roof/wall copper termination vents and rain caps.
- One(1) Kitchen Hood Exhaust Ductwork and one(1) roof/wall termination vent and rain cap.
- Two(2) Dryer ventilation ductwork and two(2) roof/wall termination vents and rain caps.
- Refrigeration and condensate drain piping.
- Provide rough-in of drain and pex Hot water piping for future Attic System.
- Shop drawings for review by the Architect and Contractor.
- Air & pressure Balancing upon system completion.
- Start, test, and place system into proper operation.

#### WATER SIDE of SYSTEM:

Provide two(2) Buderus G-215/6, oil fired hot water boilers. Each boiler shall have a net IBR rating of 223,000 Btu/h at an AFUE (annual fuel utilization efficiency) rating of 86% minimum.

- Provide one(1) Buderus ST-300 79 Gallon Indirect Domestic Hot Water Heater.
- Provide one(1) Buderus Logomatic 2107 Control board with outdoor reset control for staging the two boilers.
- Provide piping loop, which will serve an Indirect Domestic Hot Water Heater and Five(5) air handlers. Each Zone will serve its own circulator.
- Provide all PEX piping insulated with 1/2" thick Armaflex insulation.
- Provide combustion air venting as required.
- Provide all hydronic controls and related control accessories.
- Provide all low voltage connections.
- Start, test, and place system into proper operation.

## ELECTRICAL

### SCOPE OF WORK:

Provide and install new underground 400 AMP service from street including all underground piping, sweeps, and conduit boxes.

As required: Provide and install Service Panels, Breakers, Disconnect Boxes & Swithces, and Back-up Generator Transfer Switch.

Provide and install all power outlets, switches, wiring, and Lighting fixtures as indicated on the drawings, as required by code, or as implied by Design Intent.

Provide and install all wiring, terminations, and devices for Cable TV, Telephone, and Ethernet as indicated on the plans or as requested by the Owner.

Provide Temporary Electrical & Telephone service to the Job site during Construction.

All equipment, components, wiring and intallation work shall conform to the National Electrical Code, The State of Connecticut Building Codes, and any local regulations or ordinances.

All New Wiring shall be 'Romex' cabling with copper conductors, sized as required for the design loads.

Service Cabling may be Aluminum. Use appropriate connectors and lugs for Aluminum Service Cable.

### COORDINATION:

The Electrical subcontractor shall coordinate with the HVAC subcontractor adn the Builder with respect to control and power wiring as required for the following components and equipment units:

Condensing Units  
Air Handlers  
Thermostats  
Slab sensors  
Kitchen Exhaust Fan  
Bathroom exhaust fans

The General Contractor and Electrical Contractor shall coordinate work related to the following:

Back-up Generator  
Dedicated circuits for appliances  
Alarm and Security Systems  
Central Vacuum if requested by the Owner  
Garage workshop outlets and other special requests for additional power outlets.

### DEVICES:

Install standard switches, receptacles, and cover plates throughout.

The General contractor and Electrical Contractor will work with the Owner to identify circuits & switches that will have dimmers or other special controls. Dimmer Switches will be of the type with a toggle switch and integral dimming slide.

All Closet doors to have self-activated door jamb-switches unless otherwise noted or requested.

The Electrical Contractor shall neatly label all circuit breakers in the main service panel and at each sub-panel by room name and load type (ie lights, outlets, fan, etc)

Sub-Panels will be located one each floor and circuits will be laid out so that each sub-panel services the floor it is on.

- The Sub-panel for the first floor will be located in the Laundry off the Mudroom.
- The Sub-panel for the second floor will be located in the Laundry in the Children's wing.
- The Sub-panel for the third floor will be located as determined in the field with the Architect and the Owner.

Initial layout for the placement of all lights, switches, and outlets will be reviewed with the Architect prior to installation. The Owner & Architect will review the final placement of all Recessed Fixtures. The Contractor will supervise and oversee the installation of all Recessed Fixtures in order to coordinate proper framing and to ensure symmetry around architectural elements and alignments.

### TYPICAL LAYOUT OF BEDROOM RECPETACLES:

One outlet on each wall of all bedrooms shall be half/switched unless otherwise noted or requested. All half/switched outlets shall be switched from the entry door to each bedroom and will be ganged with any additional ceiling light switches.

### GENERATOR:

Provide all wiring, panels, transfer switches, and control wiring for the Back-up Generator. Contractor and Electrical Contractor shall review size, manufacturer and location on site with the Owner and Architect.

### LIGHTNING PROTECTION:

Furnish and install a complete lightning protection system by 'Woods Lightning Protection', or approved equal. This system shall be designed to meet NFPA 780 lightning protection code.

### 'SMART' SYSTEM CONTROL :

Provide pricing to the Owner for a complete Home Control System such as 'Crestron' or other as may be requested by the Owner.

## EQUIPMENT WARRANTY:

All systems and materials furnished and installed shall conform with the State of Connecticut and local building codes.

The HVAC System shall meet or exceed the following Design Performance Specification:  
Summer Operation - 75° indoor temperature @ 95° dry bulb outdoor temperature.  
Winter Operation - 70° indoor temperature @ 0° dry bulb outdoor temperature.

THE HVAC Subcontractor and the Builder shall warranty all HVAC systems for a period of one year from the date of Substantial Completion of the Project or the issuance of the Certificate of Occupancy whichever is later. This one year warranty will include equipment & parts replacement, system adjustments, or service work required during the first year of operation. Filter changes will be provided by the HVAC Contractor upon initial occupancy by the Owner. Additional filter changes are not included in the warranty.

GARAGE HEATING - Location of existing propane Ceiling Hung unit to be reviewed with the Owner and Architect. Unit may need to be relocated in order to accomodate the new stairs from Master Bedroom Closet to Storage area over Garage.

Issue Date

6/10/23

Construction Notes - Sheet 3	Revisions

Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

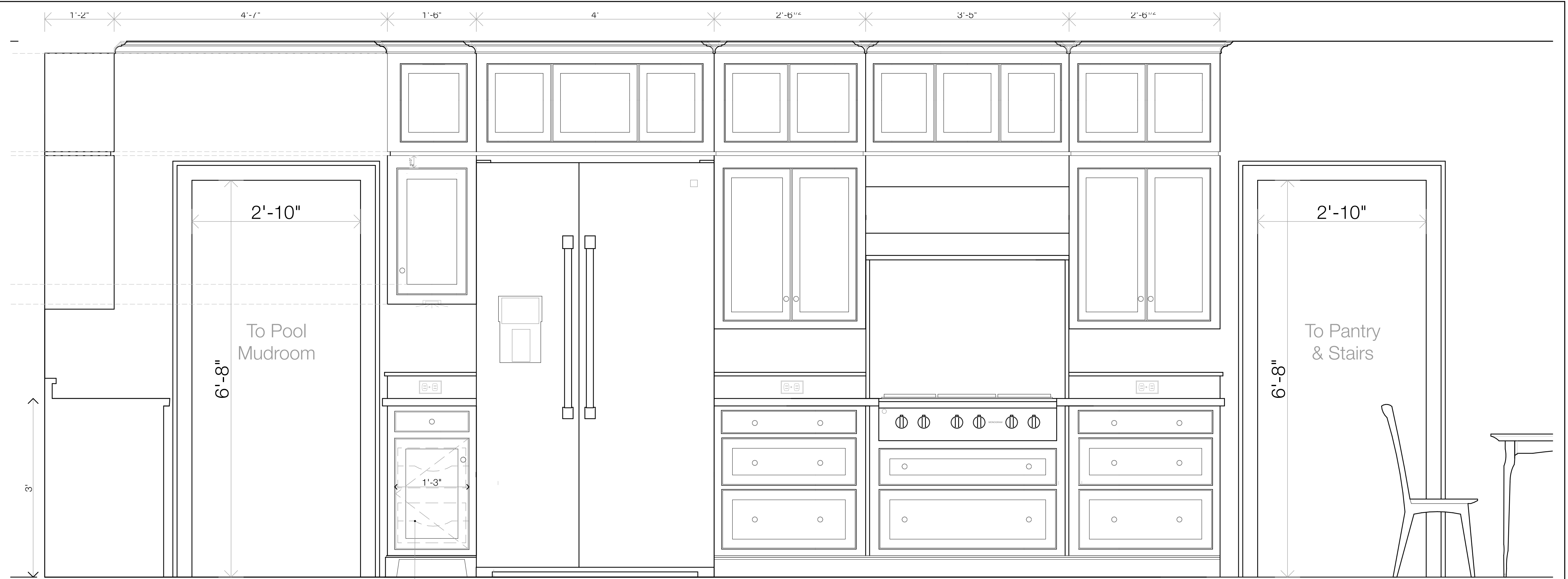
Joseph Matto Architect AIA

Samantha and Bryan Dorf

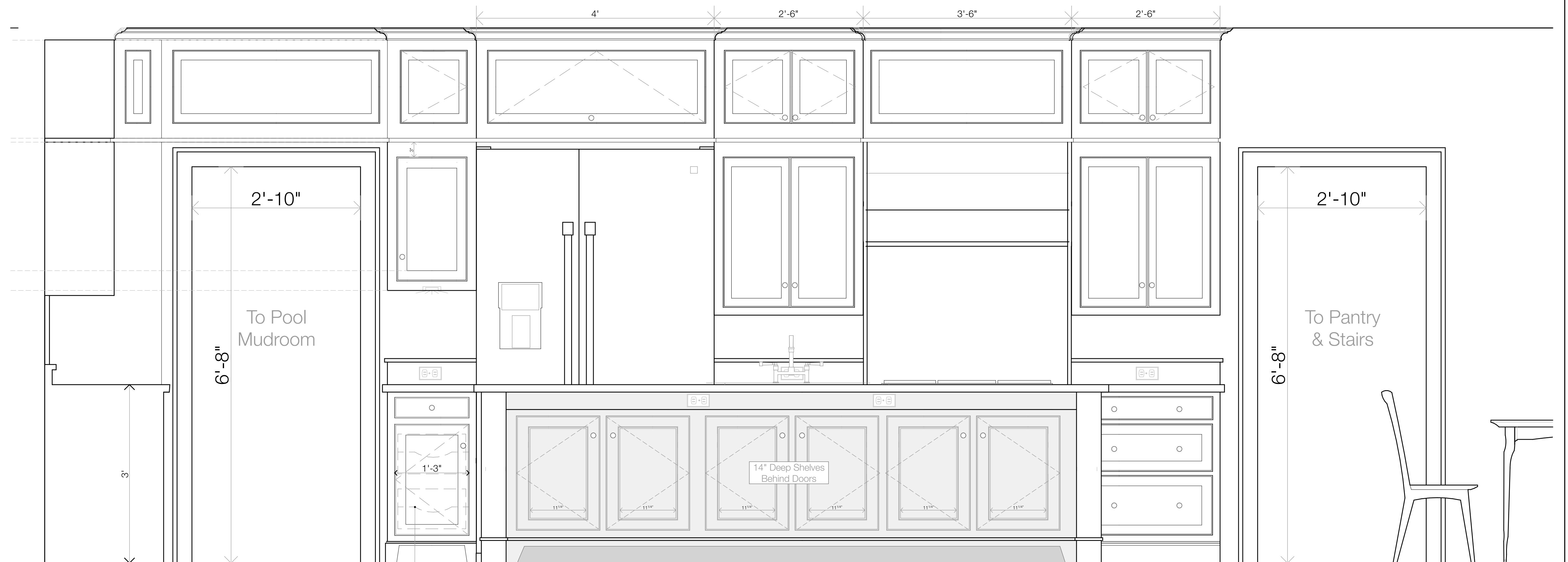
Page

CN3

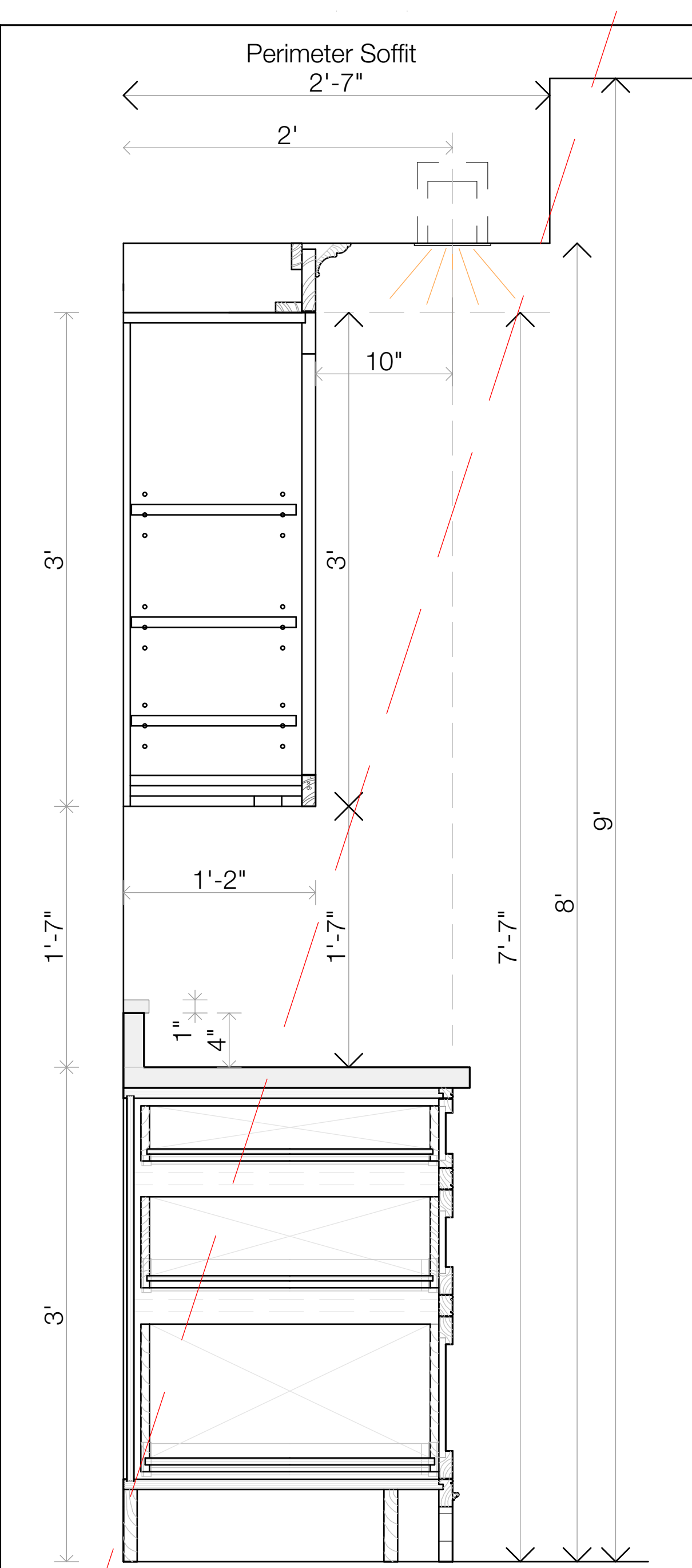




Option A - Fridge & Stove Wall - West Side



Great Room Side



Section Thru Left/Right Flanking Cabinets



Cross Section - DR thru Pantry Mudroom and Stairs

SCALE: 1" = 1'-0"

Issue Date

6/10/23

Revisions

Kitchen Cabinets Fridge & Stove Wall

Scale (s)

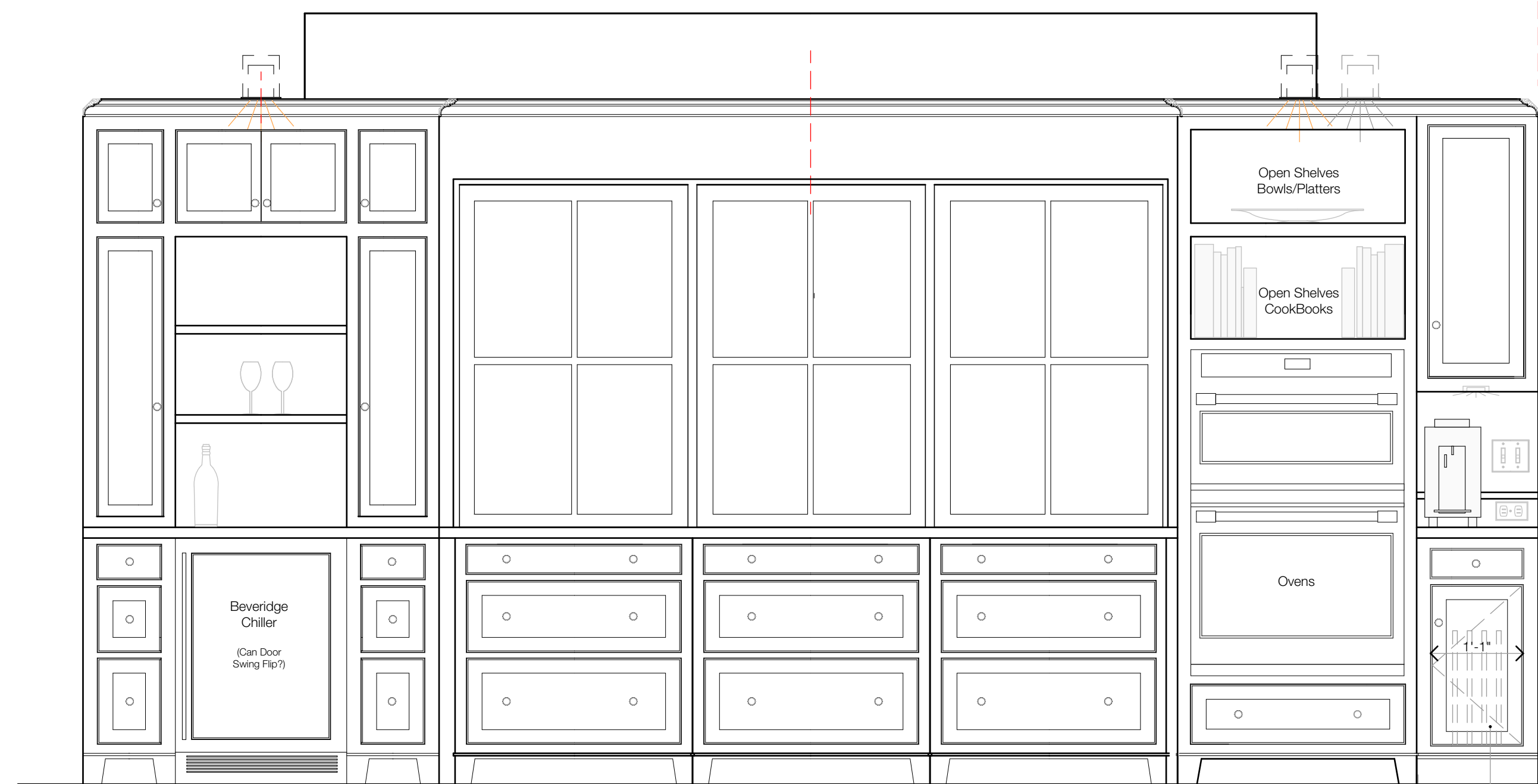
72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

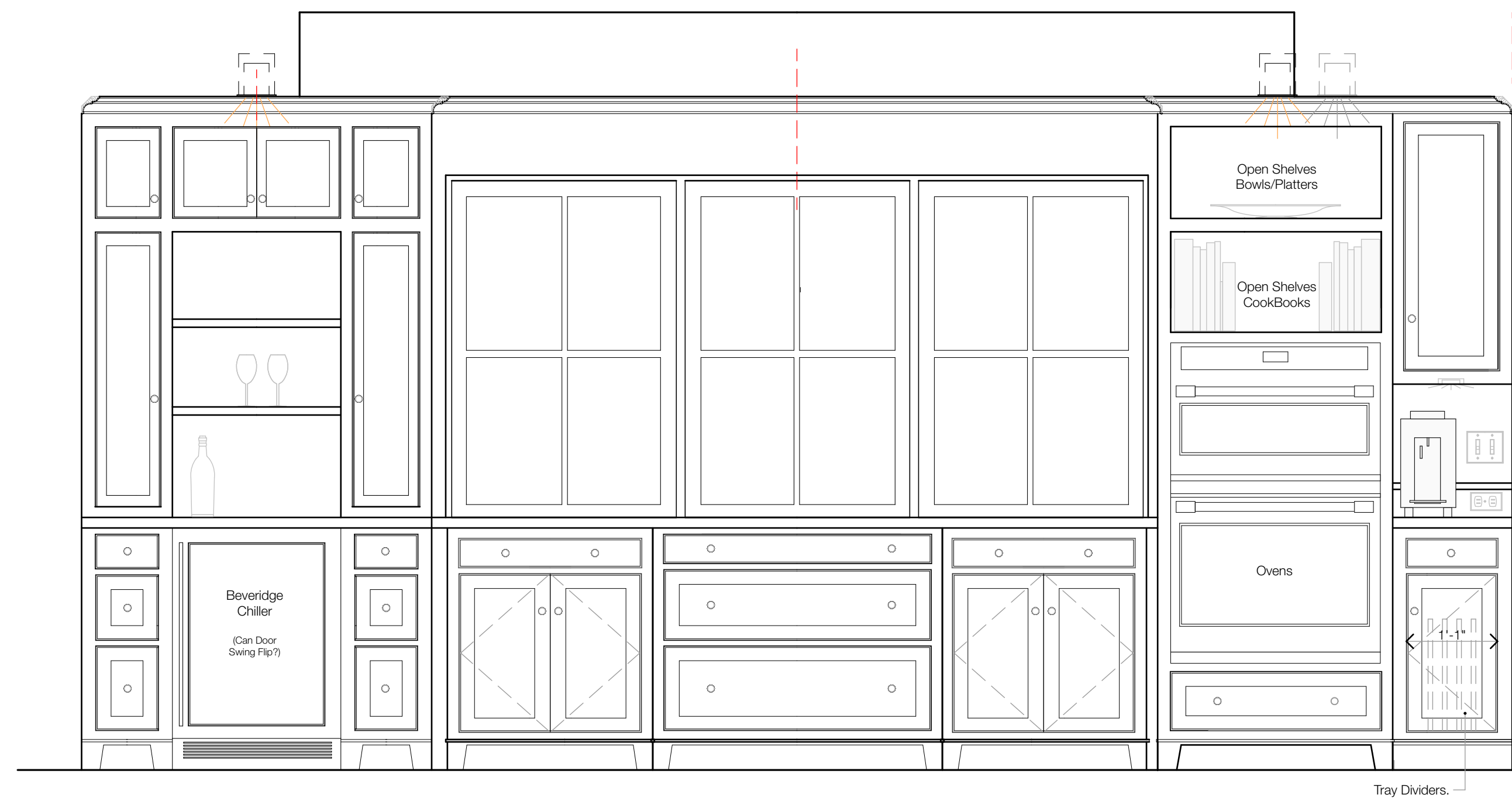
Joseph Matto Architect AIA  
Samantha and Bryan Dorf

Page

ID1

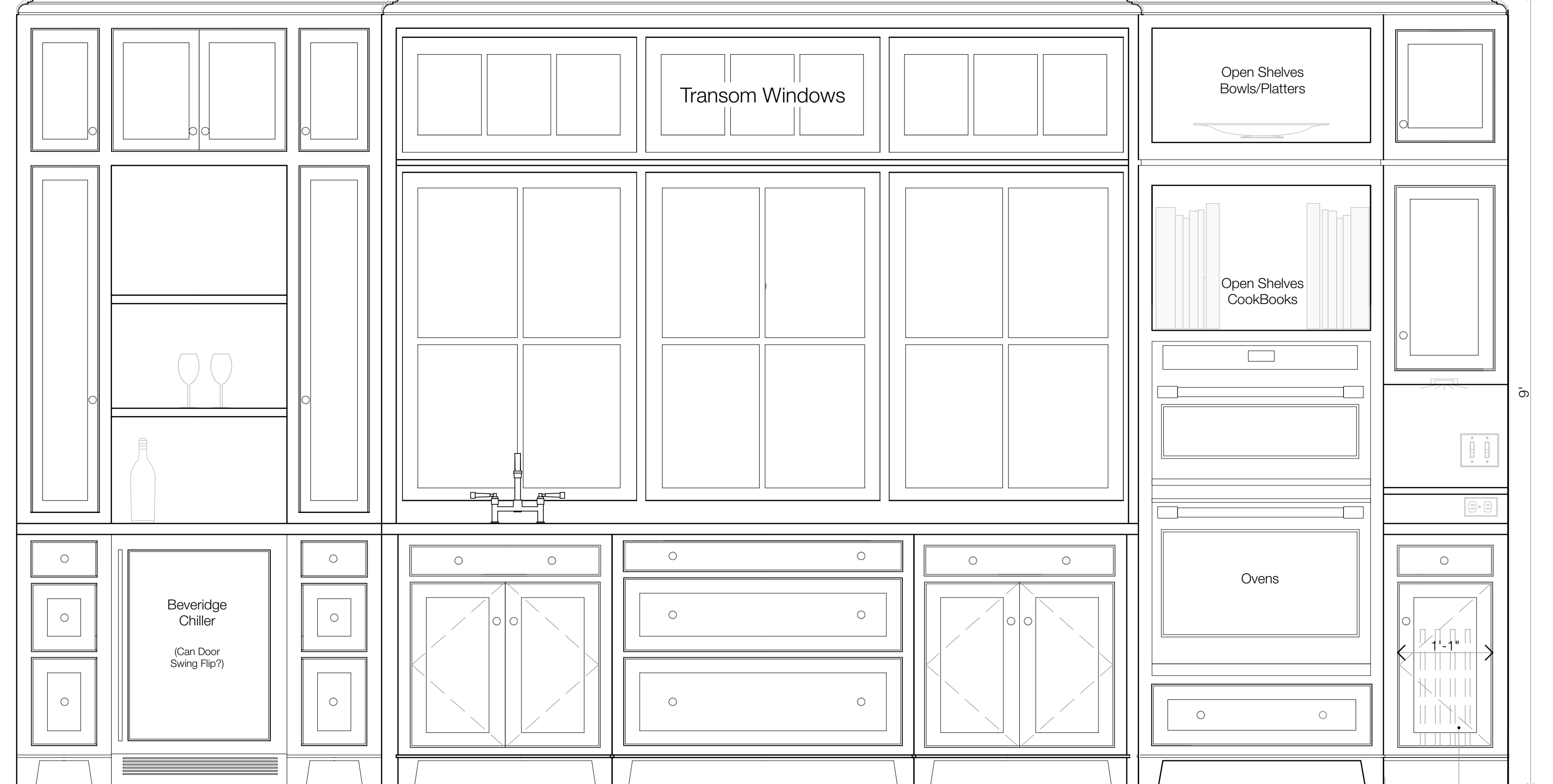


South Wall - Option 1

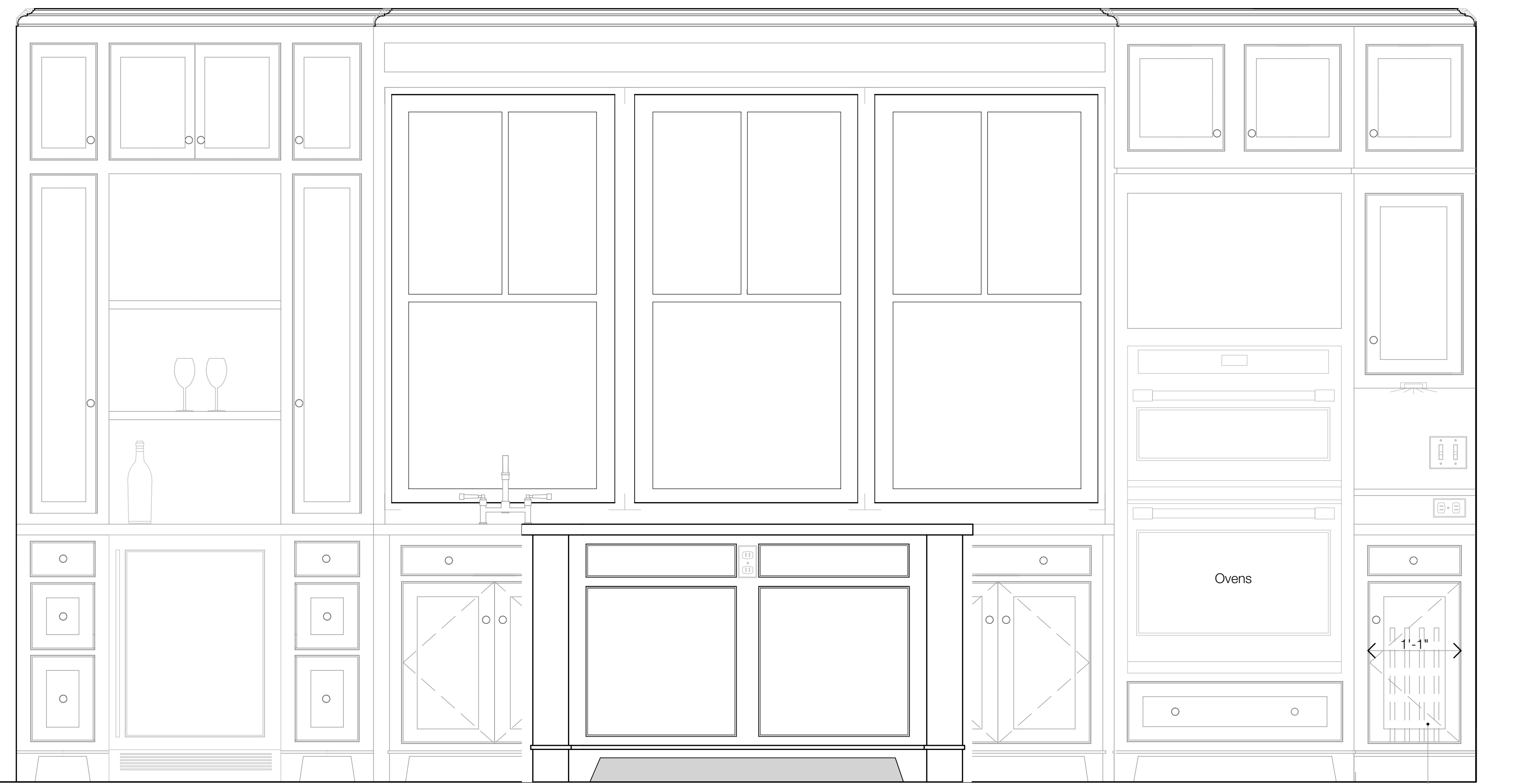


South Wall - Option 2

Previous Elevations



Window Wall - with Transom Windows to align with Transom Cabinets

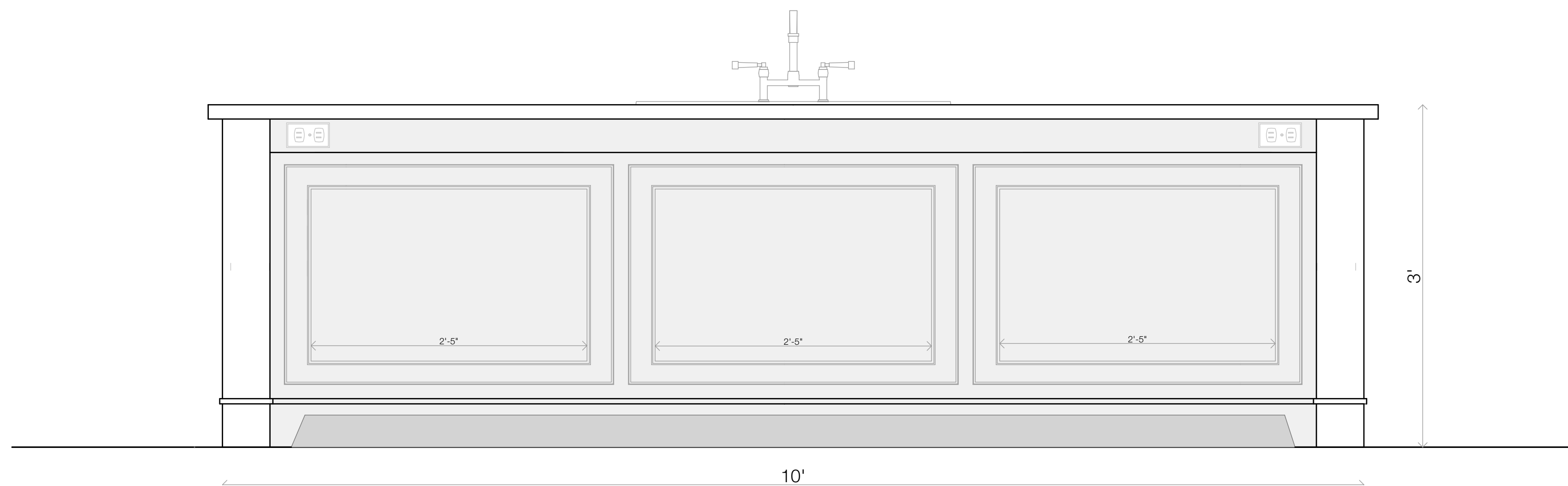
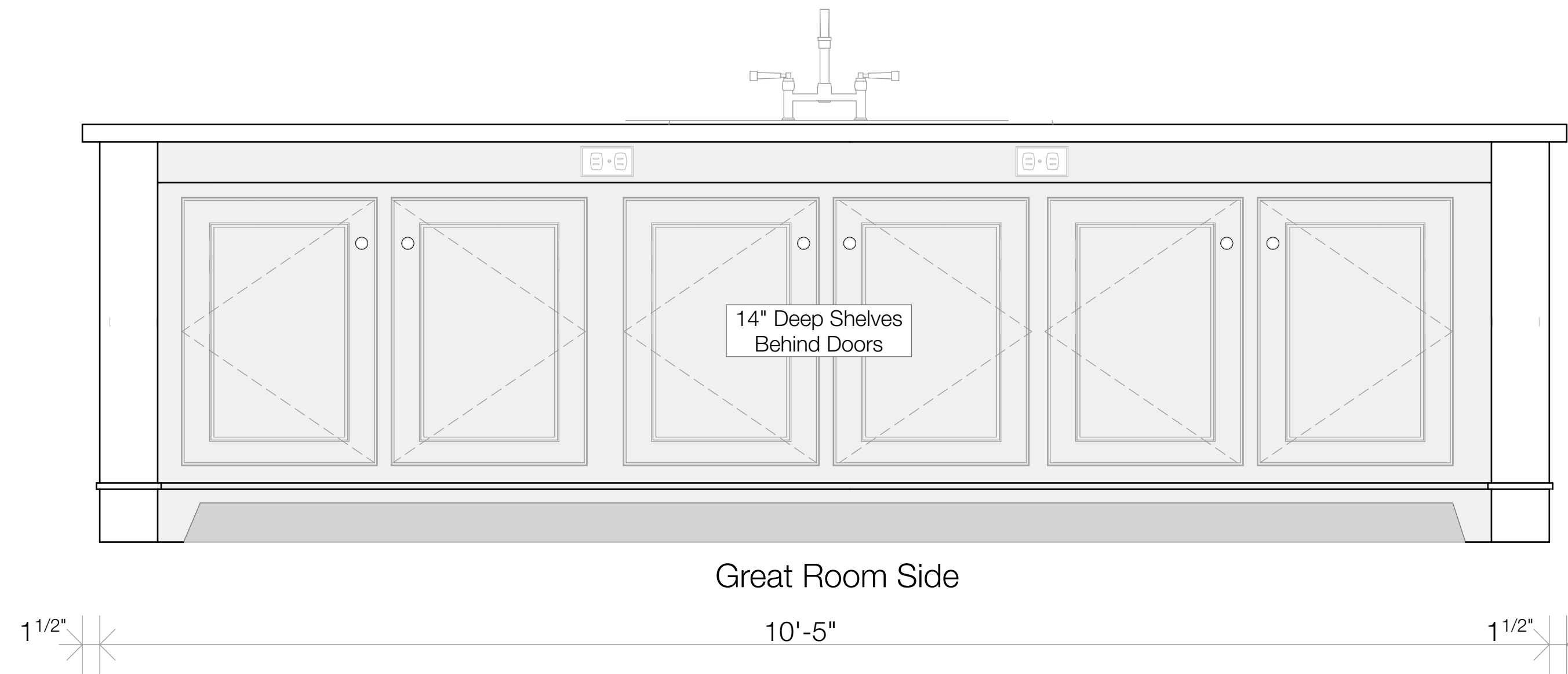
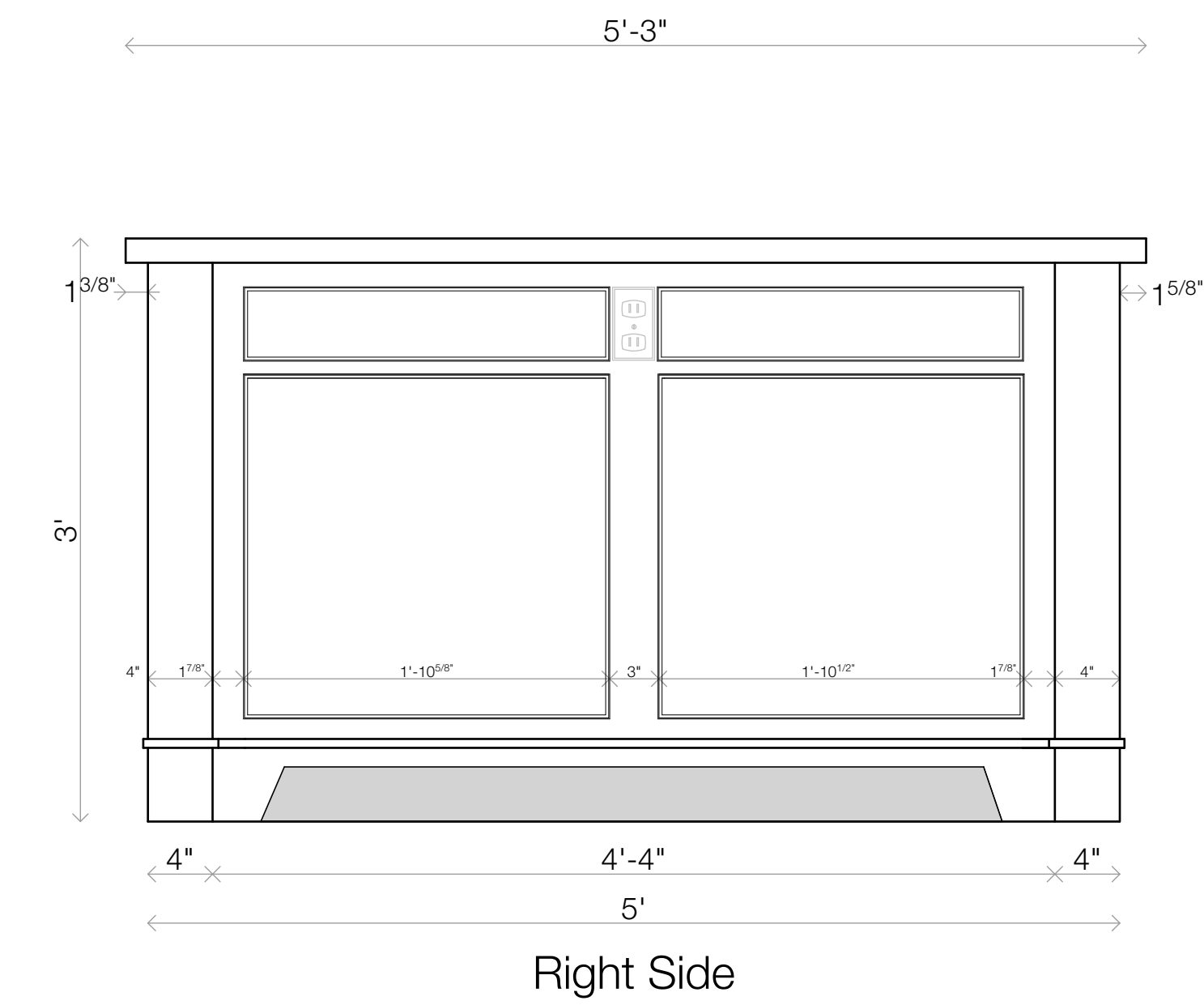
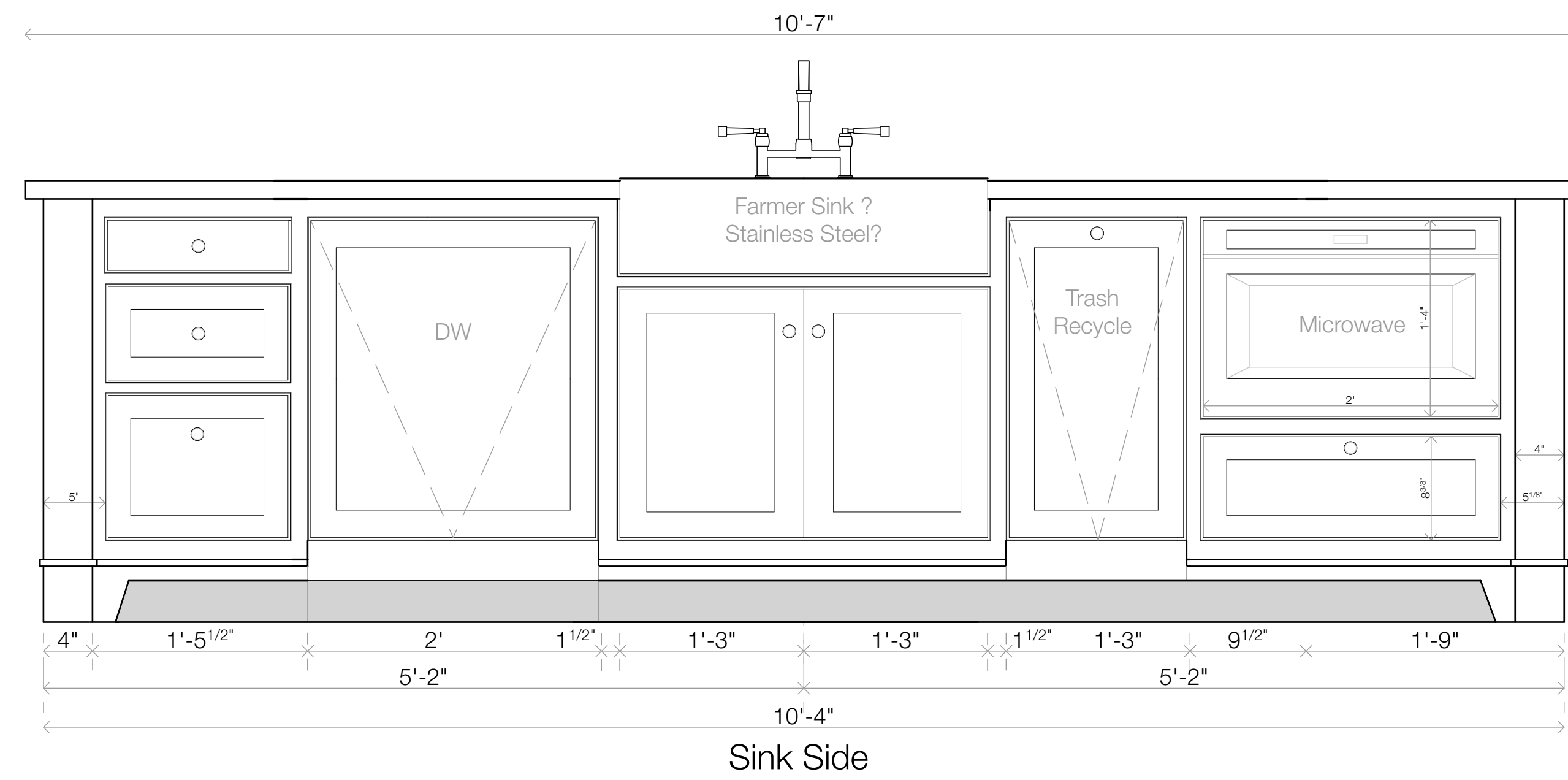
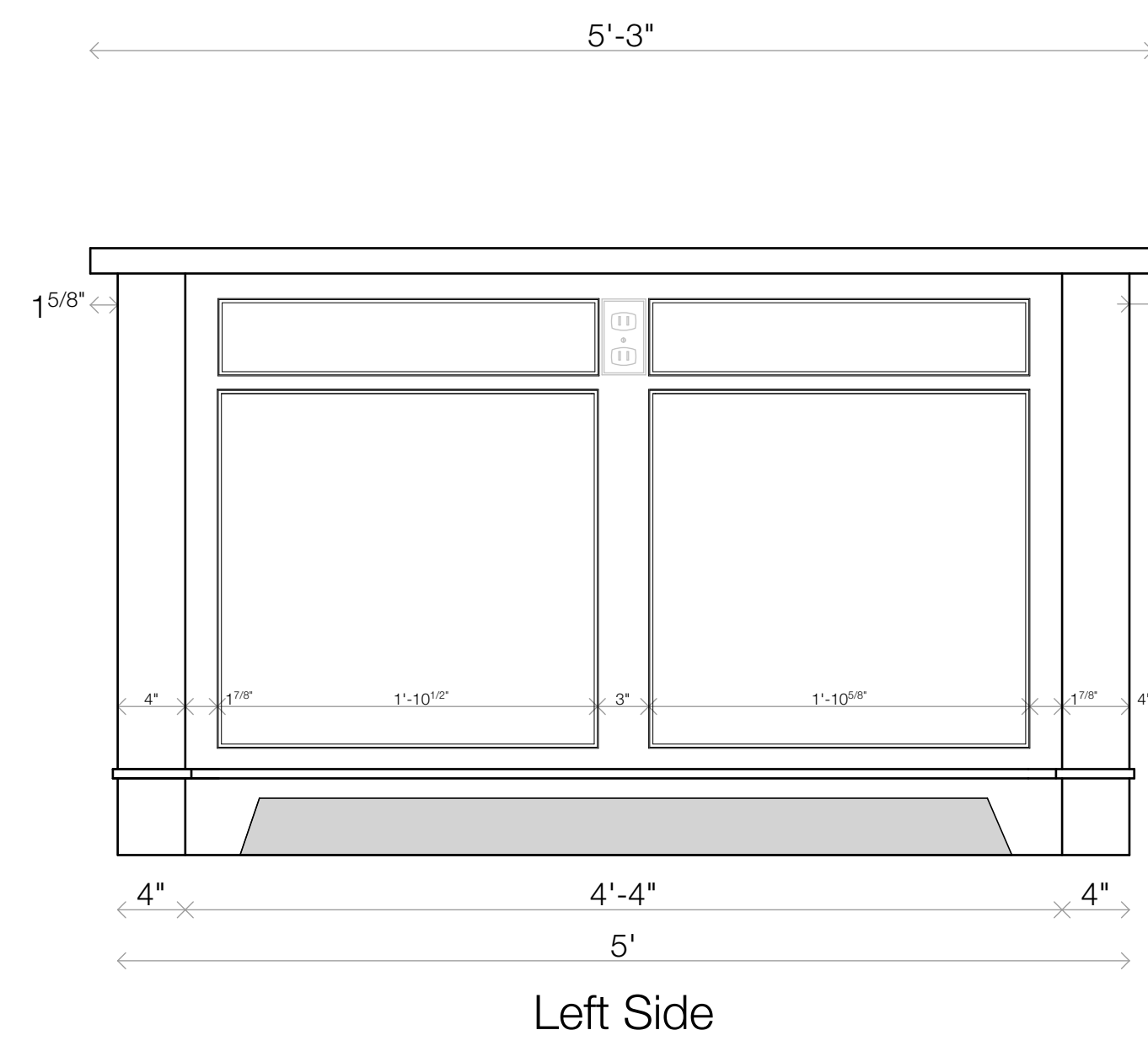


5'

Cross Section - DR thru Pantry Mudroom and Stairs

SCALE: 1" = 1'-0"





Issue Date  
6/10/23

Revisions

Kitchen Cabinets - Island

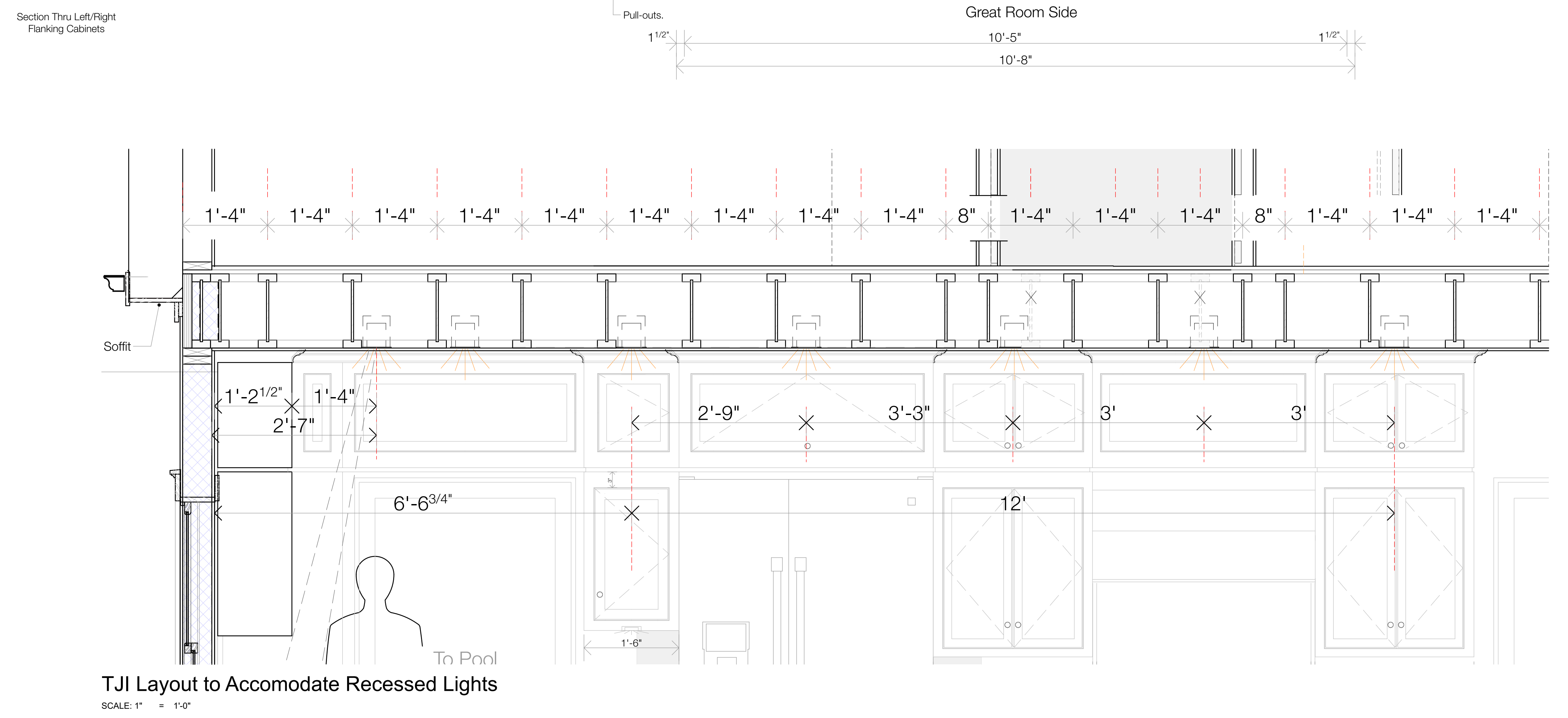
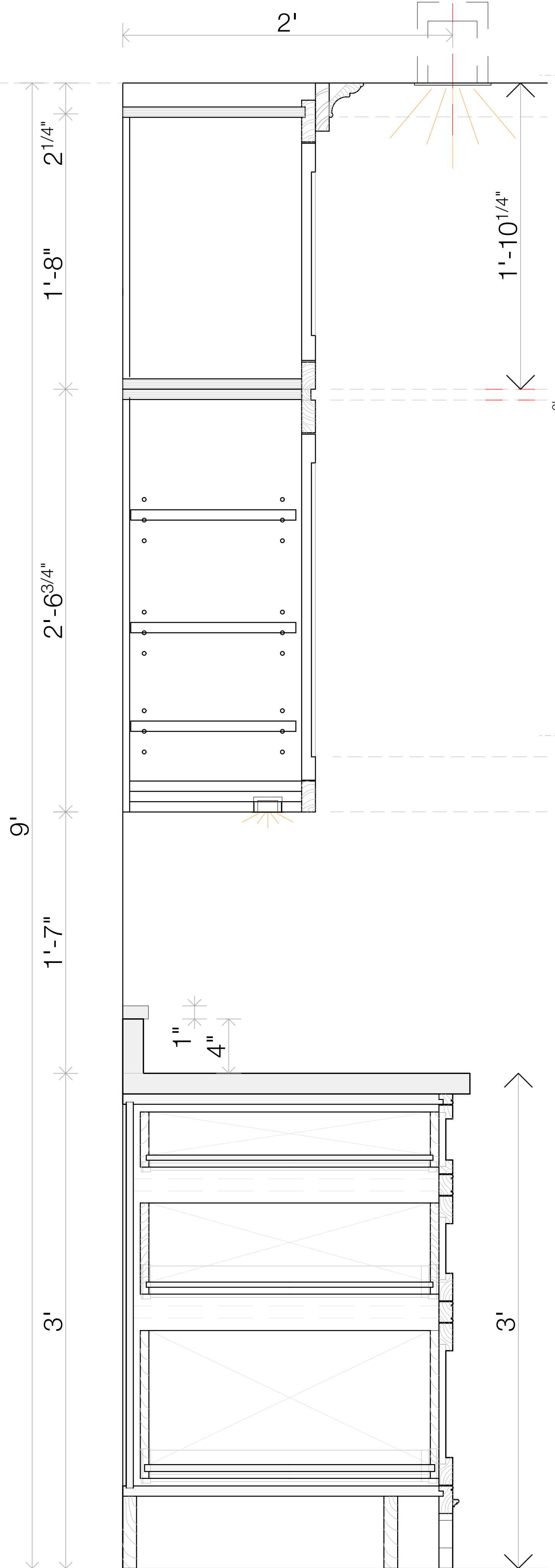
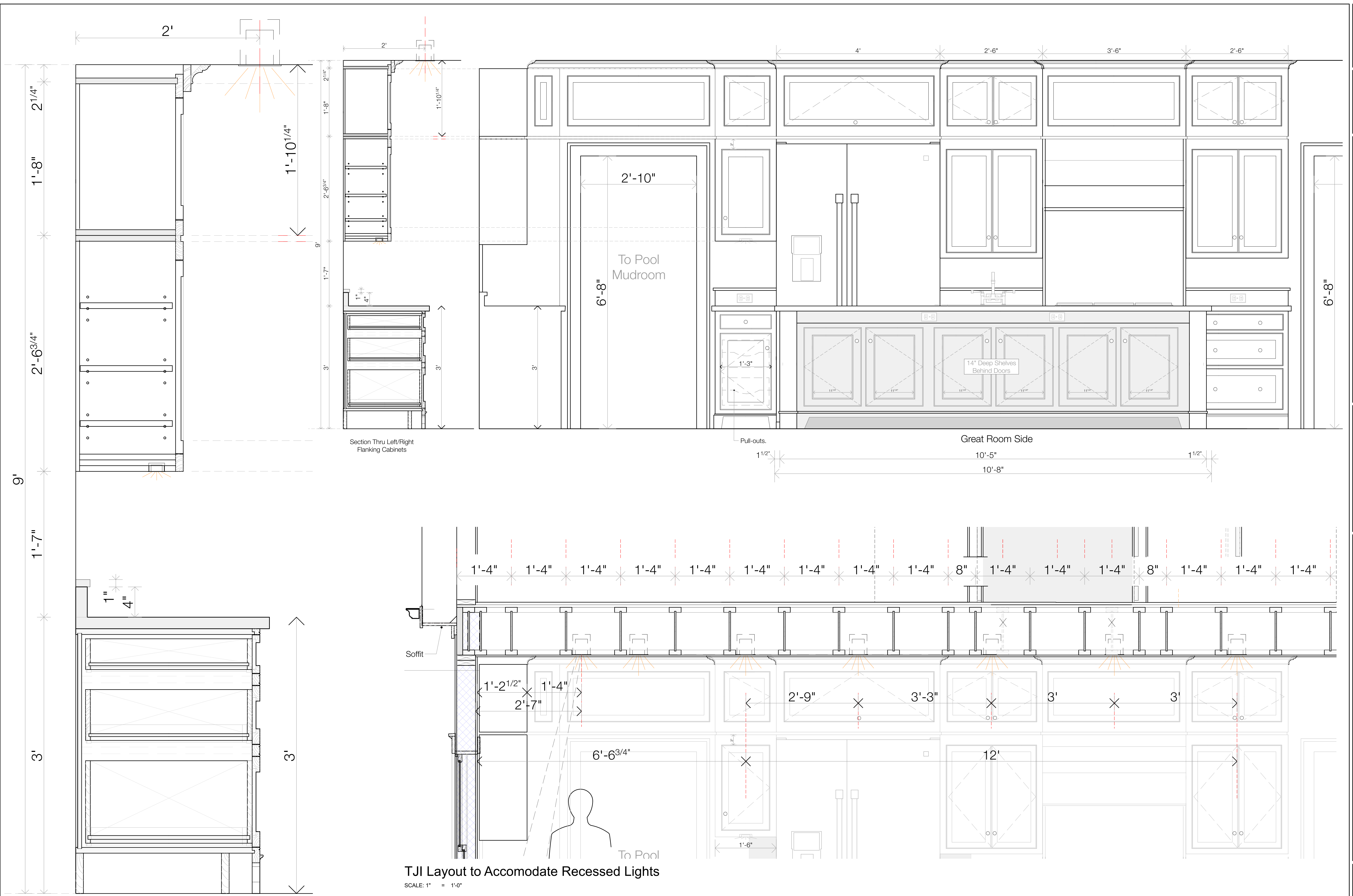
Scale (s)

72 Bridge Street  
Shelton, Ct.  
06484

Chestnut Hill  
Stamford, Ct.

Joseph Matto Architect AIA

Samantha and Bryan Dorf



Issue Date		6/10/23
Revisions		
Kitchen Cabinets - Cross Sections, Door/Drawer Fronts & Details		
Scale (s)		
72 Bridge Street Shelton, Ct. 06484		Chestnut Hill Stamford, Ct.
Joseph Matto Architect AIA		Samantha and Bryan Dorf
Page		ID4

Issue Date

6/10/23

Revisions

Master Bathroom Cabinets

Scale (s)

PLACE - HOLDER SHEET

72 Bridge Street  
Stamford, Ct.  
06404

Joseph Matto Architect AIA

Chestnut Hill  
Stamford, Ct.

Samantha and Bryan Dorf

Page

ID5

--

Issue Date
6/10/23

Standing & Running Trim	Revisions

Scale (s)
-----------

--

<p>72 Bridge Street Shelton, Ct. 06484</p>	<p>Chestnut Hill Stamford, Ct.</p>
<p><b>Joseph Matto Architect AIA</b></p>	<p>Samantha and Bryan Dorf</p>

Page
ID6

PLACE-HOLDER SHEET



PLACE-HOLDER SHEET

Issue Date  
6/10/23

Custom Cabinetry	Revisions

Scale (s)

72 Bridge Street Shelton, Ct. 06484	Chestnut Hill Stamford, Ct.
<b>Joseph Matto Architect AIA</b>	Samantha and Bryan Dorf

Page  
ID8

**Light Fixture Schedule**

MARK/ID	Qty	Floor (Story)	Location	TYPE	Aperture Opening	Element Cl...	Manufacturer	Model #	Housing#	Trim Color	Baffle Type	Reflector Type	Lamp (Bulb)	Notes:
---------	-----	---------------	----------	------	------------------	---------------	--------------	---------	----------	------------	-------------	----------------	-------------	--------

Issue Date  
6/10/23

Lighting Fixtures & Wall/Floor Finishes Schedule	Revisions

Scale (s)

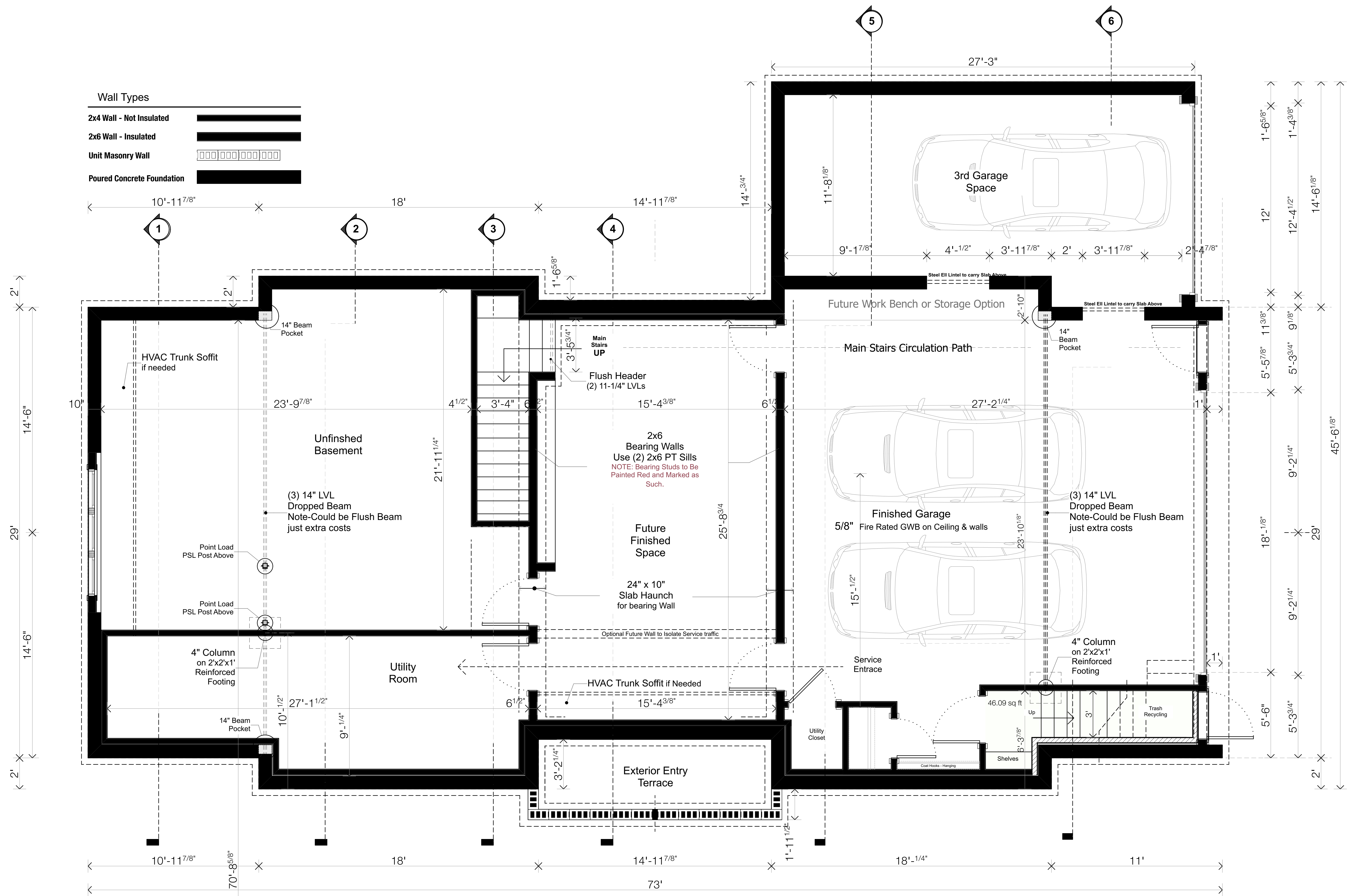
72 Bridge Street  
Stamford, Ct.  
06424

**Joseph Matto Architect AIA**

Samantha and Bryan Dorf

Chestnut Hill  
Stamford, Ct.

Wall Types	
2x4 Wall - Not Insulated	
2x6 Wall - Insulated	
Unit Masonry Wall	
Poured Concrete Foundation	

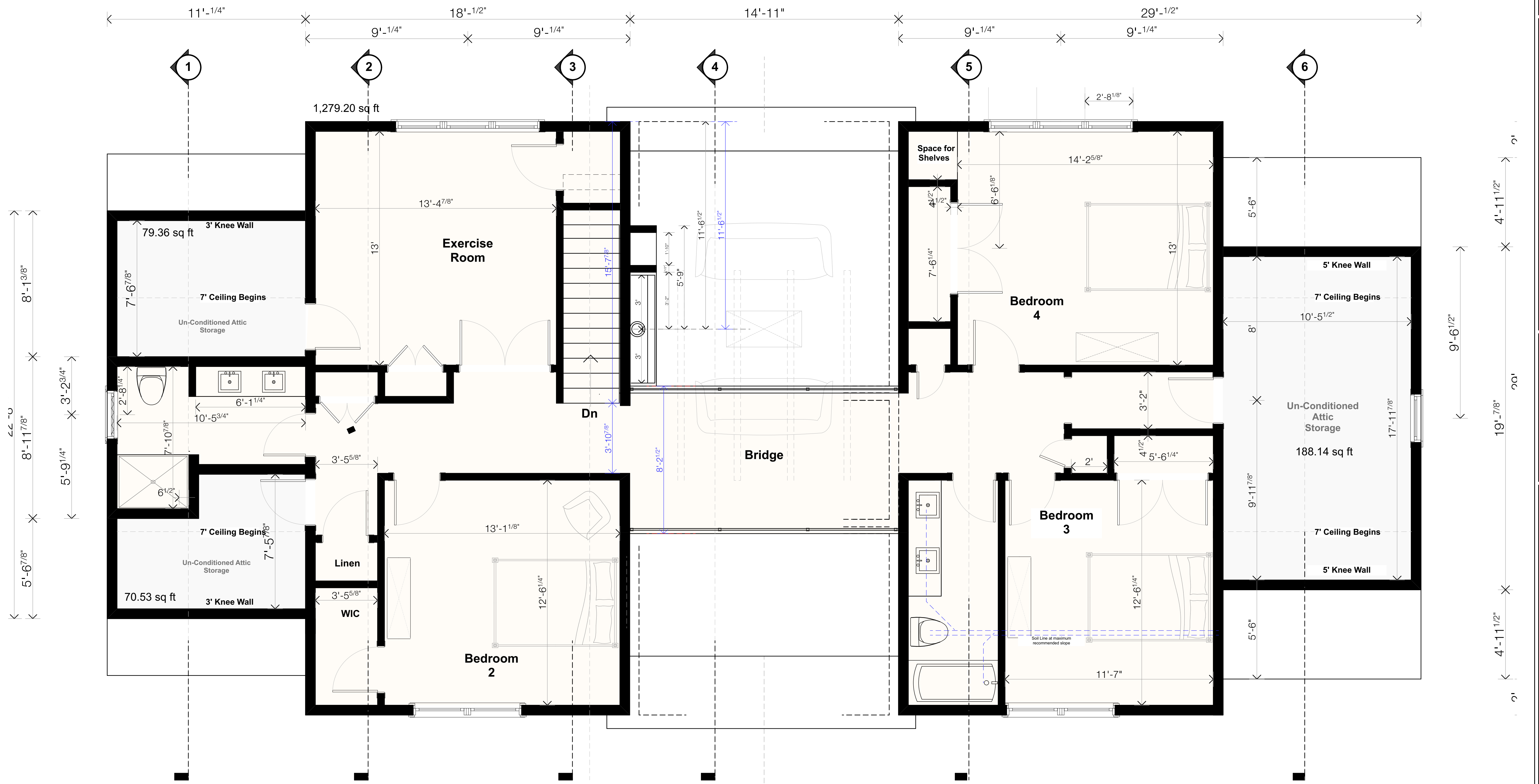


Basement - Revised 2/25/21

SCALE: 3/8" = 1'-0"







2nd Floor\_ Revised 2/25/21  
SCALE: 3/8" = 1'-0"

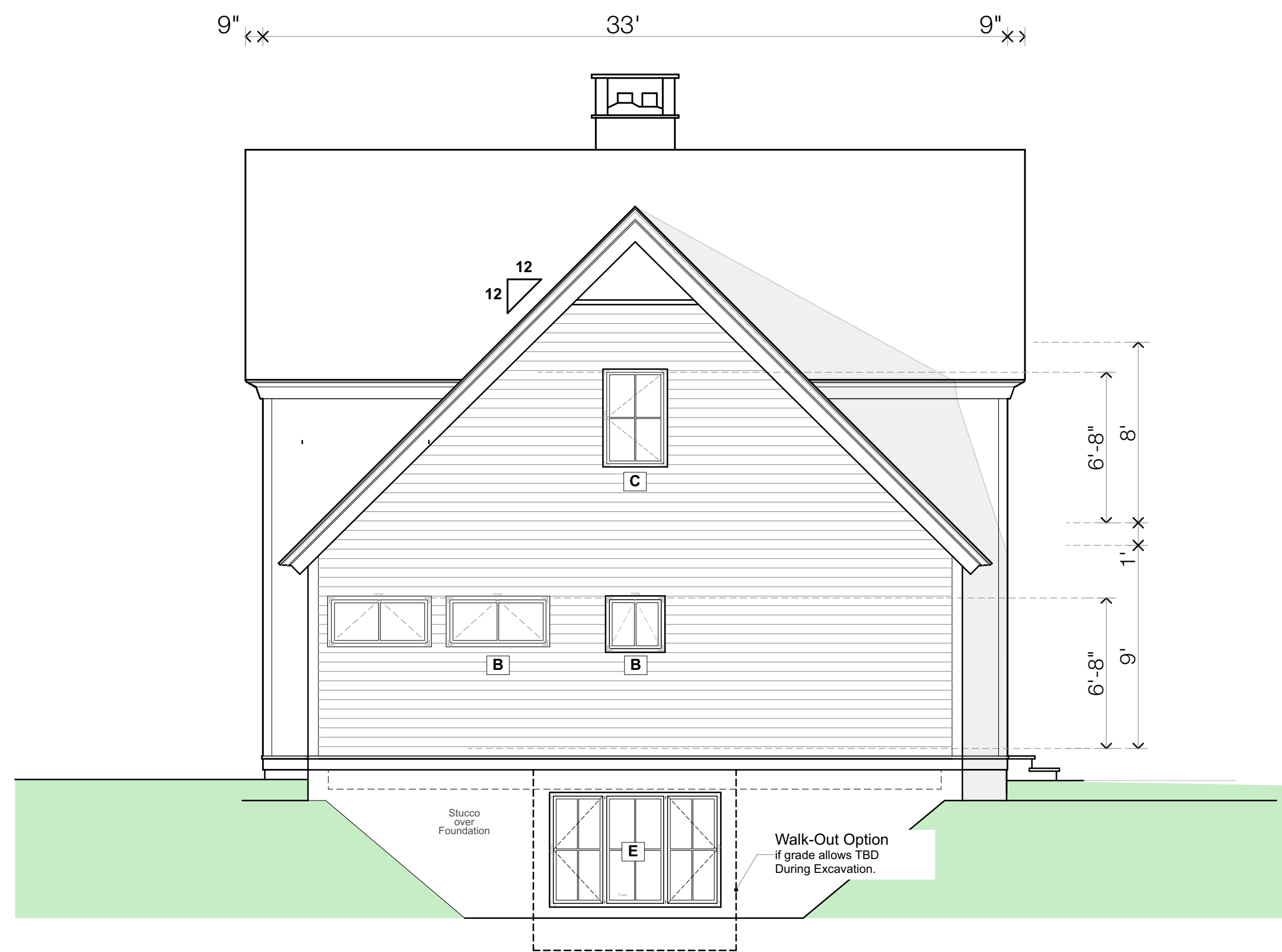
Issue Date	
6/10/23	

Revisions	

Scale (s)
-----------

72 Bridge Street  
Seymour, Ct.  
06484

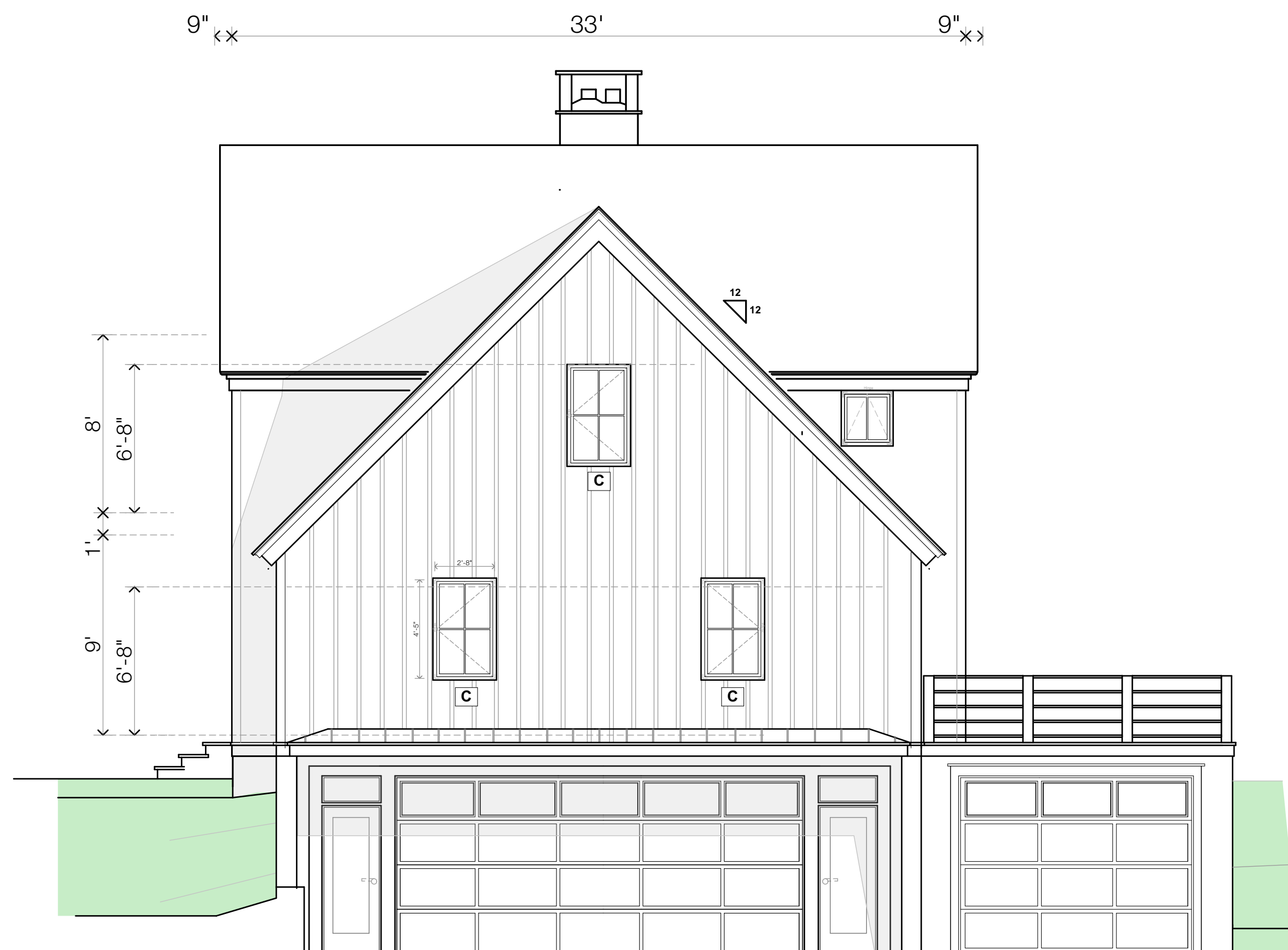
Chestnut Hill  
Stamford, Ct.



Left Side (East)



Front (North)



Note:  
pergola not shown in this  
view for clarity of  
comparing Siding

Issue Date 6/10/23	
Siding Options Compared & South BR Windows	Revisions
Scale (s)	
72 Bridge Street Shelton, Ct. 06484	Chestnut Hill Stamford, Ct.
Joseph Matto Architect AIA	Samantha and Bryan Dorf
Page	ID 14