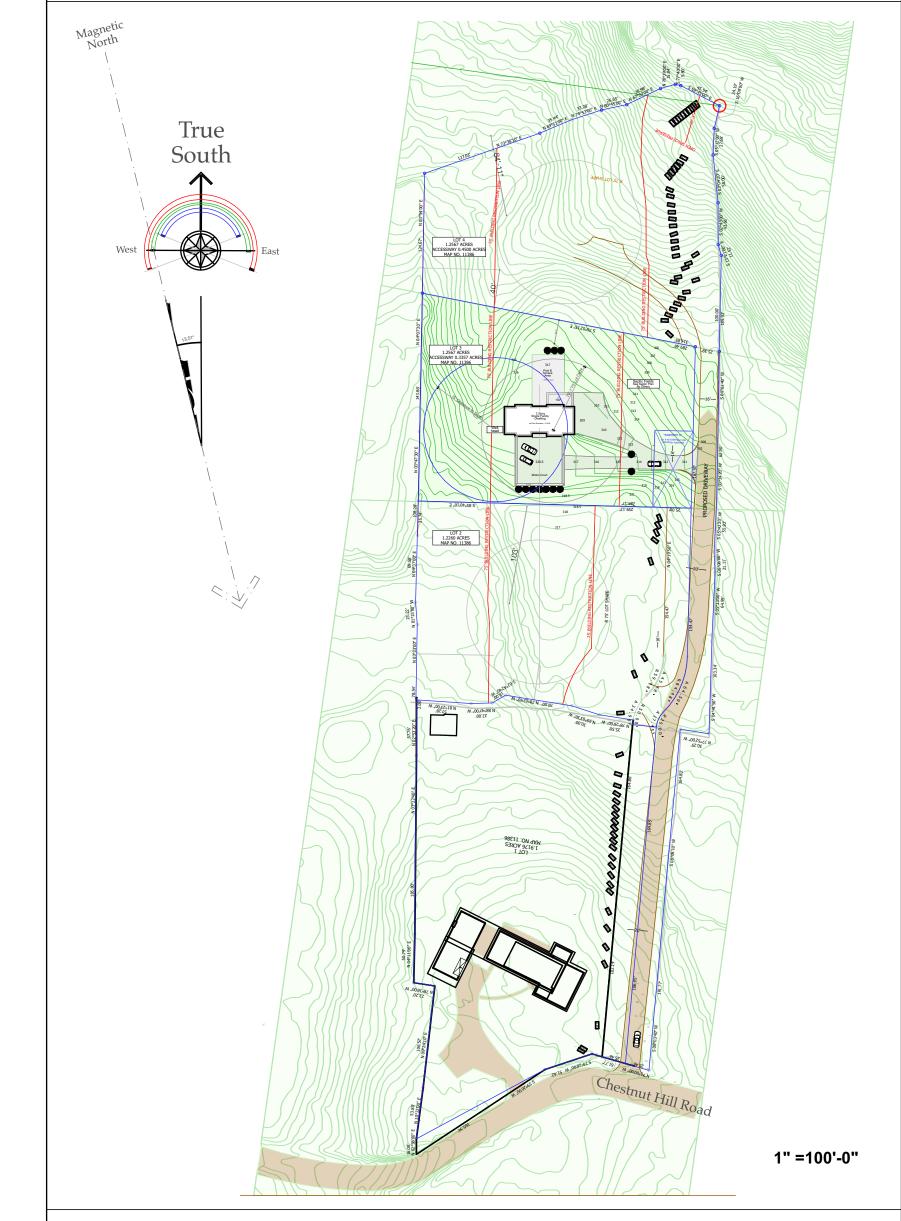


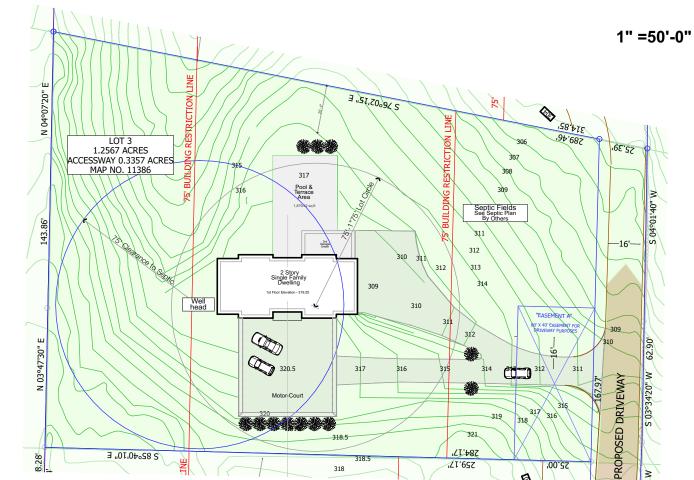
54 Chestnut Hill Road, Stamford Ct. 06903





New Single Family Residence

3,407 Ft2 of Conditioned Areas



Code References

Use Group R-3

Construction Type 5B

Zoning Regulations Current promulgation of the

STAMFORD ZONING REGULATIONS

1st Floor

2,127 Ft2 Conditioned Areas

And specific requirements for approved subdivision at 44 Chestnut Hill Rd.

Current, 2021, promulgation of the CONNECTICUT STATE BUILDING CODE

and all referenced and adopted codes as applicable with current & standing amendments.

General Building Design Criteria

Design Loads: Max Deflection L/360

2nd Floor

1,280 Ft2 Conditioned Area

1st Floor - 45 PSF Live Load, 15 PSF Dead Load 2nd Floor - 35 PSF Live Load, 15 PSF Dead Load 3rd Floor - 35 PSF Live Load, 15 PSF Dead Load Roof - 30 PSF Snow Load, 15 PSF Dead Load

ResCheck - IECC (International Energy Code Compliance) Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

Reminder - Call Before You Dig! 1-800-922-4445

The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

Architectural Plans For:

Dr. & Mrs. Bryan and Samantha Dorf

Drawings Index

0 T			Site Plans
	Cover	ID 14	Siding Options Compared & South BR Windows
A1 E	Title Page		
	Elevations - Front, Rear & Sides		
A2 F	Foundation & Basement Plan		
A3 F	Foundation 3D & Garage Bay 3 Section		
A4 1	st FLOOR PLAN & Window Schedule		Interior Design Drowings
A5 2	2nd FLOOR PLAN & Door Schedule		Interior Design Drawings
A6 R	Roof Surfaces Plan		(Note: Interior Design and Lighting/Electrical Locations Plans
A7 V	Vindow Sections and Trim Details		are NOT Included in Building Permit Submission Plans)
A8 C	Cross Section 1 - Master Bathroom & Closet	E2	Lighting & Devices Locations - 2nd Floor
A9 C	Cross Section 2 - Office & Master Bedroom	ID1	Kitchen Cabinets Fridge & Stove Wall
A10 C	Cross Section 3 - Stairs	ID2	Kitchen Cabinets - South Wall Options
A11 C	Cross Section 4 - Great Room & Bridge - Stairs Beyond	ID3	Kitchen Cabinets - Island
A1 C	Cross Section 4 - Great Room & Bridge - Stairs Beyo	ID4	Kitchen Cabinets - Cross Sections, Door/Drawer Fro
A12 C	Cross Section 5 - Kitchen & Dining Room	ID5	Master Bathroom Cabinets
A13 C	Cross Section 6 - West Wing	ID6	Standing & Running Trim
A14 L	Long Section 1 - MBR Closet, Office, Entry, Dining Rm	ID7	Bridge Section & Railing Details
A15 L	Long Section 2 - Master Closet, Office, Garage	ID8	Custom Cabinetry
A16 1	st Floor Framing Plan	ID9	Lighting Fixtures & Wall/Floor Finishes Schedule
A17 2	2nd Floor Framing Plan	.53	grang r manes a viam riser r mishes seriodals
A18 R	Roof Framing Plan		
A19 T	ypical Insulation Details -Typical Wall Conditions	CN4	Construction Notes - Sheet 4
A20 L	Lateral Wind Load Bracing Analysis	E1	Lighting & Devices Locations - 1st Floor

NOTE: Only Drawings that are Signed & Sealed by the Architect my be used for obtaining Building Permits, Approvals & for Constructing the Project. Be careful not to use Progress Drawings or Bid Documents that are not the most recently revised or updated architectural plans.

These Drawings are "Instruments of Service" provided to The Client only, for several purposes. They are used for documenting the "Design Process" between the Client and the Architect, Defining the Scope of Work to be built, procuring Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect. These drawings may not be published in commercial media without the architect's permission.

All drawings, data, & electronic media included or referenced in these documents are included as Instruments of Service and as such, are the property of Joseph Matto Architects. These documents are copyright protected and not to be used for any other project, or by any other persons other than those identified and authorized as the Patrons or Clients on this page.

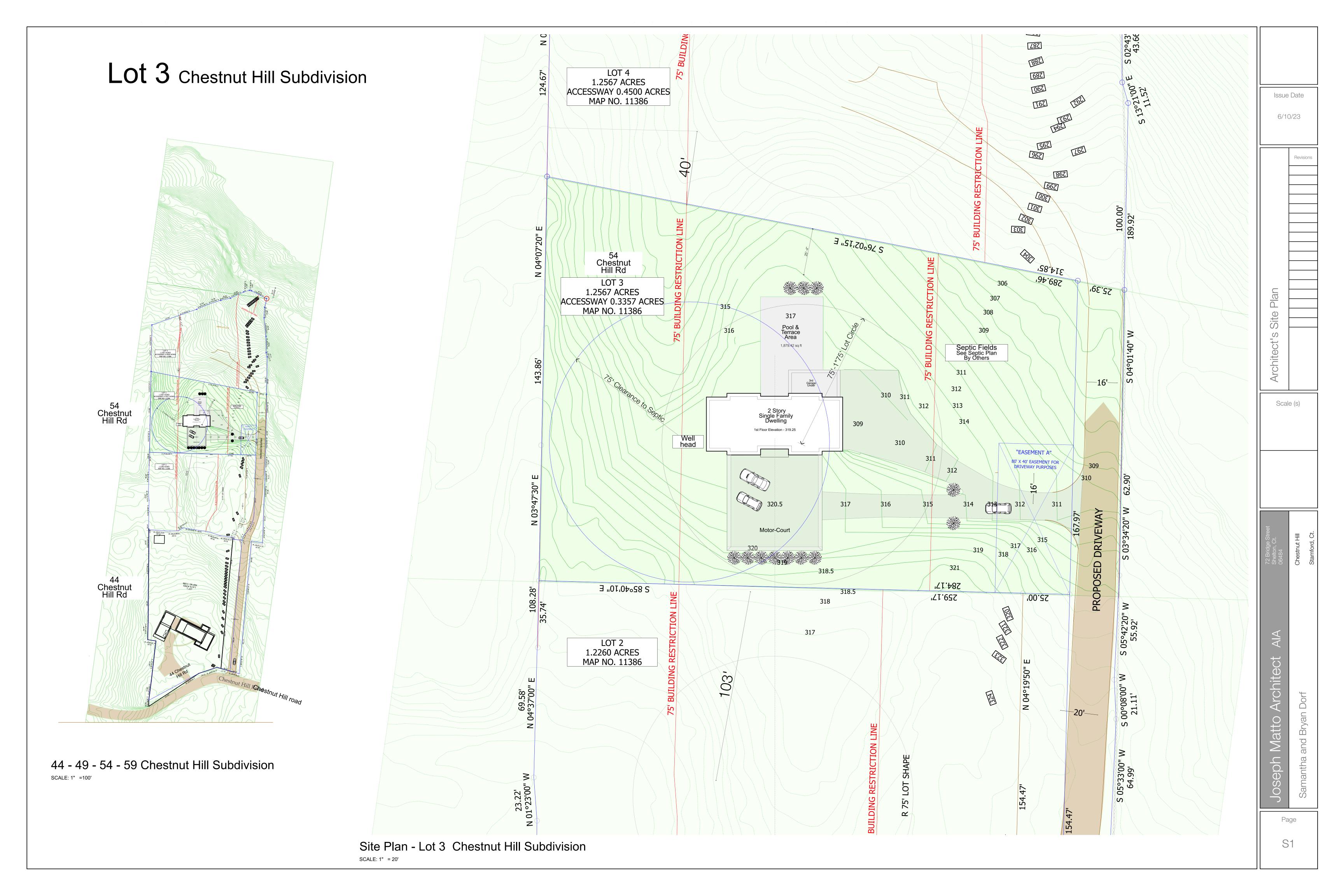
All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible unanticipated design & construction conflicts.

		Copyright © 2021	- Joseph Matto Architect -	AIA	
Builder & Patrick Sweeney - Sweeney Construction Co, LLC 44 Chestnut Hill Road, Stamford, Ct. 06903 General Contractor					
	Surveyor - Civil Enginee	Michael W Finkbeiner, PLS Licensed Land Surveyor Ct#16105	EARTH IMAGE LLC 6 Oak St West - Suite E, Greenwich,	Ct 06	
	Interior Designer	Katie Canfield, Interior Designer 19 Dean St. Stamford, Ct. 06902	Studio KC Interiors		
Professional	Landscape Designer	TBD	TBD		
Consultants					
	Dr & Mrs Bryan &	Samantha Dorf	Project Addres	S	
Patrons	296 Park Street New Canaan, Ct.	Phone: Email:	54 Chestnut Hill R Stamford, Ct. 069		

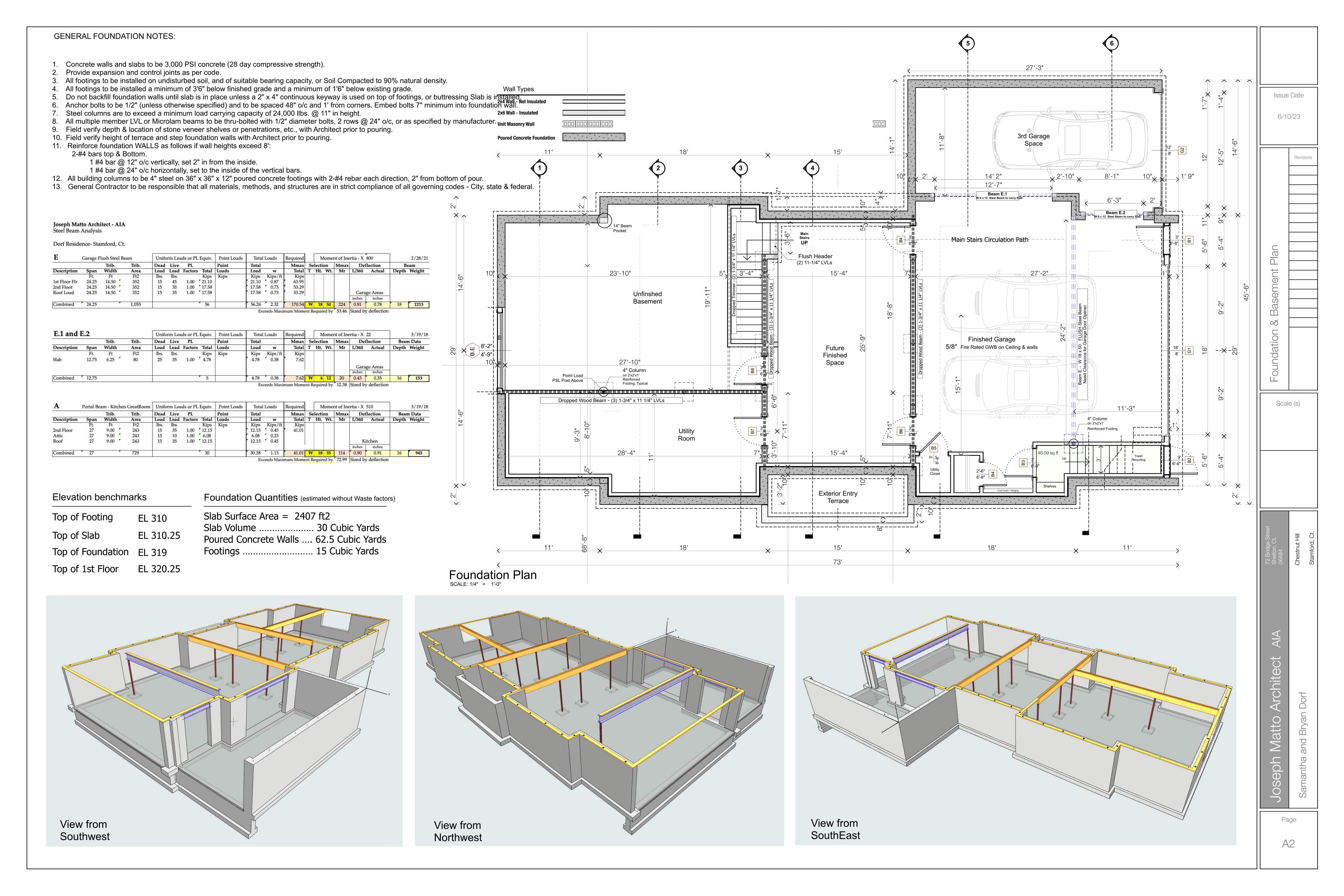


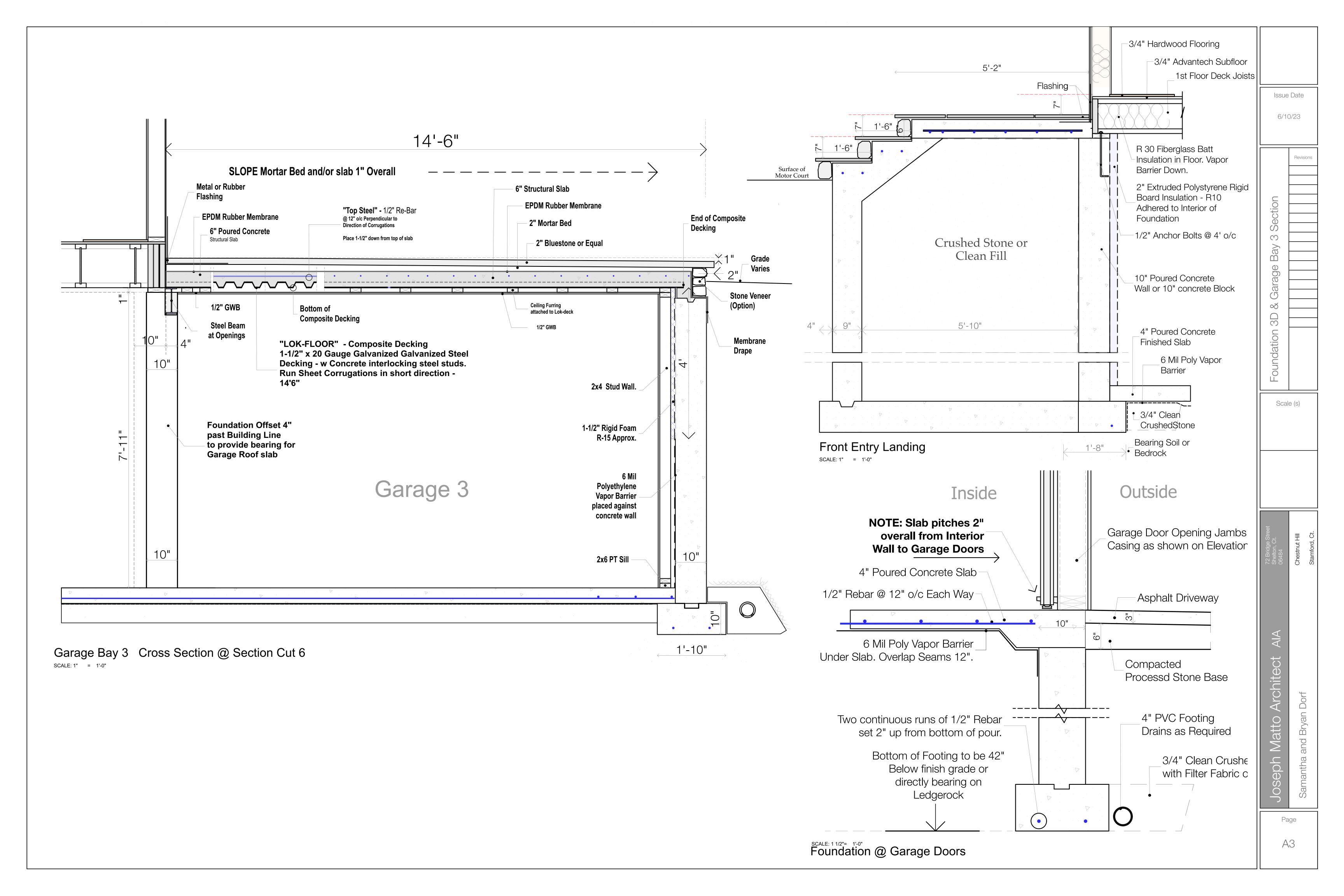
Project Year

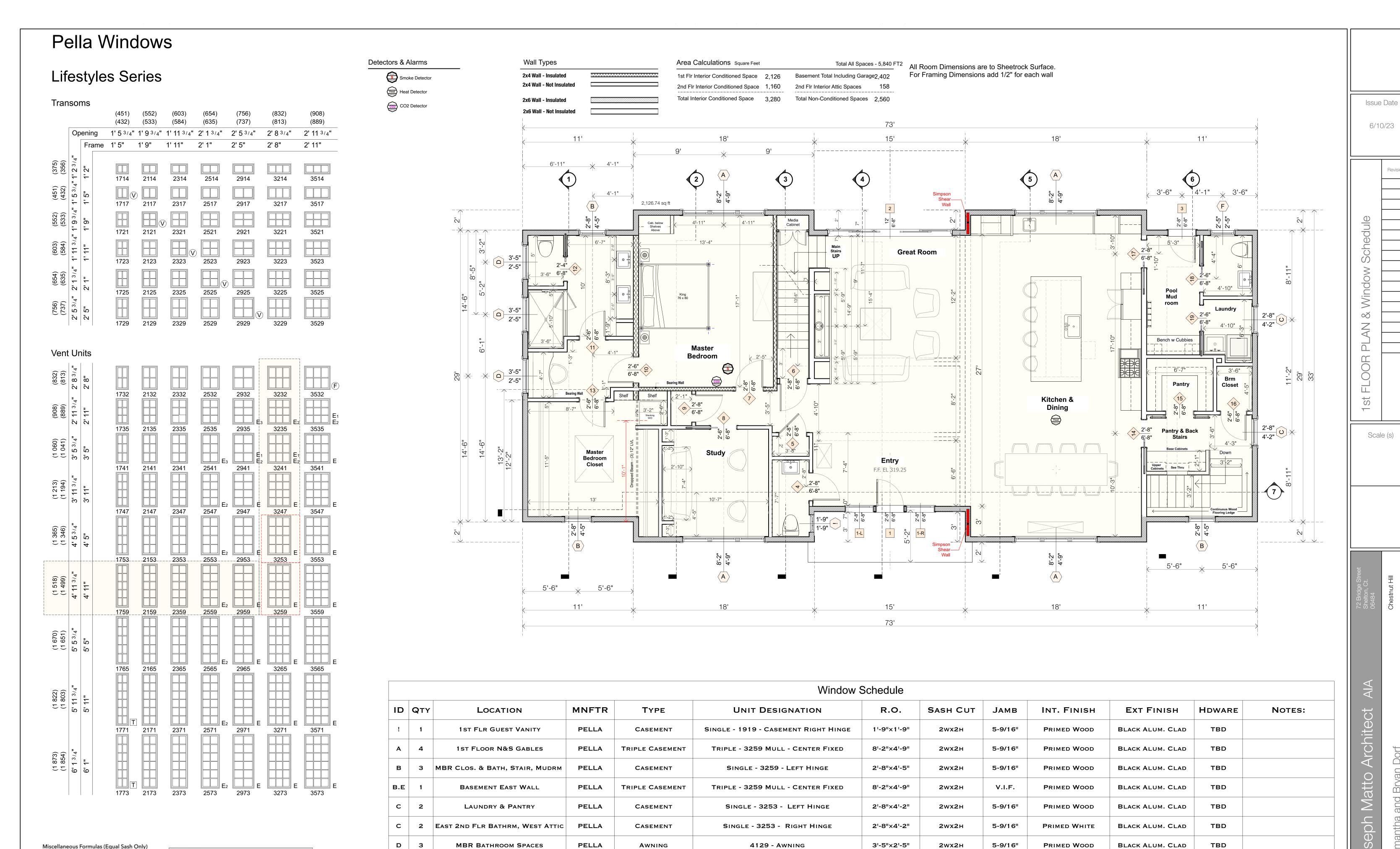
2020 Dorf Residence











SINGLE AWNING - 2929 TOP HINGED

DOUBLE - 3259 MULL

TRIPLE - 3259 MULL - CENTER FIXED

2'-5"×2'-5"

6'×4'-2"

8'×4'-2"

2wx2h

2wx2h

2wx2h

5-9/16"

5-9/16"

5-9/16"

PRIMED WOOD

PRIMED WHITE

PRIMED WHITE

BLACK ALUM. CLAD

BLACK ALUM. CLAD

BLACK ALUM. CLAD

TBD

TBD

TBD

Miscella	iviiscellarieous Formulas (Equal Sasii On		
	Visible Glass	Vent Units	
		Width = Frame - 5" Height ₁ = (Frame - 6.3125") ÷	
Act	ual	Width = Frame - 4"	

Height₁ = (Frame - 4.3125") ÷ 2 Frame Height ÷ 2) - 3.25"

ame Width - 3.1875"

Check all applicable local codes for emergency egress

E = Window meets minimum clear opening of 24* height, 20" width, and 5.7 ft². E1 = Window meets minimum clear opening of 24*

POOL MUDROOM

BEDROOM 2 & 3

2ND FLOOR - EXERCISE RM & BR 4

G 2

21

PELLA

PELLA

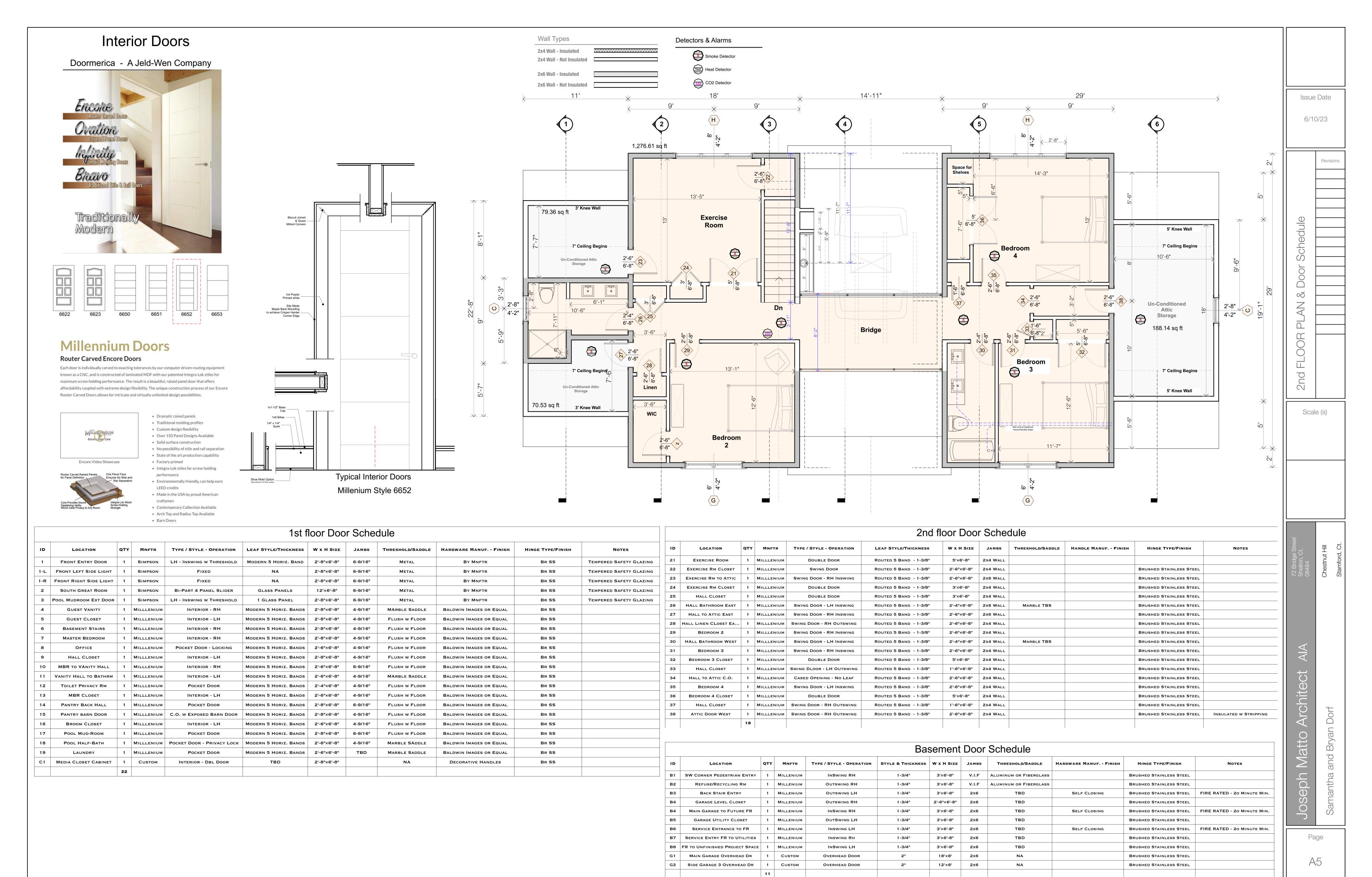
PELLA

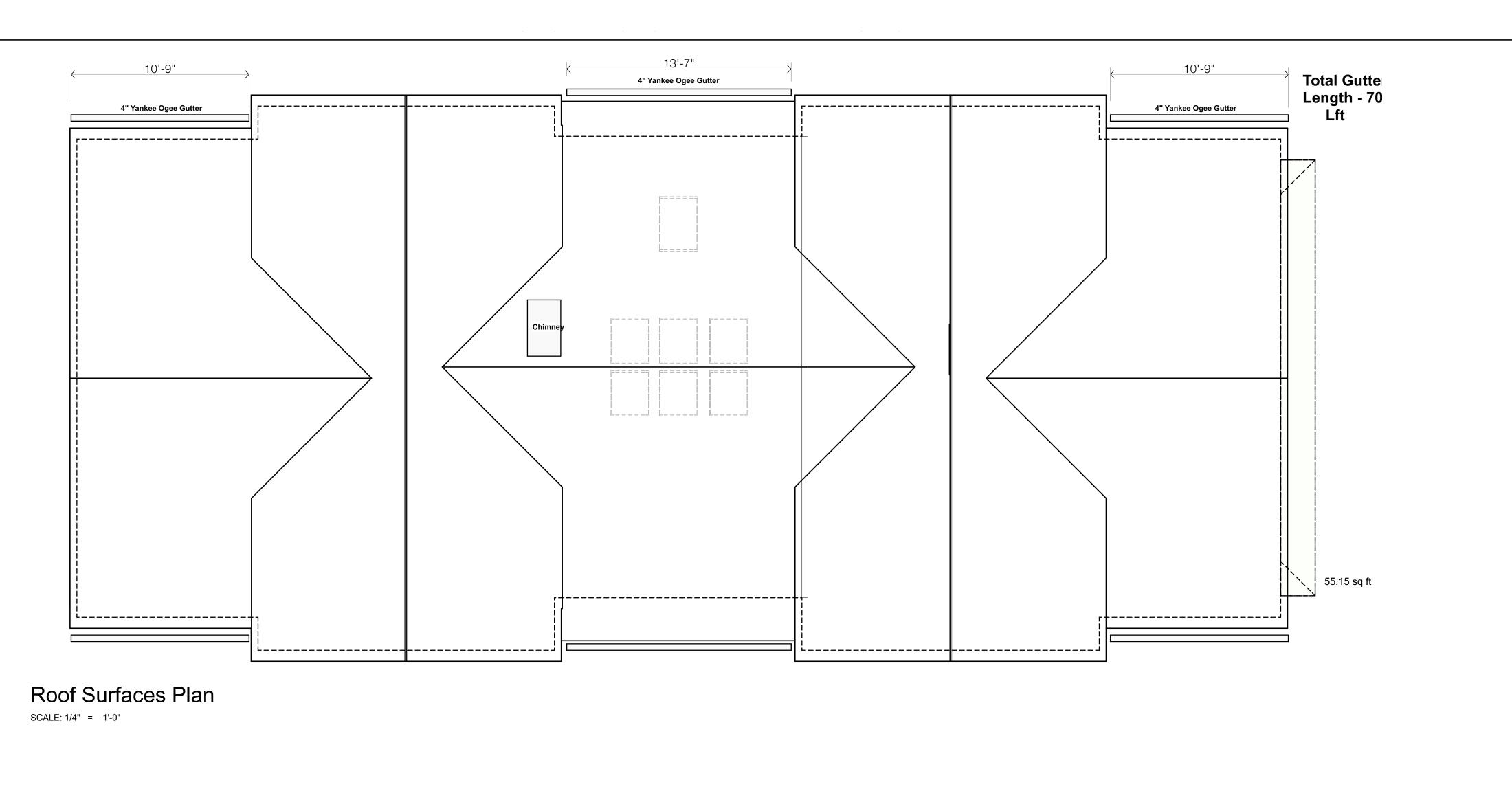
AWNING

DBLE CASEMENT

TRIPLE CASEMENT

height, 20" width, and 5.0 ft². See Design Data pages in this section for clear opening Page

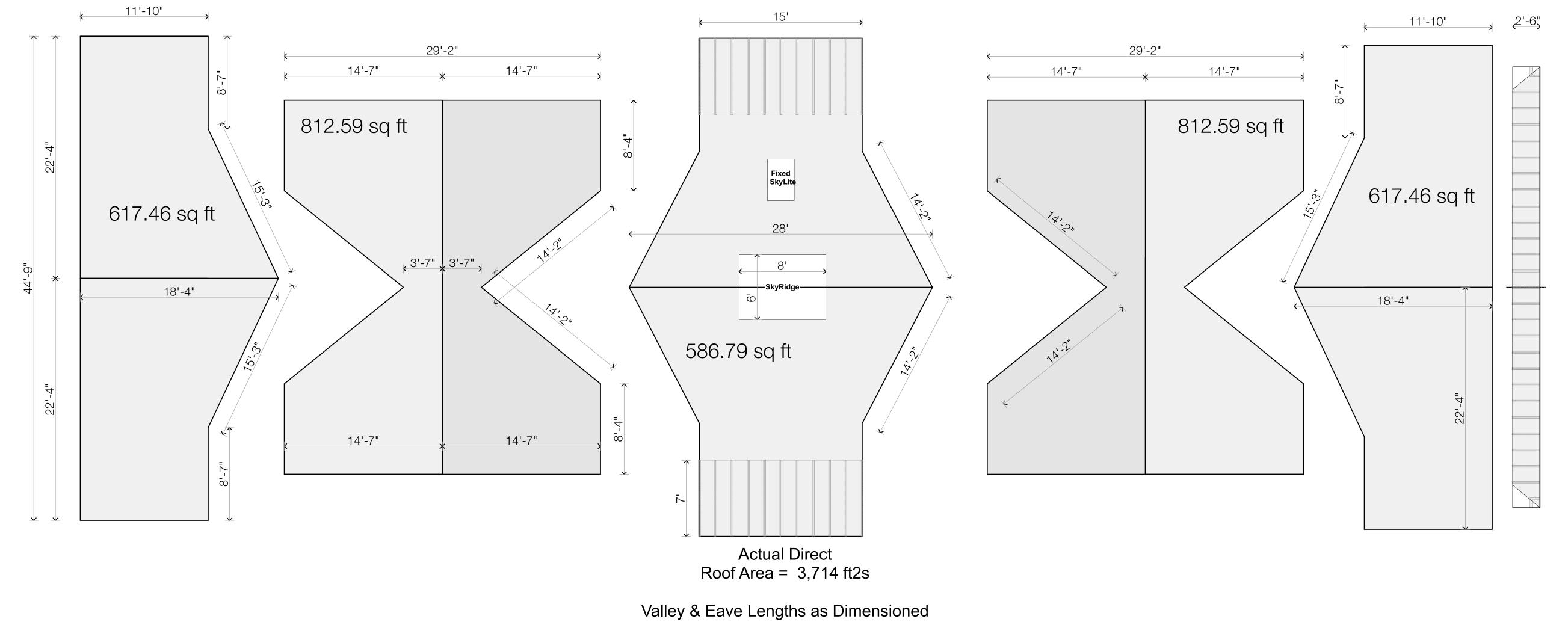


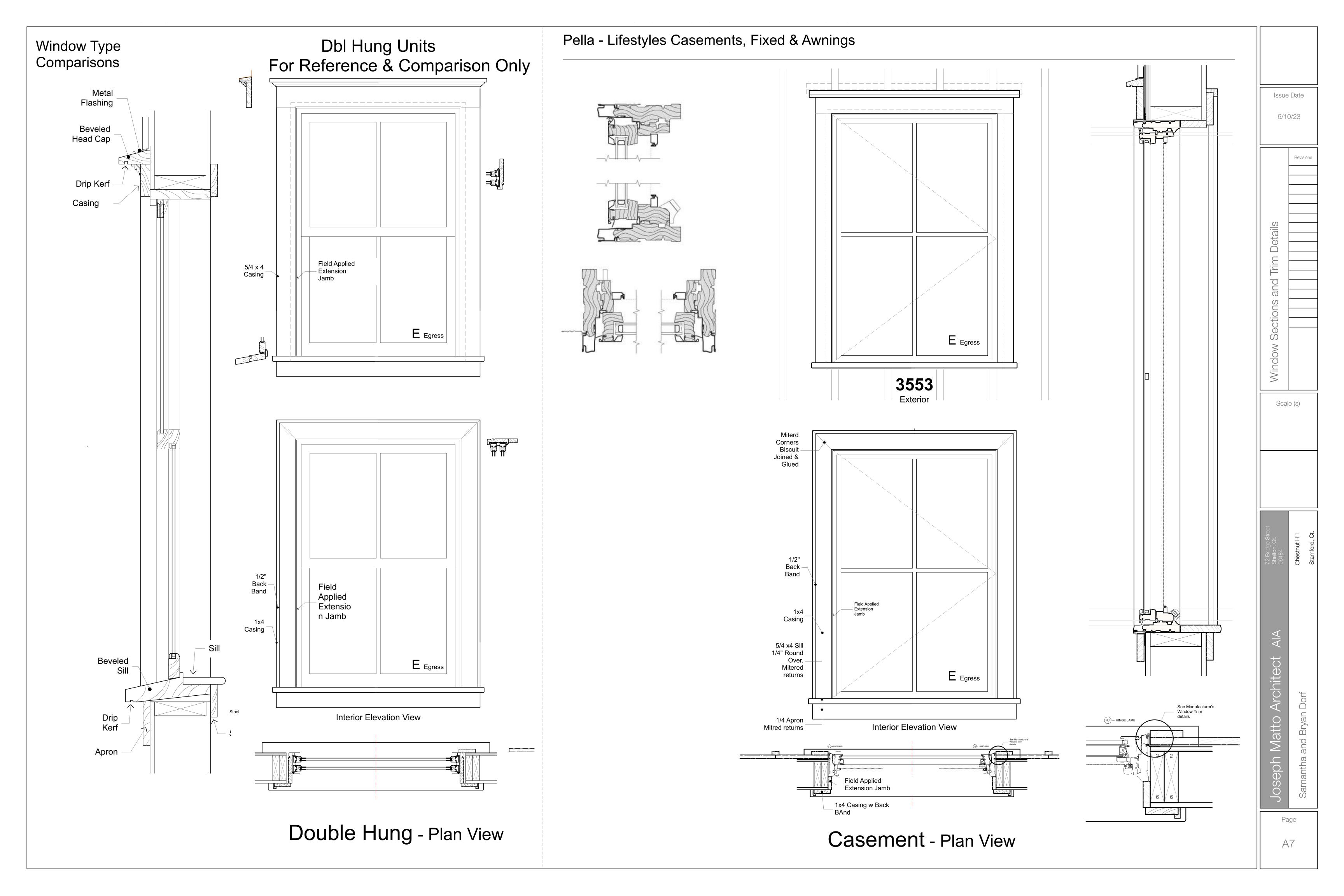


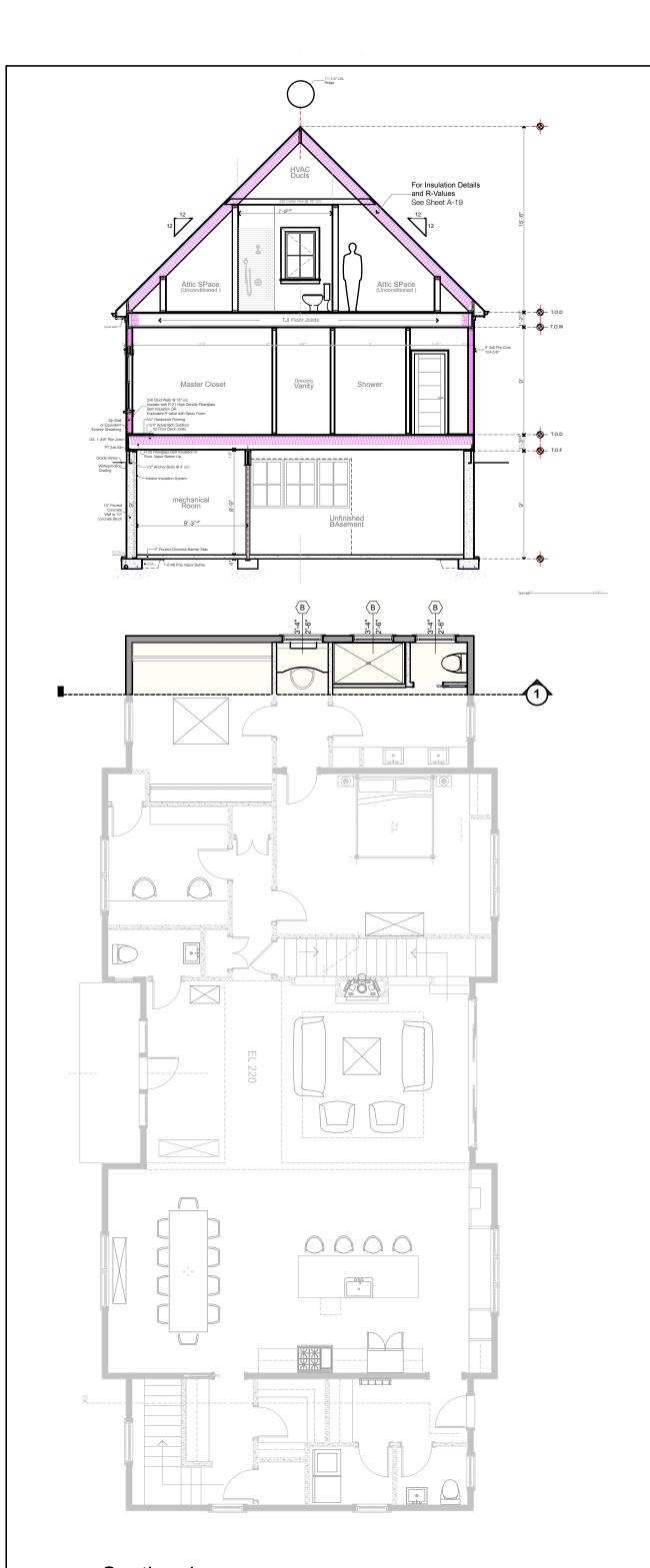
6/10/23

Scale (s)

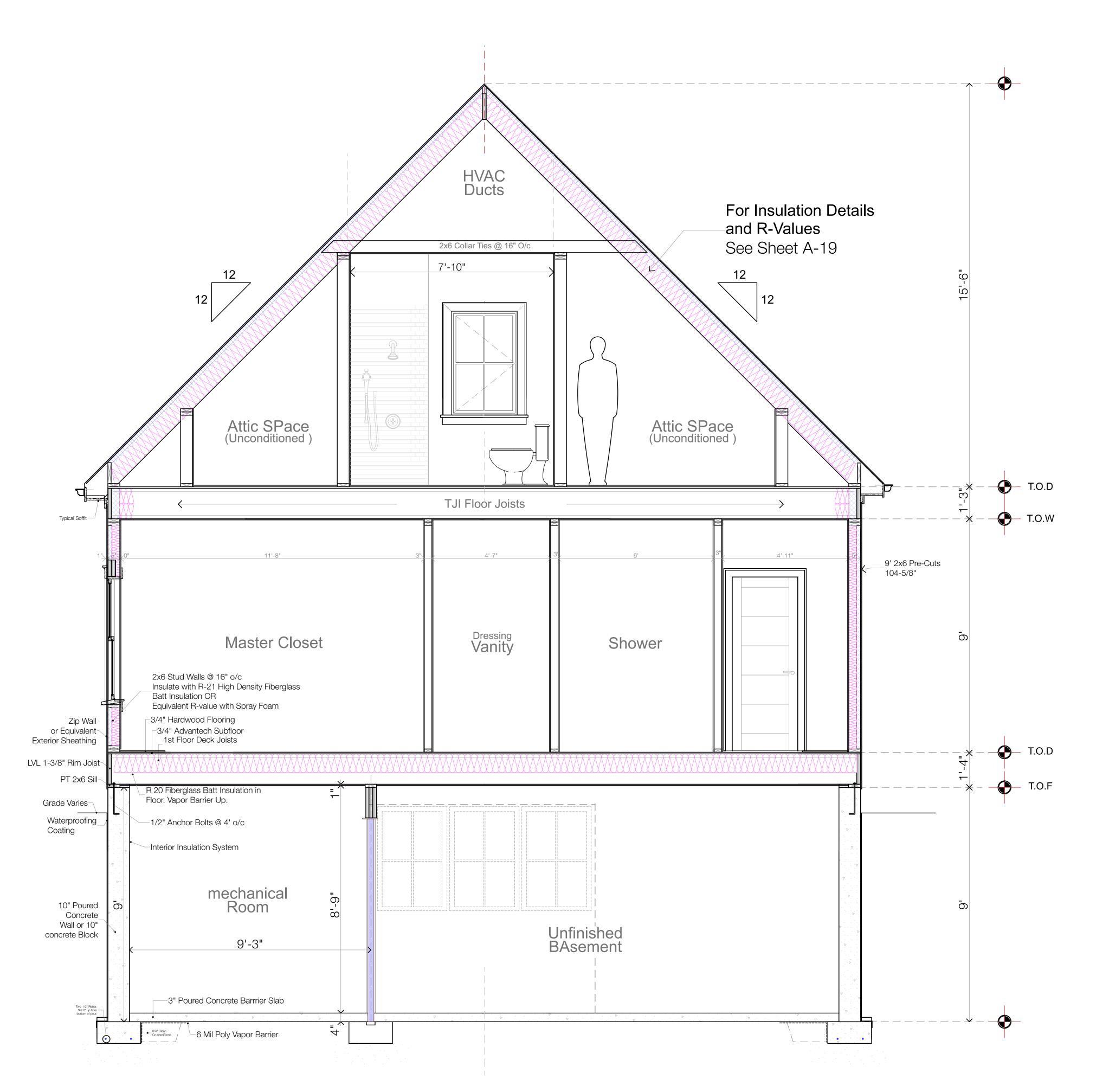
Page







Section 1



Section 1 - East Bathroom Section

SCALE: 1/2" = 1'-0"

6/10/23

1 - Master Bathroom & Closet

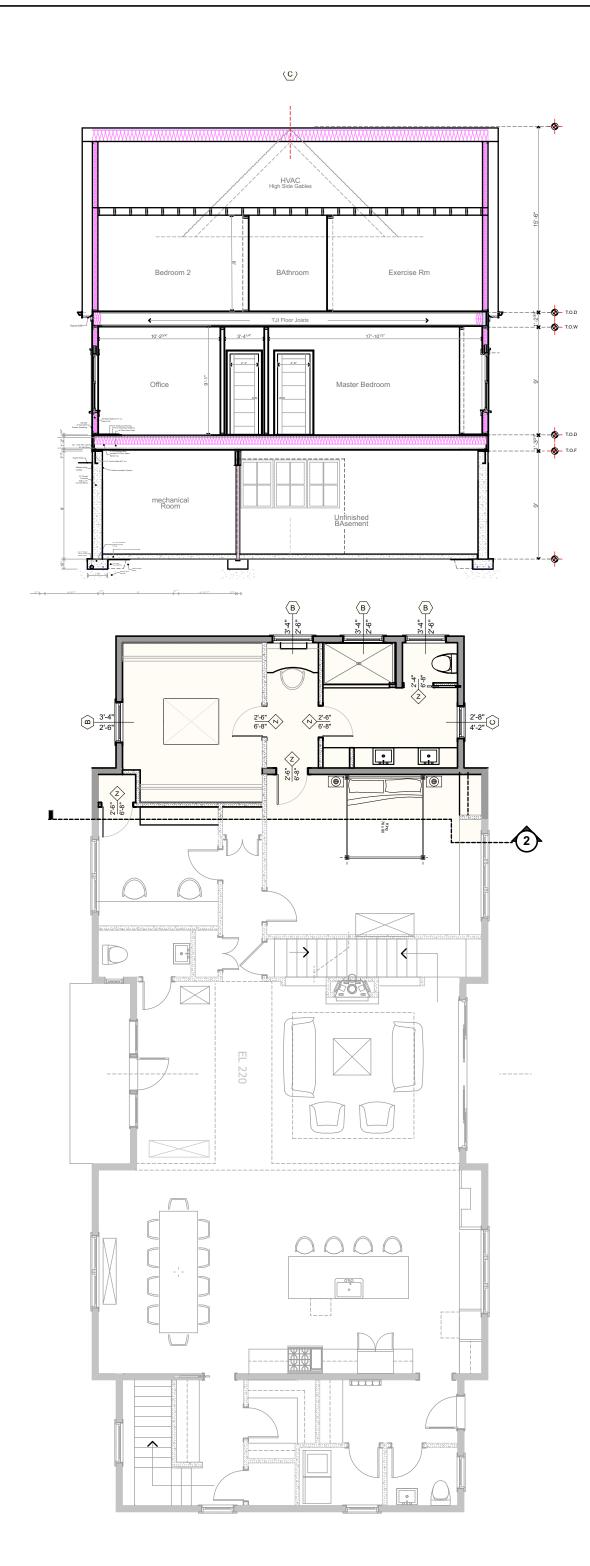
Scale (s)

Chestnut Hill

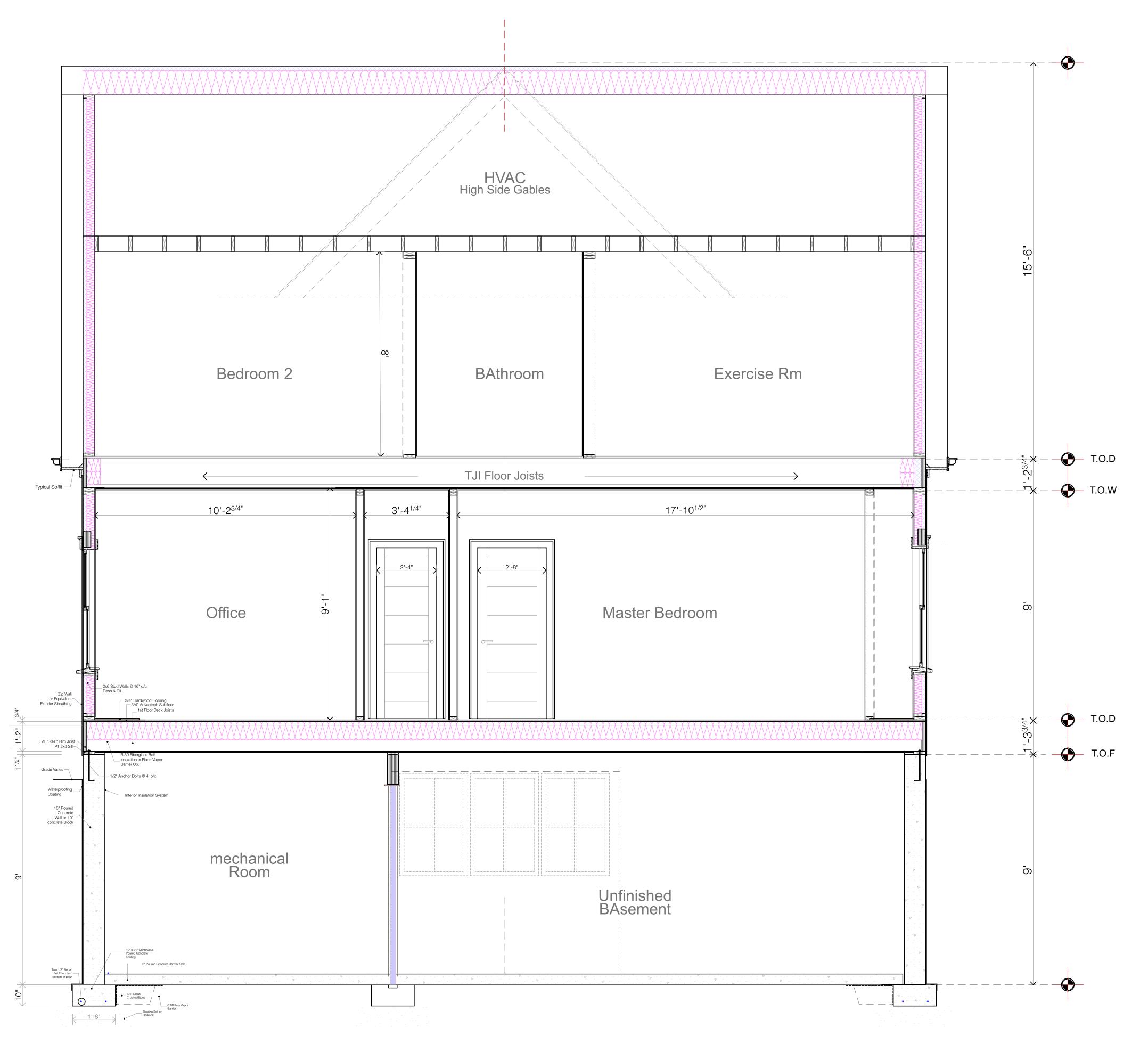
to Architect AIA

Samantha and Bryan Dorf

Page



Section 2



Section 2 - Thru Office & Master Bedroom

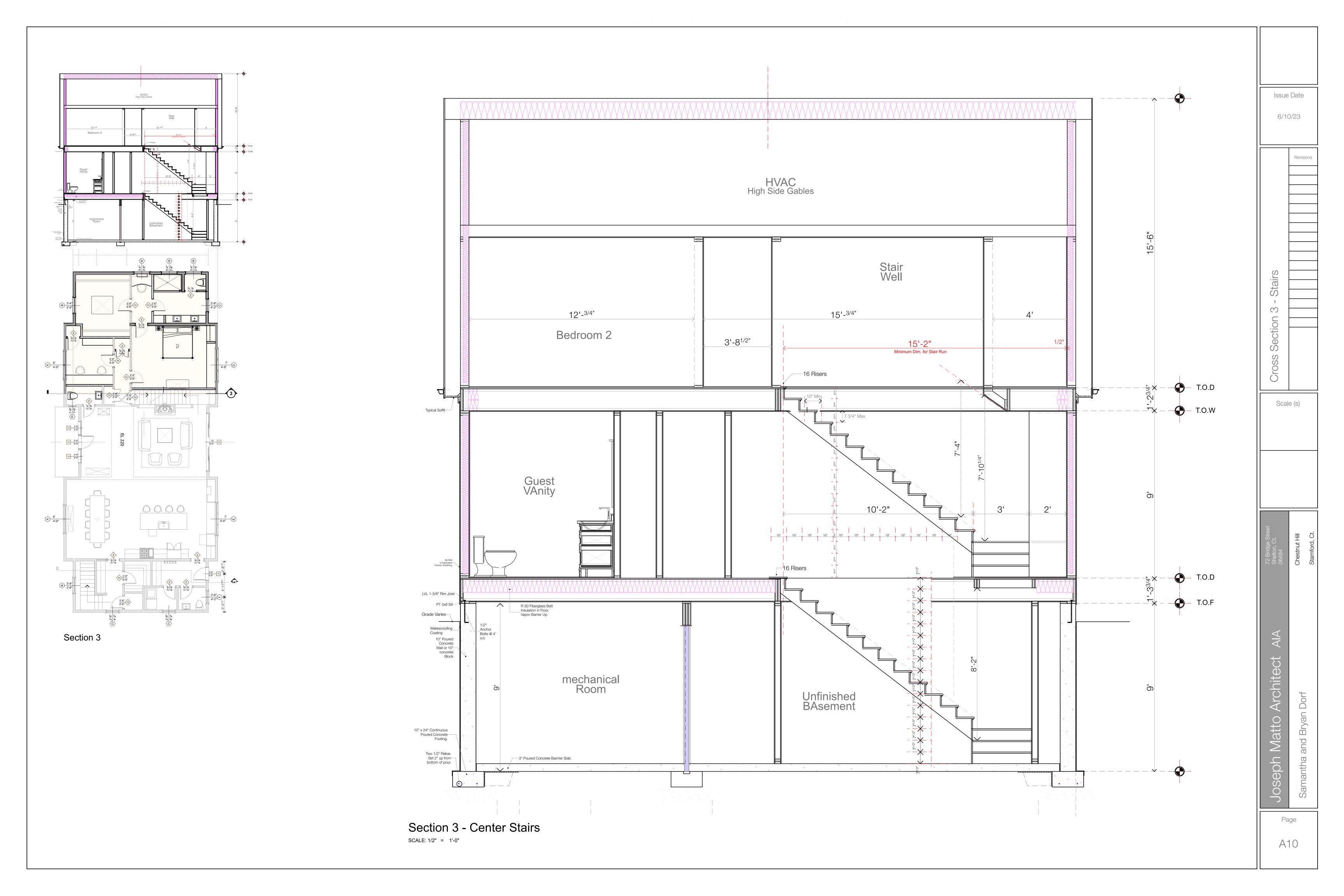
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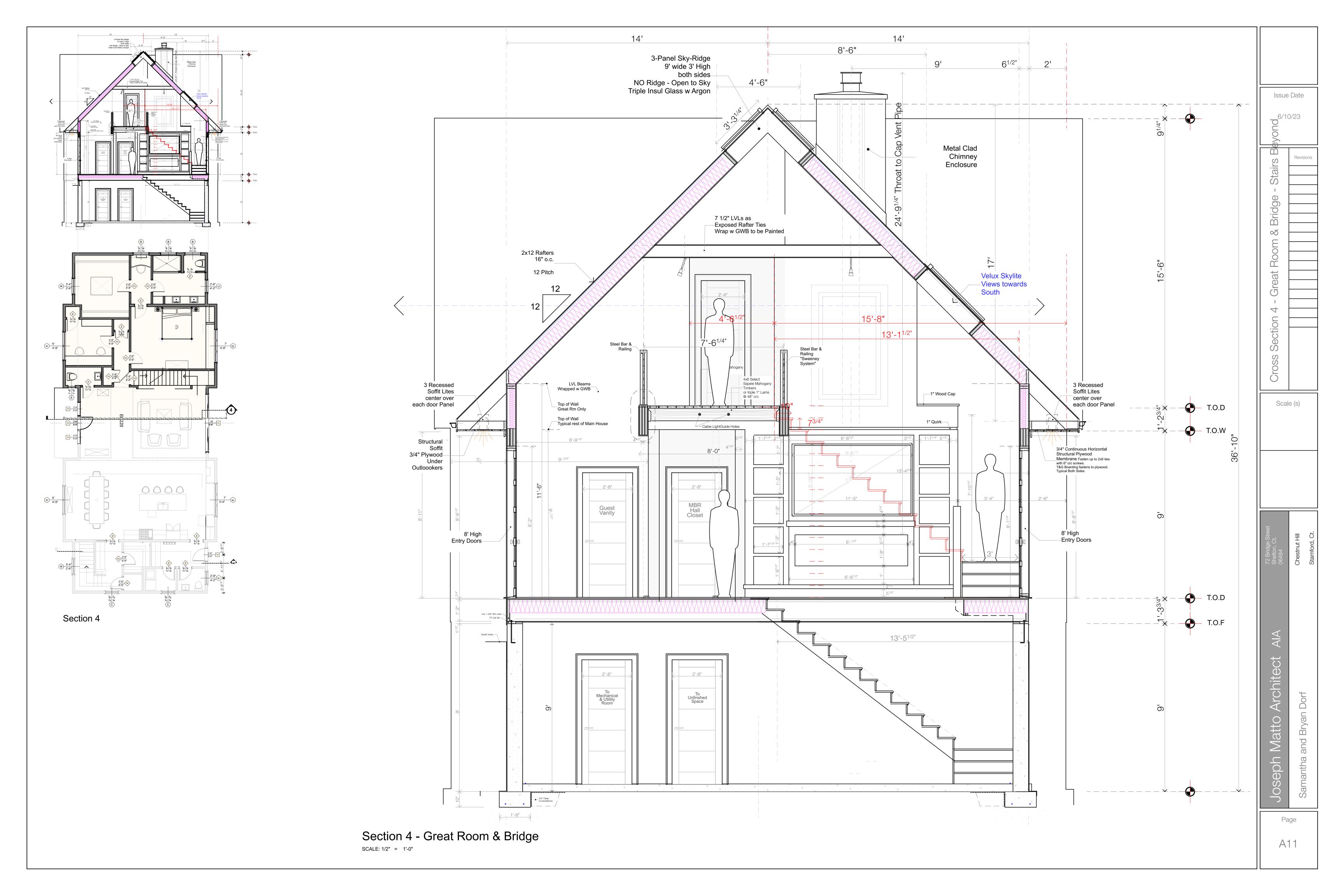
A9

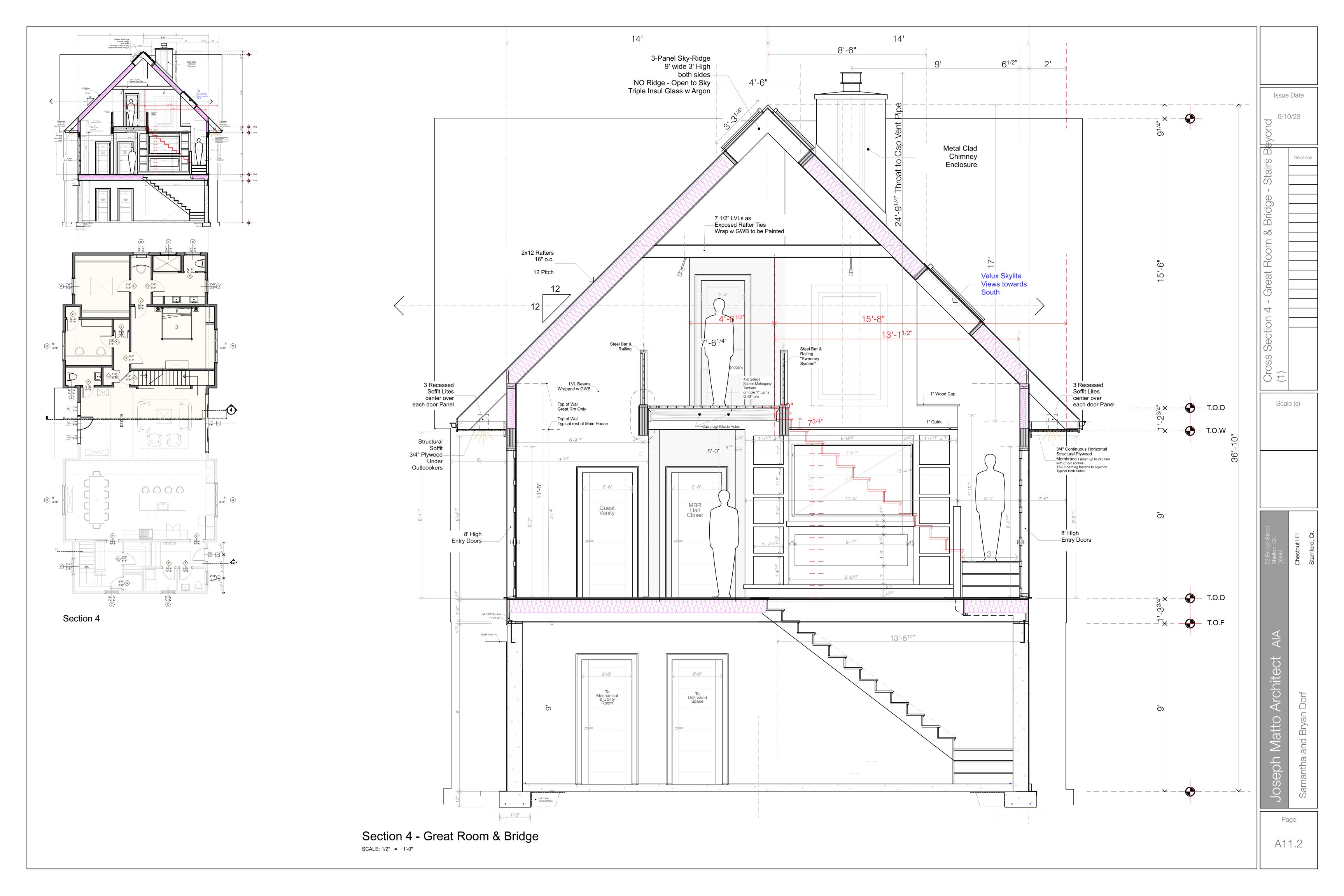
Issue Date

6/10/23

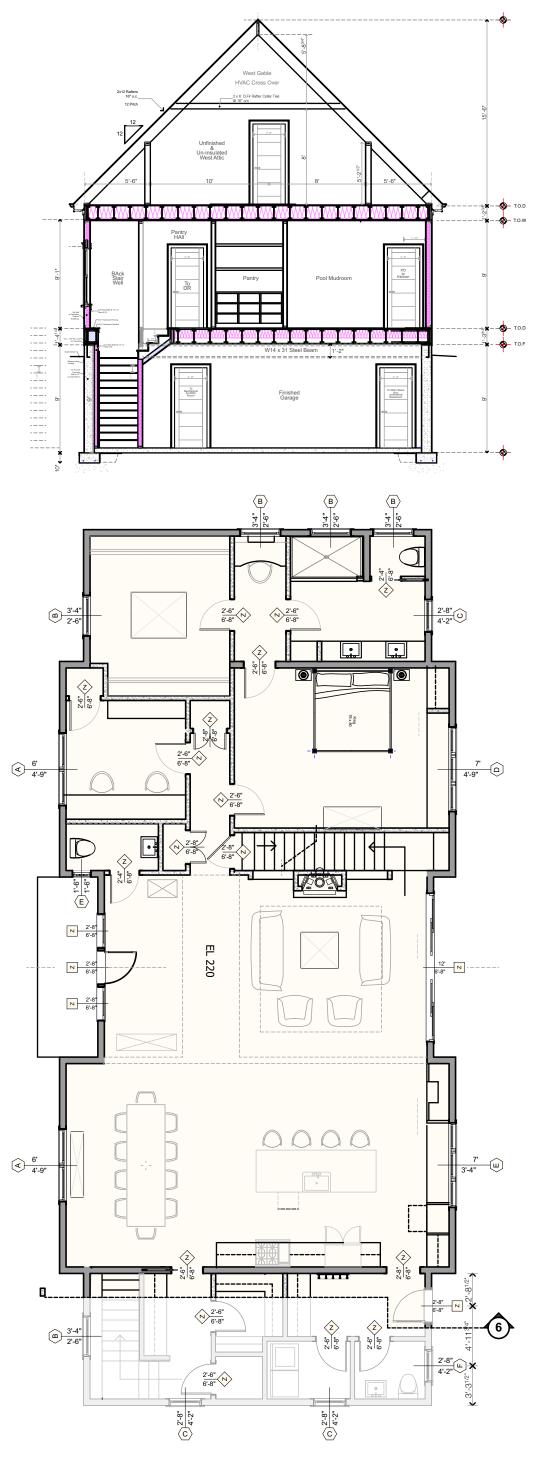
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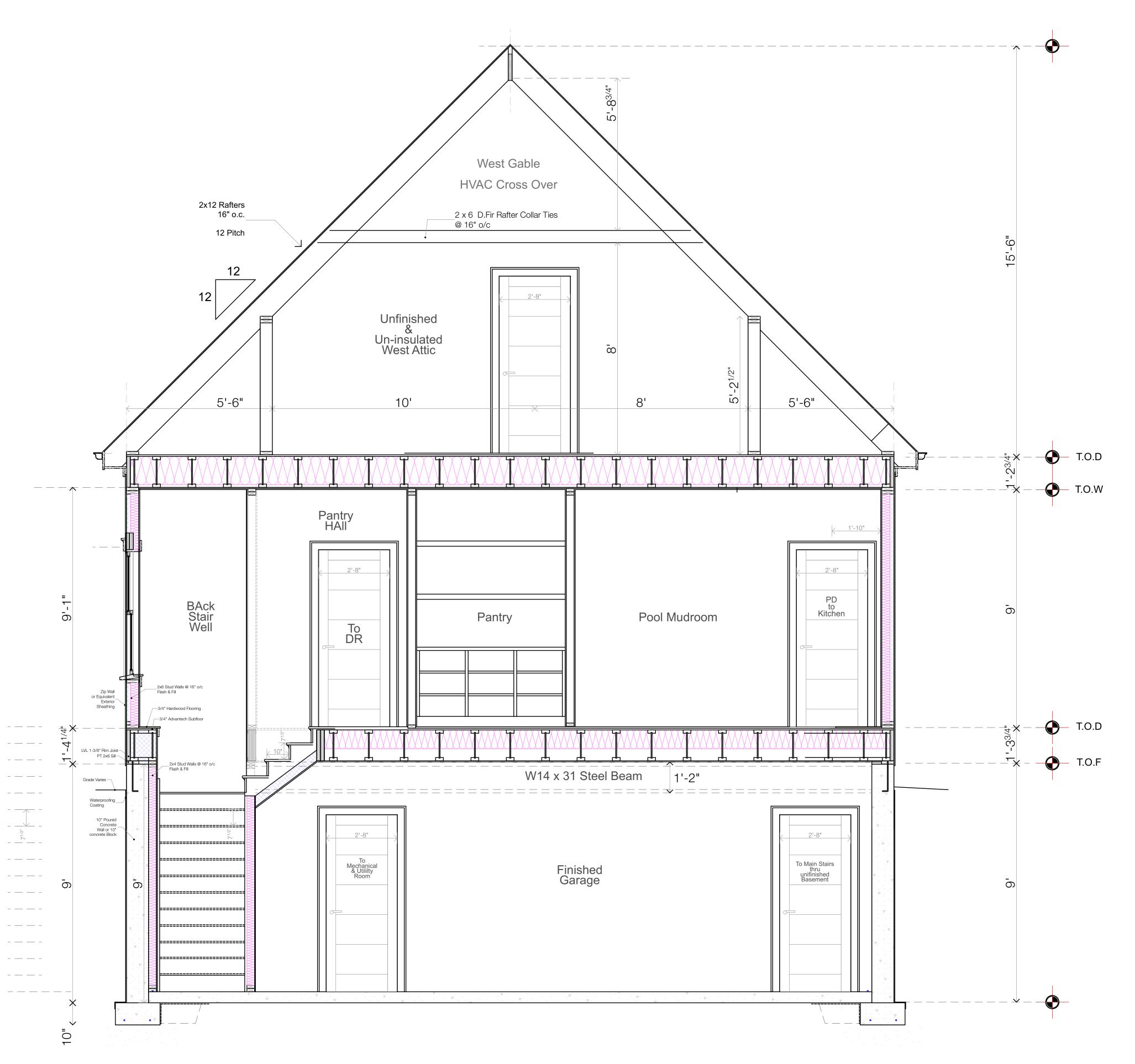








Section 6



Section 2 - Thru Office & Master Bedroom SCALE: 1/2" = 1'-0"

6/10/23

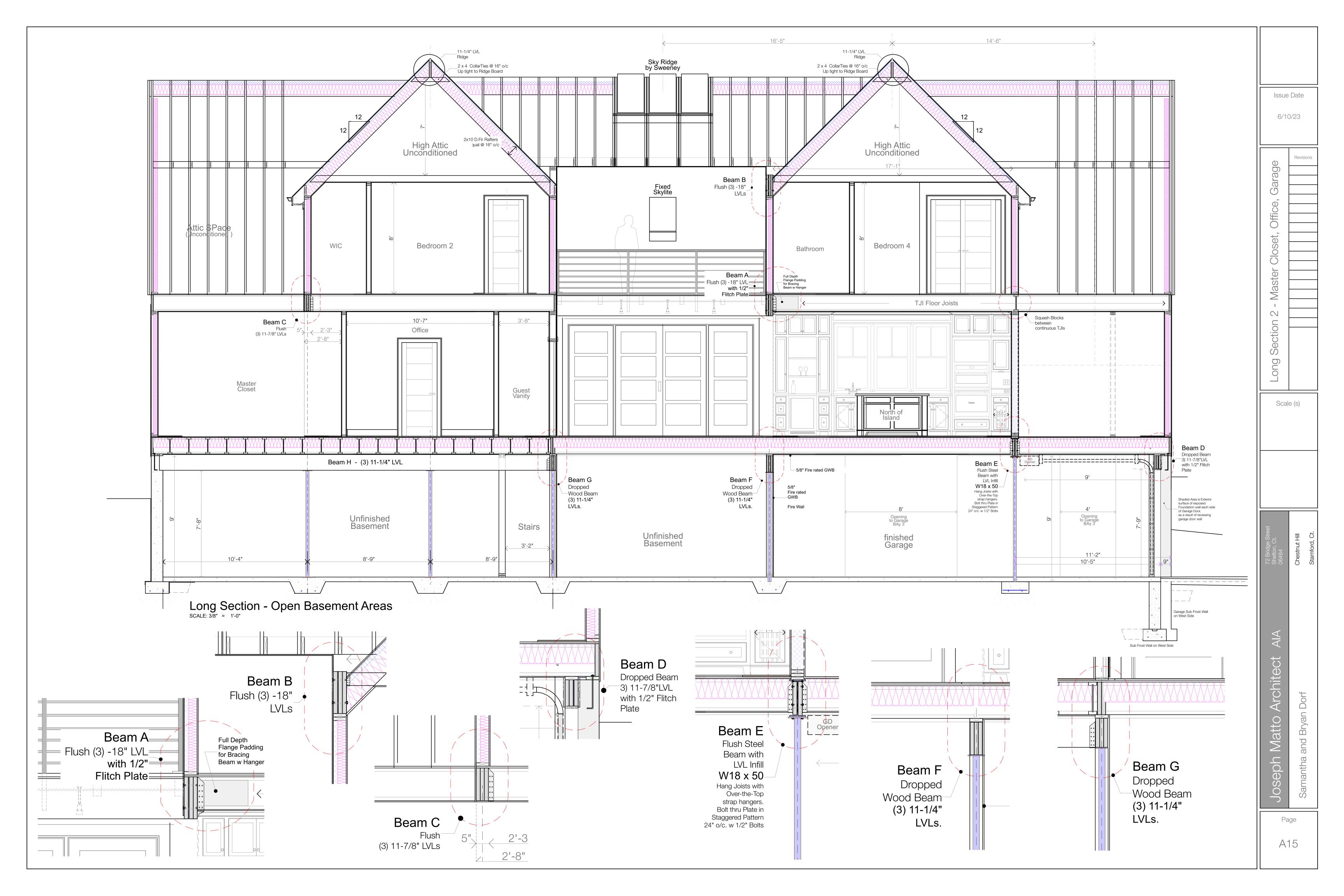
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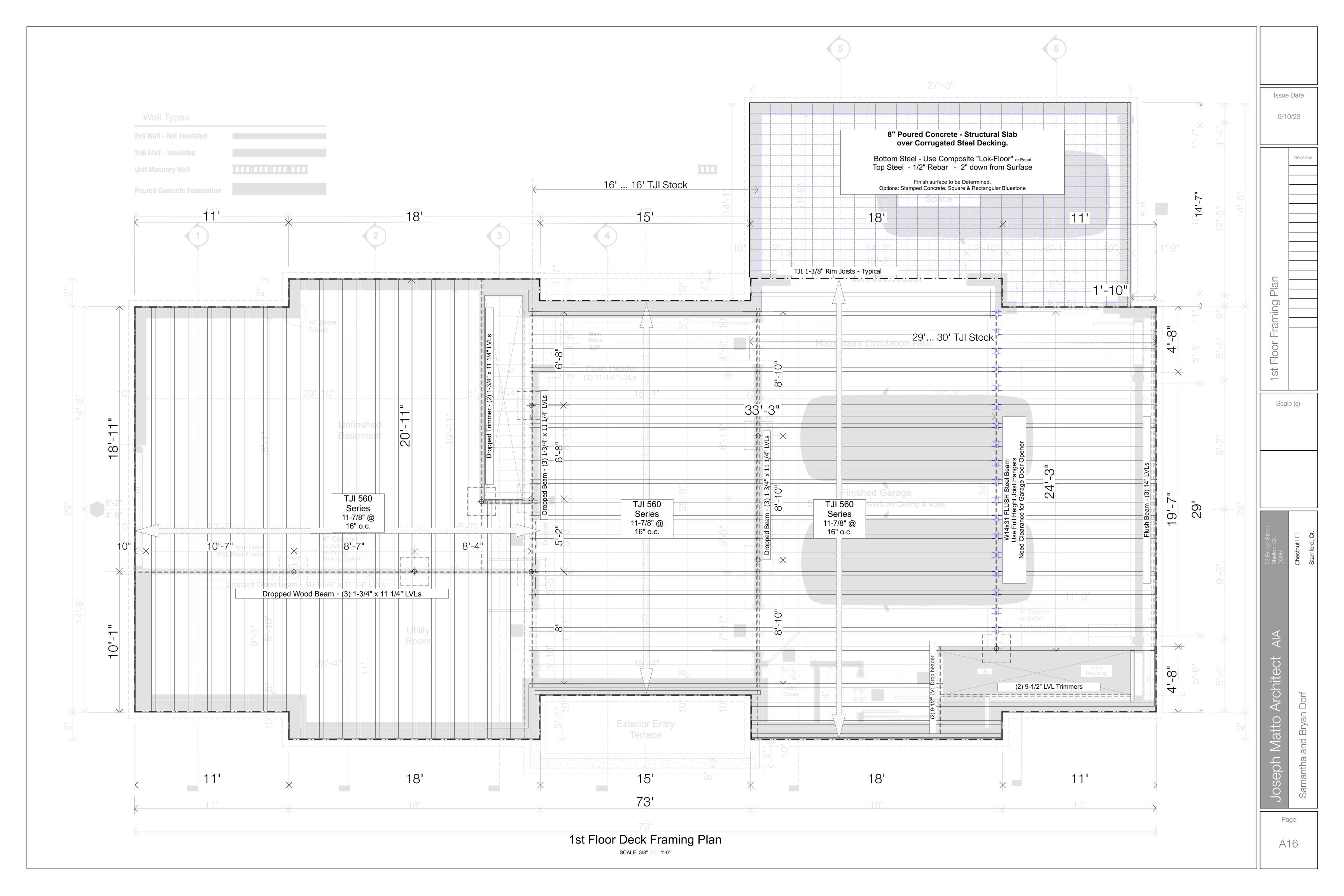


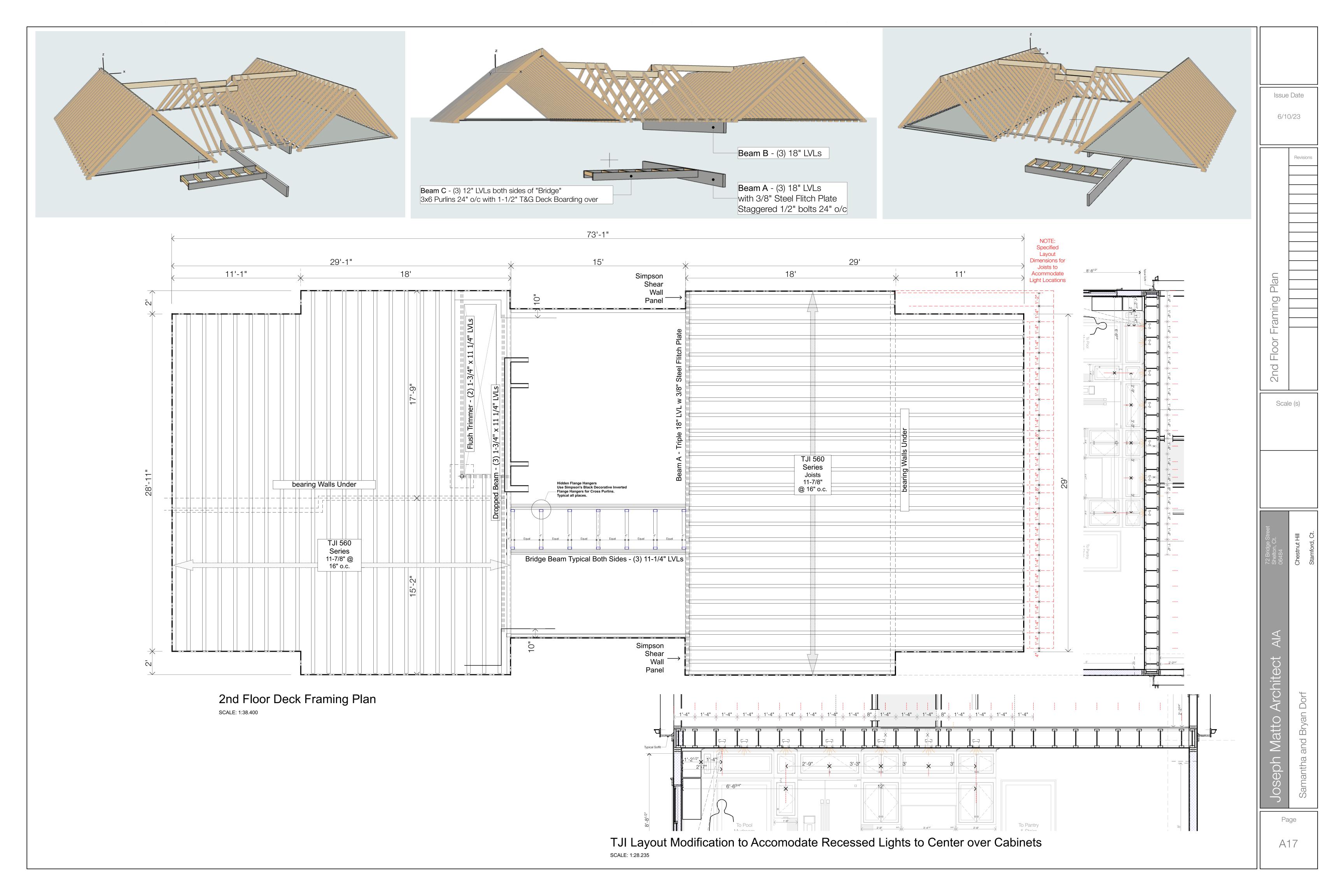
SCALE: 3/8" = 1'-0"

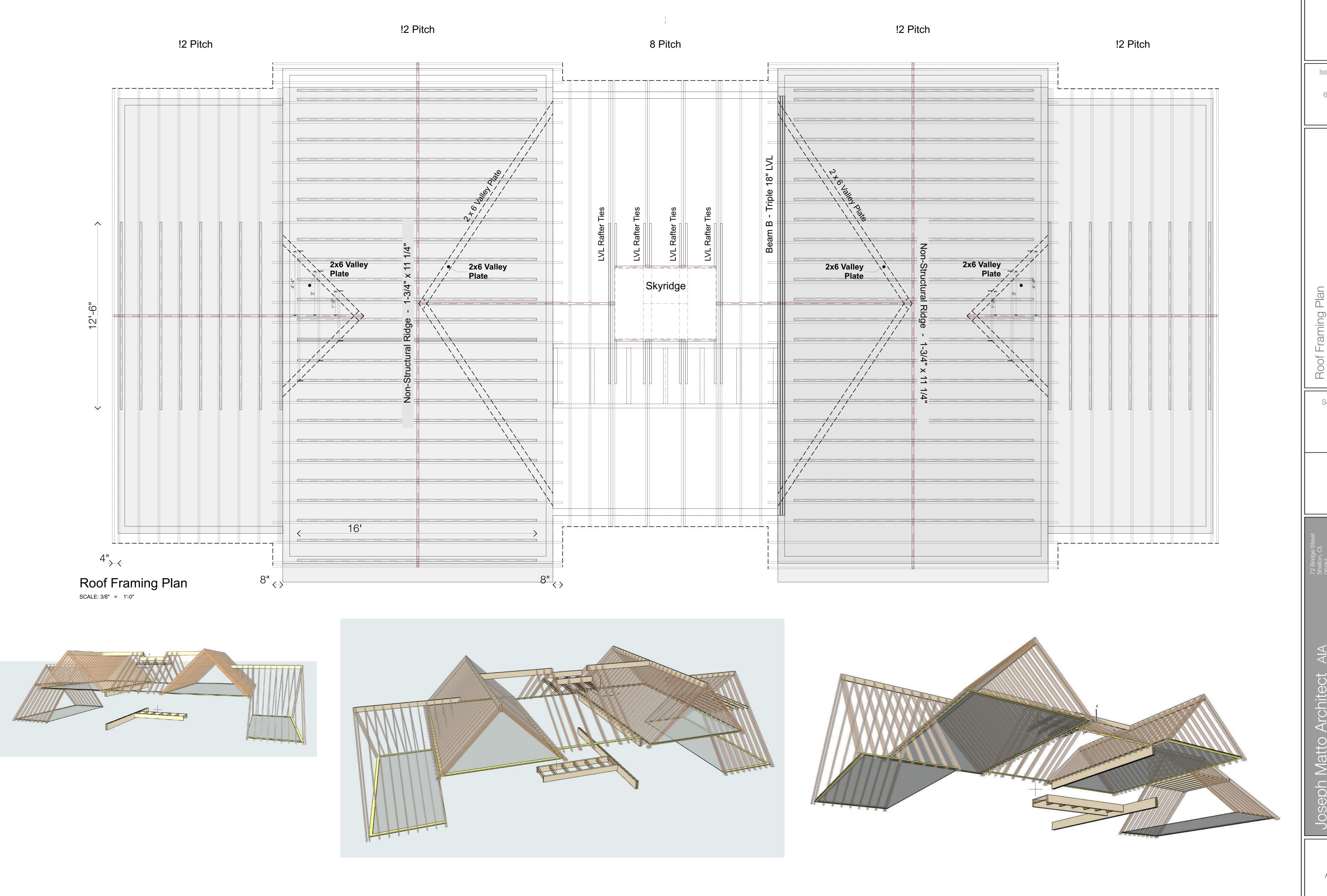
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Scale (s)









6/10/23

Revisions

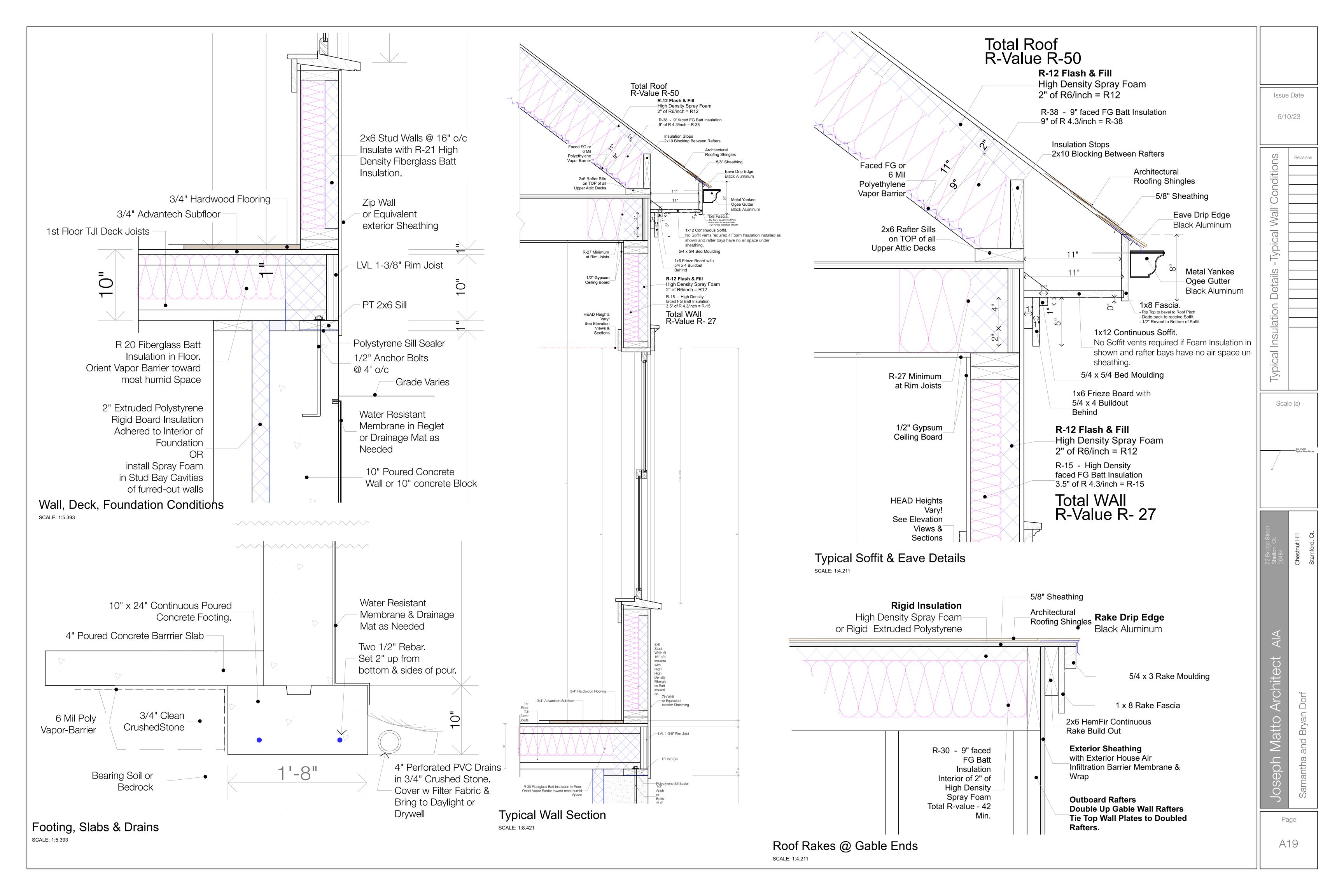
Scale (s)

Shestnut Hill Stamford, Ct.

Architect AIA

Samantha and Bryan Dorf

Page



Front To Back Bracing Lines

2018 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION

NAME: Dorf

ADDRESS: 54 Chestnut Hill Rd, Stamford, 06903

WALL DIRECTION: Front to Back

SEISMIC DESIGN CATEGORY: C Detached One or Two-Family Dwelling

ULTIMATE DESIGN WIND SPEED: 110 mph

WIND EXPOSURE CATEGORY: B

	Wall Line A-1	Wall Line B-1	Wall Line C-1	Wall Line D-1
Inputs				
Braced-Wall-Line Location	1st of 1-story	1st of 1-story	1st of 1-story	1st of 1-story
Eave to Ridge Height	14 ft	14 ft	14 ft	14 ft
Braced-Wall-Line Spacing	29.00 ft	22.00 ft	22.00 ft	29.00 ft
Wall Height	9 ft	9 ft	9 ft	9 ft
Bracing Method	WSP	WSP	WSP	WSP
GB Construction Type	N/A	N/A	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes	Yes	Yes
Horizontal Joints Blocked	Yes	Yes	Yes	Yes
Holdown Device Used	Yes	Yes	Yes	Yes
WIND				10.
Tabulated Wind Bracing Amount	4.85 ft	3.8 ft	3.8 ft	4.85 ft
Exposure Height Factor	1	1	1	1
Eave-to-Ridge Height Factor	1.24	1.24	1.24	1.24
Wind Wall Height Factor	0.95	0.95	0.95	0.95
Number of BWL Factor	1.45	1.45	1.45	1.45
Holdown Factor	0.8	0.8	0.8	0.8
Blocked Joint Factor	1	1	1	1
Gypsum on Inside Factor	1	1	1	1
Wind GB Construction Factor	1	1	1	1
Required Wind Bracing Amount	6.63 ft	5.19 ft	5.19 ft	6.63 ft
RESULTS		100		
Length of Wall Bracing Required	6.63 ft	5.19 ft	5.19 ft	6.63 ft

Side to Side Bracing Lines

2018 IRC Required Braced-Wall-Line Length Calculations

PROJECT INFORMATION

NAME: Dorf

ADDRESS: 54 Chestnut Hill Rd, Stamford, 06903

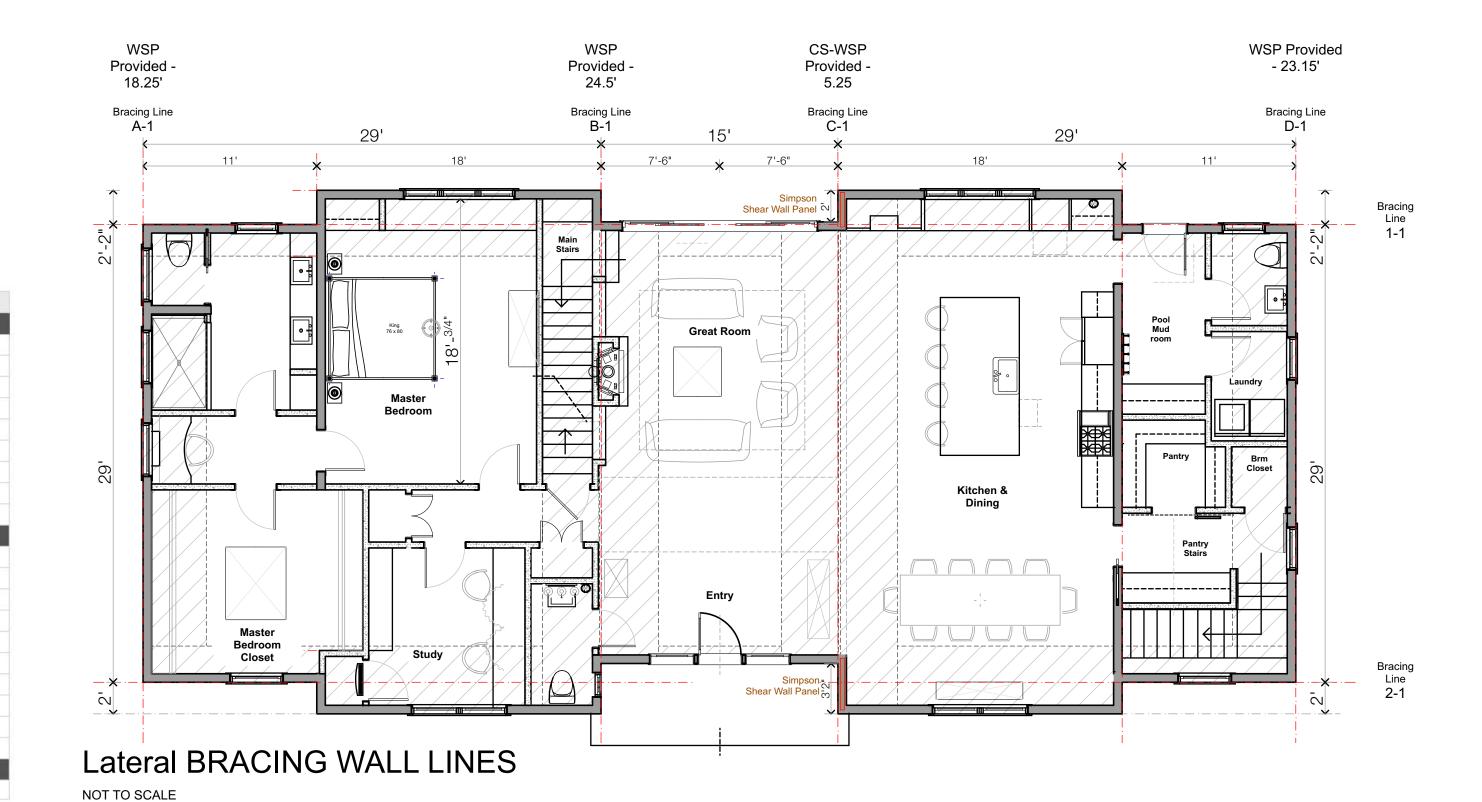
WALL DIRECTION: Side To Side

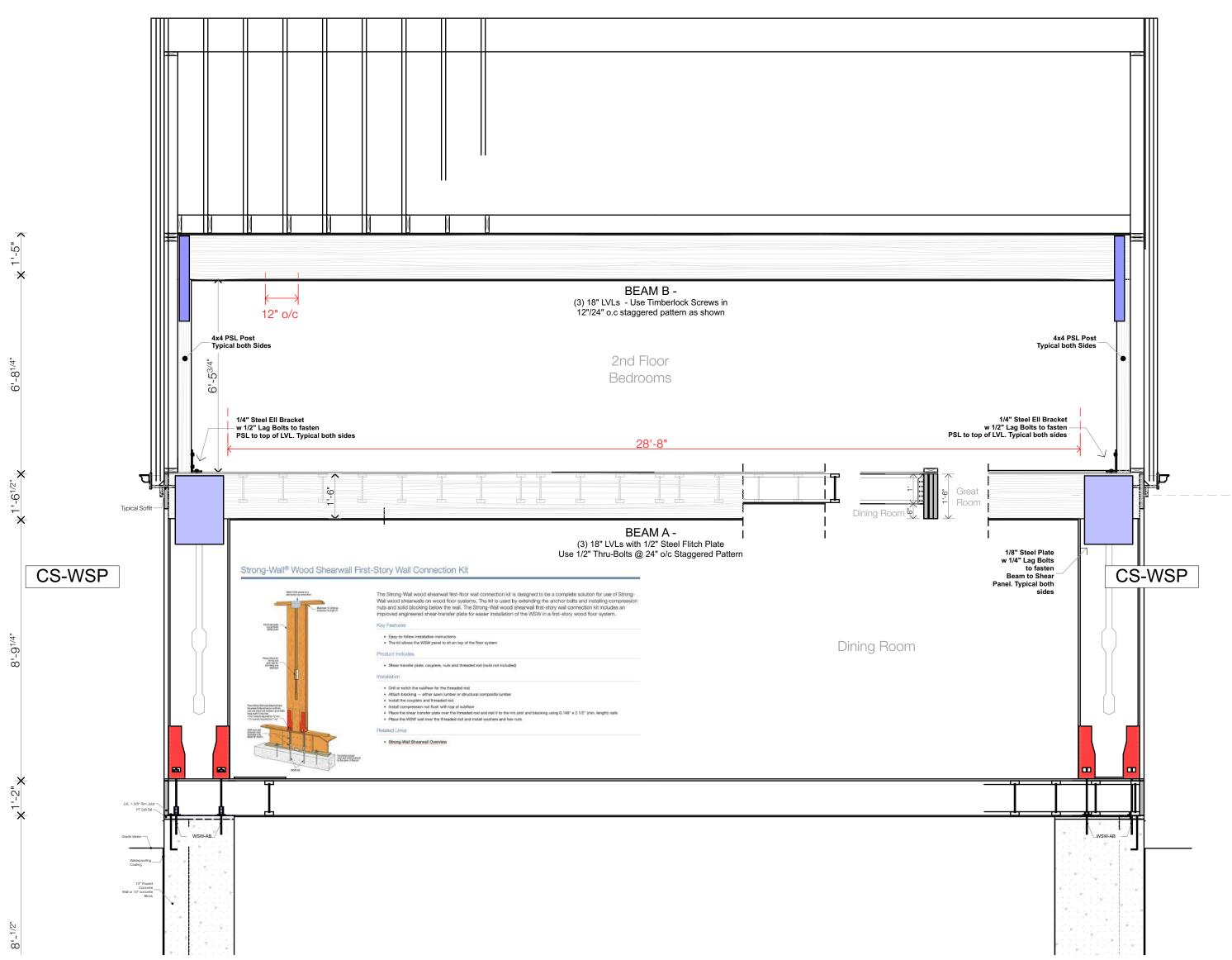
SEISMIC DESIGN CATEGORY: C Detached One or Two-Family Dwelling

ULTIMATE DESIGN WIND SPEED: 110 mph

WIND EXPOSURE CATEGORY: B

	Wall Line 1-1	Wall Line 2-1
Inputs		
Braced-Wall-Line Location	1st of 1-story	1st of 1-story
Eave to Ridge Height	14 ft	14 ft
Braced-Wall-Line Spacing	29.00 ft	29.00 ft
Wall Height	9 ft	9 ft
Bracing Method	WSP	WSP
GB Construction Type	N/A	N/A
Gypsum Wall Board on Inside	Yes	Yes
Horizontal Joints Blocked	No	No
Holdown Device Used	No	No
WIND		
Tabulated Wind Bracing Amount	4.85 ft	4.85 ft
Exposure Height Factor	1	1
Eave-to-Ridge Height Factor	1.24	1.24
Wind Wall Height Factor	0.95	0.95
Number of BWL Factor	1	1
Holdown Factor	1	1
Blocked Joint Factor	2	2
Gypsum on Inside Factor	1	1
Wind GB Construction Factor	1	1
Required Wind Bracing Amount	11.43 ft	11.43 ft
RESULTS		
Length of Wall Bracing Required	11.43 ft	11.43 ft







Lateral Bracing Exterior Walls

SCALE: 1/8" = 1'-0"

Page

Issue Date

6/10/23

Scale (s)

A20

Lateral Wall Bracing for Line C-1.....with Simpson Shear Wall Panels for Interior Wall w Long Beam SCALE: 3/8" = 1'-0"

110 MPH - Wind Design

See Section R301.2.1.1 of the 2012 International Building Code.

Manufacturer Application

Additional Connection, Nailing & Sheathing Methods and Requirements are in the Wood Framing Construction Manual-2001

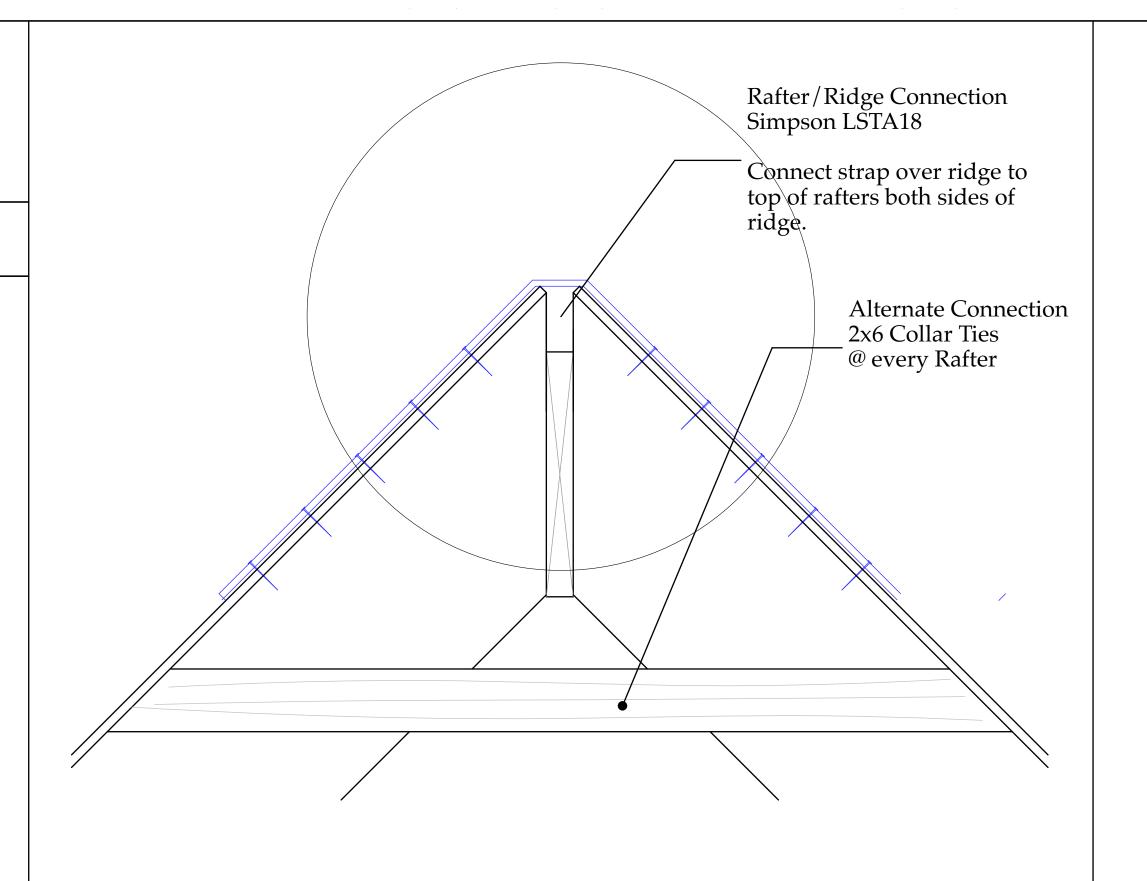
Schedule of A	pproved	Connectors
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Type

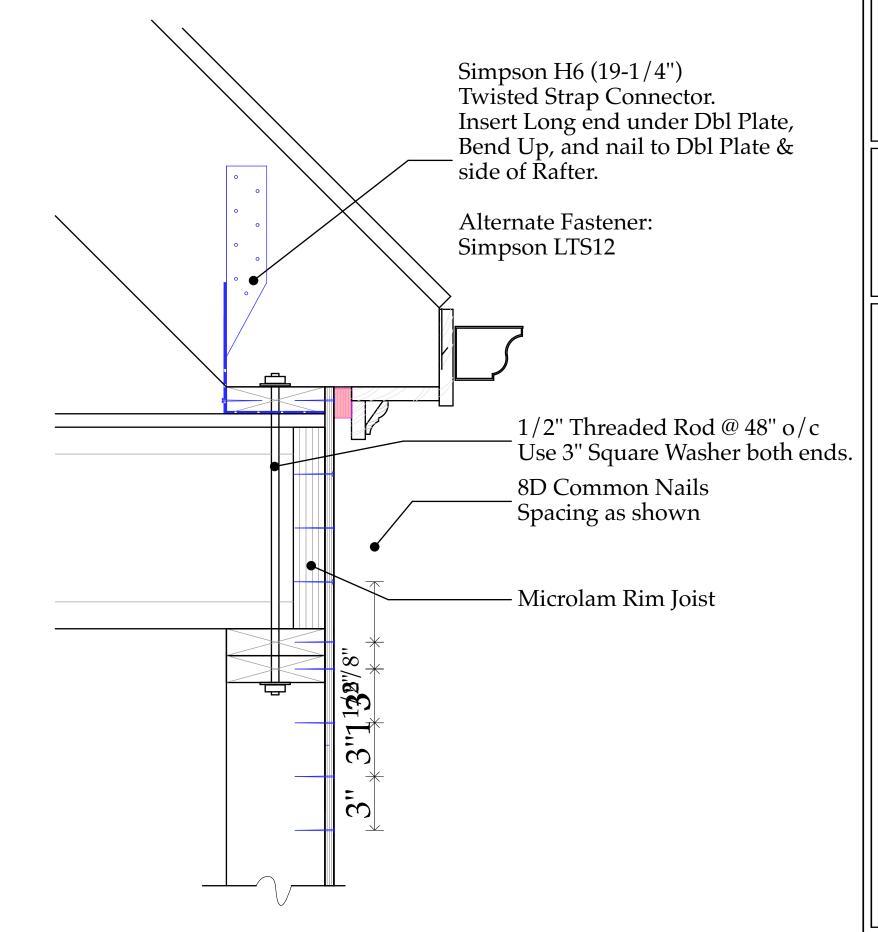
Wall & Floor Framing 16 Common - .162"

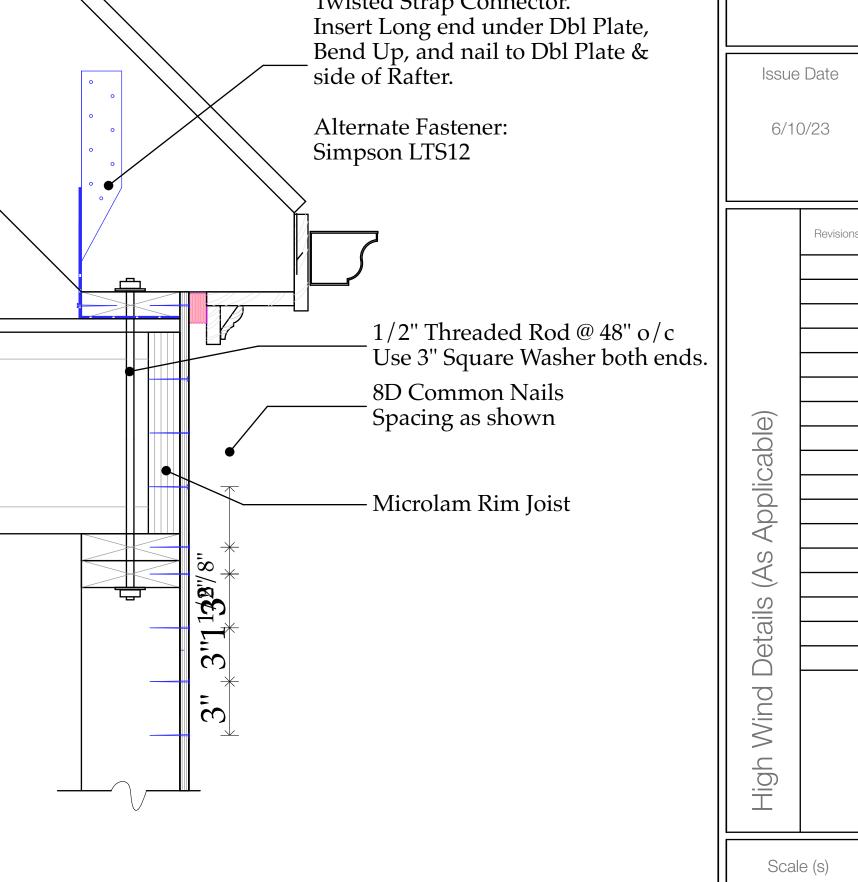
Toe Nailing 12 Common - .148"

10 D - .148" Sheathing, Toe Nailing Wall & Roof Sheathing 8D - .131"

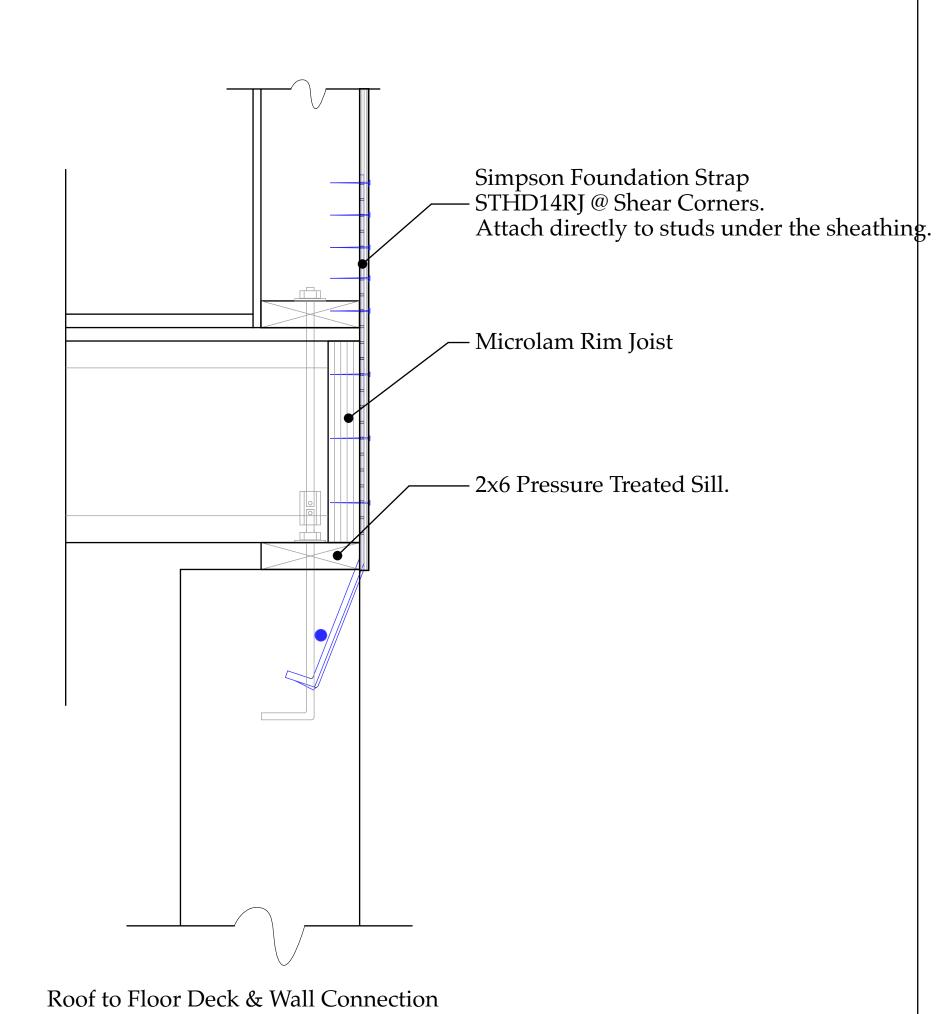


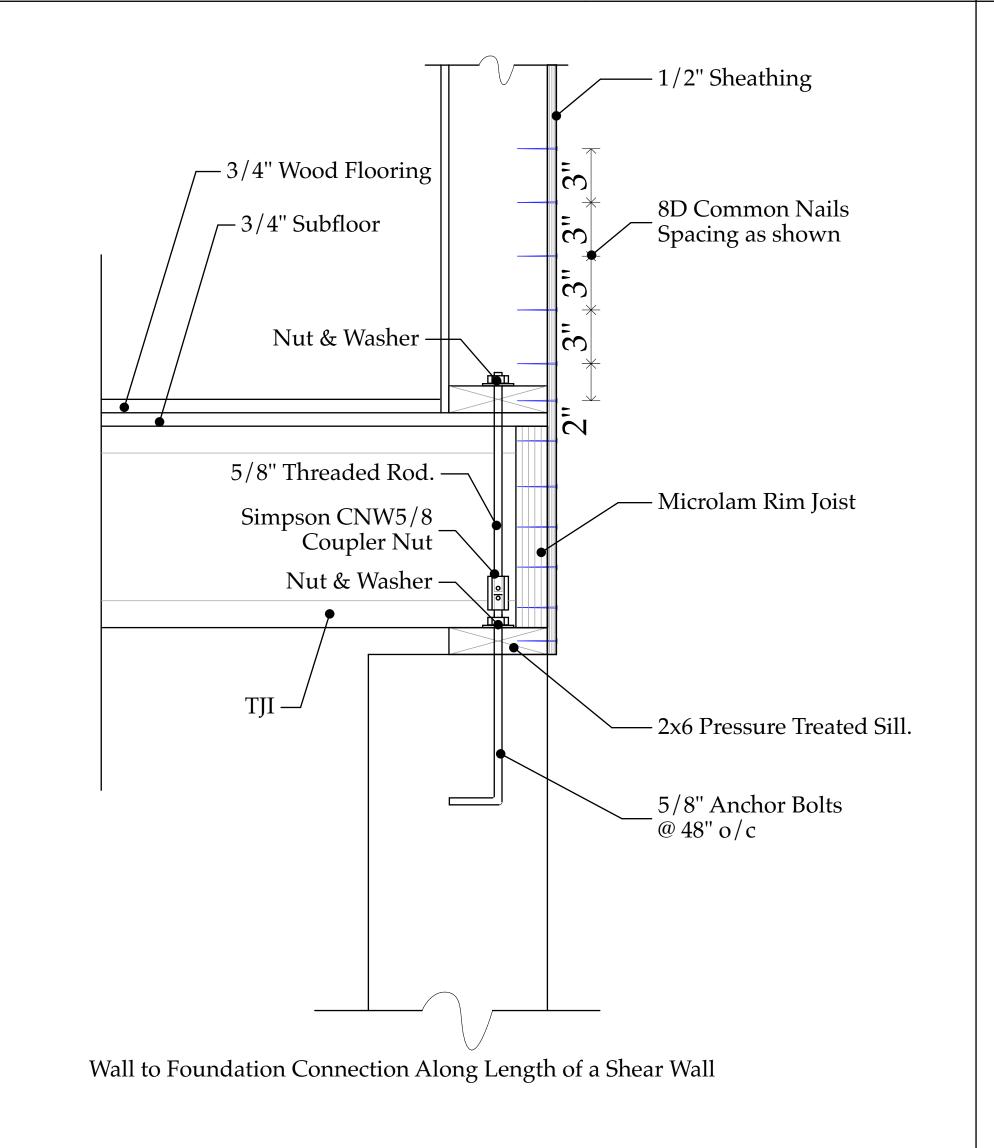
Rafter to Rafter Connection @ Ridge

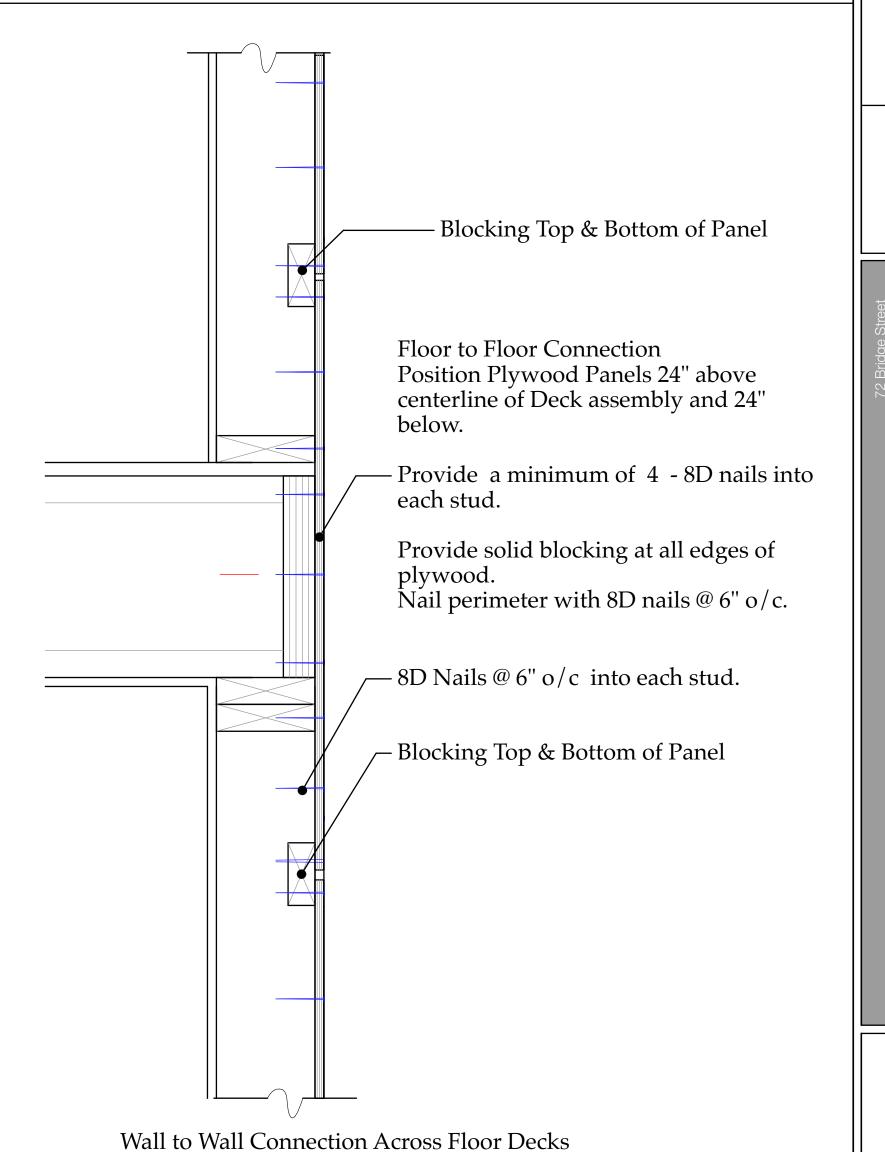


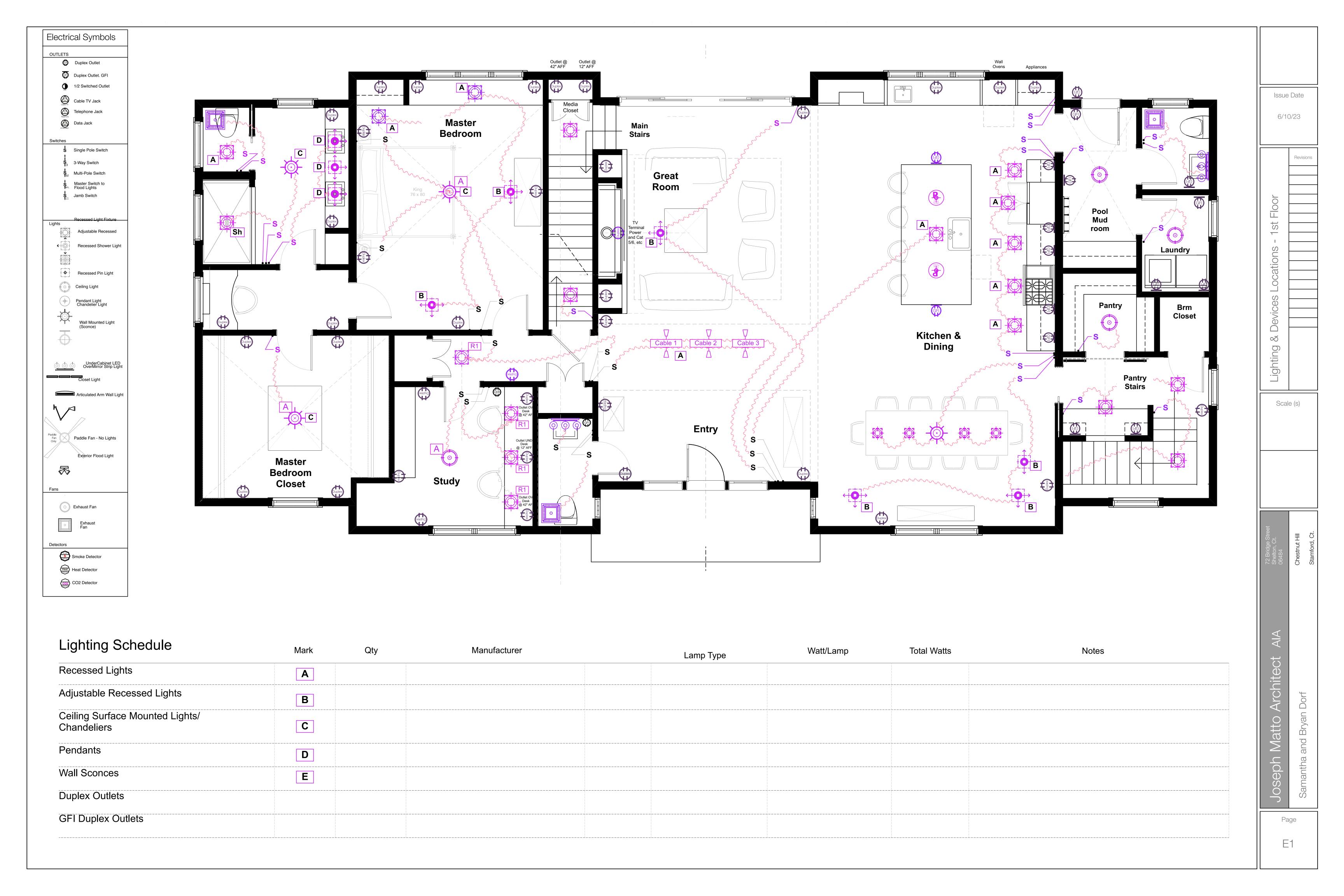


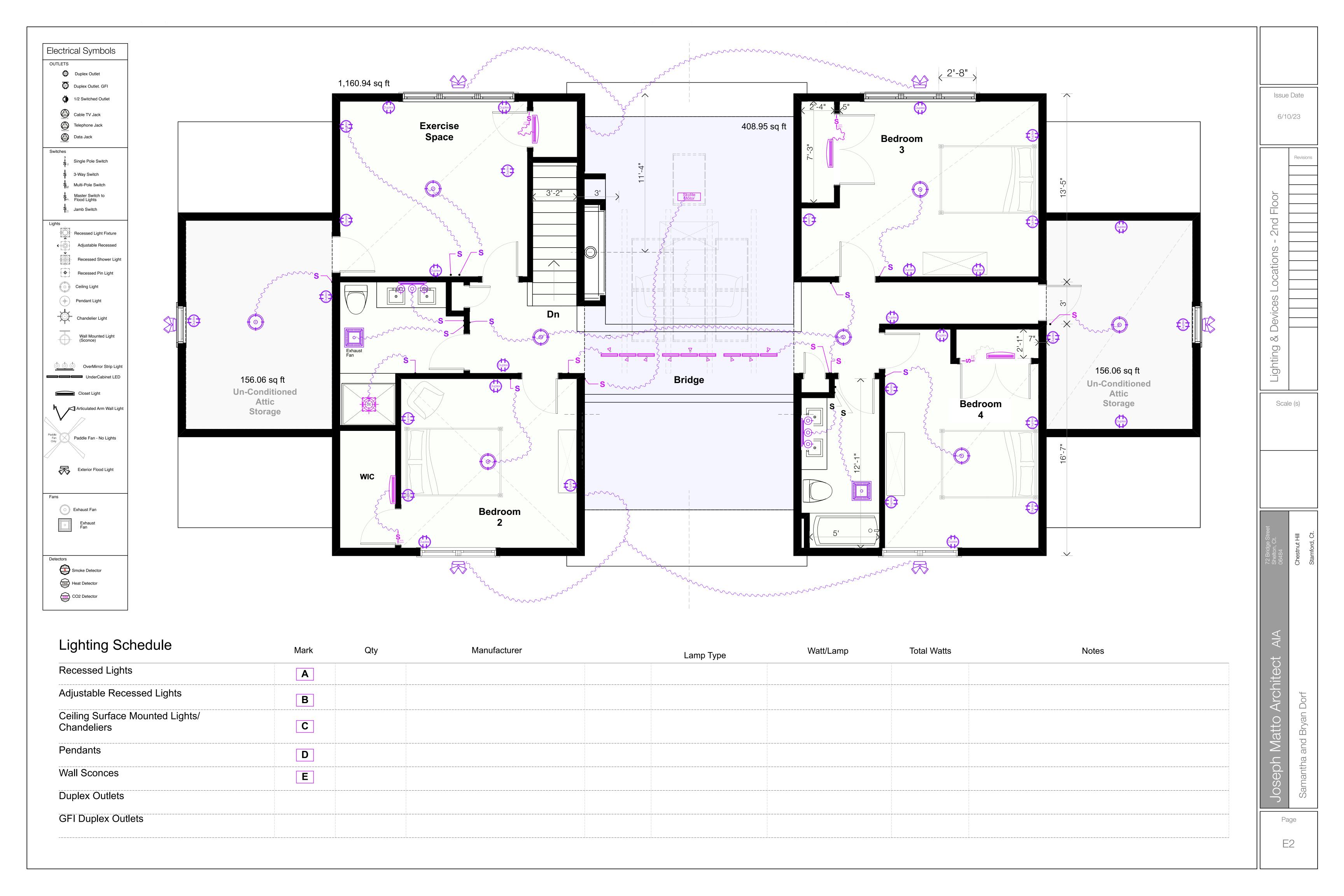
Scale











1. REGULATORY COMPLIANCE:

The Builder will construct the Project in strict accordance with the Connecticut State Building Code and all applicable regulations and ordinances of the Town of Newtown and agencies have regulatory jurisdiction.

2. FIELD VERIFICATION:

The Architect's drawings are approximate in relation to existing conditions and dimensions describing the Site. The Architect requests that the Builder verify all pertinent existing conditions, dimensions & elevations prior to the start of any construction and will report any conflicts or discrepancies to the Architect prior to commencing any work so that the drawings and design can be revised accordingly.

3. DIMENSIONS:

These drawings should NOT be "Scaled" to obtain dimensions for layout or construction. Only given dimensions or calculated dimensions should be used. The Architect requests that any questions, conflicts, discrepancies, or ommisions of dimensions necessary for the construction of the Project be brought to the Architect's attention so that it can be addressed accordingly.

4. SUBMITTALS:

Shop Drawings, Material Samples, Certificates of Testing, or Quality Assurance Labels will be submitted to the Owner & Architect for the following

Concrete Delivery Slips with Strengths, and Additives if any, Slump Test, Structural Lumber and Steel, Structural Sheathing, Connectors, Roofing and Siding Materials, Windows & Doors, Stairs and Railings, Exterior and Interior Trim, Cabinetry and Millwork, and all appliances and equipment.

5. PERMITS AND INSPECTIONS:

The Builder will be responsible for obtaining all required building permits, and familiarizing himself with any permits and conditions of permits that may already have been obtained by the Owner.

6. WORKMANSHIP

All workmanship will be executed in as professional a manner as possible and The Builder will strive to meet the highest standards possible as is typical of high-end residential construction in the Newtown area. All workmen will be skilled and experienced in the kind of work that they are assigned to, and will be supervised by teh Builder or a Superviser knowledgeable and competent in each area of Work. The Builder will update the Architect periodically with respect to the quality of the workmanship and compliance with the drawings. The Builder and Workmen will insure that all work is installed plumb, level and square. All work shall be aligned "in-plane" and at correct elevations as required by the drawings. Particular attention will be given to "Center Alignments" and "Symmetry" of buildings elements as described by the Drawings or implied by the Design Intent.

7. OWNER & ARCHITECT'S REVIEW AND APPROVAL OF WORK:

All materials and workmanship shall be subject to the approval of the both the Architect and the Owner. Any approvals by the Owner alone shall be communicated to the Architect as well by the Builder so that the Architect can confirm that the work is in accordance with the drawings and the Design Intent, and that such approvals by the Owner alone with not be in conflict with work yet to be done or relating to issues that the Owner may not fully understand regarding the structural or aesthetic implications.

8. SUBSTITUTIONS AND ALTERNATES:

The Builder shall obtain written approval for any substitutions or alternates relating to Material Specifications in these drawings from both the Architect and the Owner. The Builder shall provide samples or relevant information regardiing all substitutions or alternates to both the Architect and the Owner.

9. INCLUSIVE COSTS:

The Cost for the Work of the Contract will include all materials, labor, transportation, tools, services, taxes, Insurances, equipment, rental fees, waste disposal costs, and all incidentals required to execute and complete the construction of the Project.

10. WASTE MANAGEMENT:

The Builder shall provide appropriately sized dumpsters located as approved by the Owner until the completion of the Project. The Builder shall maintain the site DAILY in a clean and orderly fashion. The Builder shall provide a more thorough end of week cleaning and organizing to prepare for the next week's work and to make sure that the site is safe for weekend use and inspections by the Owner. Upon removal of Dumpsters at the end of the Project the Contractor shall repair and restore the site where the dumpsters were located or transported over.

11. TEMPORARY FACILITIES:

The Builder shall provide sanitary facilities and a field office trailer with a job phone and fax machine or other image transmitting equipment via internet. The Builder shall provide an on-site camera to facilate emailing images to the Owner and Architect.

12: ADJUSTMENT OF CABINETS, HARWARE, & APPLIANCES:

Upon Completion of the Project the Builder shall ensure that all cabinets doors are aligned and adjusted, that all drawers work smoothly and close properly, and that all operating hardware on cabinets, windows and doors is in proper working order.

13. PROJECT PROTECTION AND COMPLETION CLEAN UP:

The Builder shall be responsible for adequate protection of all completed work and materials stored on site. Upon Completion of the Work the Builder shall remove from the Site all rubbish, waste materials, and scattered debris. All final Interior Cleaning including Windows and Doors shall be done by a Professional Cleaning Service experienced with residential end-of-construction clean-ups. All floors and surfaces shall be left broom clean and dust free. All wood floors, tile and stonework shall be vacuumed and poslished. All exterior stone surfaces shall be powerwashed. All window labels or other tags and attachments to construction elements shall be removed. All glass surfaces shall be scraped and washed both inside and out. All staging, brackets, or other construction aids shall be removed and any holes or attachment points plugged & sealed as appropriate. In general the Project shall be left in a "Like-New" condition throughout. Upon Completion of the Project the Residence shall be brought into "Turn-Key" condition and ready for the Owner to occupy.

14. PROJECT SAFETY:

The Builder is SOLELY reponsible during the construction of the Project, for keeping both the House and the Site as safe as possible, including the methods and materials used and the manpower necessary to keep the Project SAFE. The Buidler will inform ALL workmen and subcontractors of the need for safety and encourage everyone, including the Owner, to be alert and vigile while on the site. The Owner is SOLELY responsible for the safety of any children or visitors brought on-site without the Builder's knowledge.

15. INSURANCES & LIEN WAIVERS:

The Builder shall submit a Certificate of Insurance including policy number and Broker's Name and proof of Workmen's Compensation Insurance to the Owner prior to starting work. Lien Waivers by all subcontractors and material suppliers should be submitted to the Owner as each Subcontractor and Material Supplier are paid in full. ALL Lien Waivers must be submitted by the Builder to the Owner prior to the Owner making Final Payment of the Contractor's Management Fee.

16. CONTRACTOR'S WARRANTY:

The Builder shall warranty all work against defects in materials & workmanship for a period of One Year from the date of the Builder's Final Payment or upon issuance of the Certificate of Occupancy, which ever occurs first.

17. MANUFACTURERS WARRANTIES AND MANUALS:

Upon completion of the work the Builder shall furnish the Owner with all written warranties and equipment operating manuals for all products, equipment and appliances used in the construction of the Project.

ADDITIONAL CONDITIONS

1. PROGRESS MEETINGS:

The Builder shall coordinate periodic site meetings with the Architect & Owner to facilitate the progress of the job and to review compliance with the drawings and the Design Intention. The Builder shall also issue field notes from these meetings to the Architect and the Owner including; Who attended, items discussed, action taken, and concerns or issues raised.

2. CONSTRUCTION SCHEDULE:

At the start of Construction, the Builder shall issue a detailed Construction Schedule of all tasks and resources required to complete the Work. The Builder will update the schedule on a monthly basis and provide completion dates and benchmarks to the Owner and Architect.

3. COORDINATION OF MATERIAL ORDERS:

Long lead-time items such as windows and doors, tile & marble, plumbing fixtures and fittings, cabinetry and millwork shall be identified and ordered as promptly as possible as the final review and approval of samples & shop drawings are completed by the Owner or Architect.

4. OVERALL PROJECT COORDINATION:

The Builder shall be responsible for the overall coordination of the Construction of The Project including any materials or services to be furnished by the Owner, unless otherwise specifically stated by the Owner and approved by the Architect.

SCHEDULE OF COST ALLOWANCES & Request for UNIT COSTS The following Items & Allowances are to be included in the Contractor's base bid:

Interior Hardware for Doors, Windows and Cabinets... Coordination of Installation of Kitchen/Pantry Cabinets with mechanicals and space remodeling. (Note: Kitchen to be provided by Others. Not included in this contract.) Furnishing and Installation of Kitchen/Pantry Counter-tops...... 8,000 Installation of Kitchen Appliances furnished by Owner.... Installation Bathroom Vanities, Tops, and Cabinets provided by Owner......... 5,000 Installation of Bathroom & Cabinet Hardware & Accessories........ 2,000 Bookcase Built-ins (3), Window Seat (1), Casework... ... 10,000 Closet Interiors.... . 20,000

. 50.000

Items to be included in Bid as Unit Costs:

Furnish and Install brick floor in Basement to match existing. Furnish and install Carerra Marble Tile in Master Bathroom Expansion and Laundry Room.

Installation, assembly, and adjustments of all Hardware are to be included in the Contractor's Base Price. All exterior doors are to have full mortise lock sets and metal interlocking weatherstripping unless integral with the door as provided by manufacturer or as directed otherwise by the Owner. Tubular locksets will be used on all interior doors. Provide Baldwin Image series door hardware sets, or equivalent as selected by Owner and Approved by the Architect.

DEMOLITION

Total of All Allowances...

1. PERMITS

The Builder shall obtain all permits and post all notices necessary prior to demolition of the existing residence and accessory structures.

2. TESTING AND REMOVAL

The Builder shall ensure that the house and structures to be demolished are tested and evaluated for hazardous materials by a licensed independent testing laboratory. The Inspection report shall be provided to both the Architect and the Owner. Hazardous materials that may be present and requiring remediation including but are not limited to, Lead Paint & Asbestos.

3. DEMOLITION OF MECHANICAL SYSTEMS:

The Builder shall coordinate the removal of HVAC, plumbing, and electrical systems by licensed subcontractors familiar and experienced with Demotlition methods and requirements.

4. DEMOLITION DEBRIS:

All material and debris shall be removed and disposed of in compliance with all local, state and federal regulations.

2. SITE CONSTRUCTION

1. SITE PROTECTION AND CONTROL:

The Builder shall be responsible for minimizing the impact to the site due to construction work, vehicles and unloading and storage of materials. Trees, shrubs, rock outcroppings, and other site features that will be remaining shall be carefull protected during construction.

Sedimentation Controls, such as silt fences, shall be installed per the site plan and must meet all regulatory requirements by Town & State

2. PLANTINGS, PLAY SETS AND YARD FURNITURE

The Owner shall be responsible for removing all equipent and yard furniture from the site.

3. EARTH WORK

All topsoil shall be removed, stockpiled and protected prior to excavating the site. Excavate to grades required for the proposed construction to ensure frost protection and solid bearing. All excavations shall be slightly sloped to maintain shape and integrity of the excavation. Provide drainage swales or pump pits so that the excavation can be kept dry for proper placing of concrete. Do NOT over dig. If over digging occurs fill to proper grade with crushed stone and compact in 6" lifts. In such a case no more that 18" of gravel will be allowed to be added back in. If the over-dig is more than 18" then foundation walls will need to be extended and consultation with the Architect will be necessary, prior to continuing work, for possible structural modifications to the footings or foundation walls.

4. UNDERGROUND UTILITIES

The Owner has advised that there may be underground wires buried just below the surface in the area Southeast of the Basement expansion

The Builder should excavate and and work in this area accordingly.

6. GRADING

All excavations shall be backfilled with clean fill to within 6" of the final grades. The original (or new) topsoil shall be replaced and graded so that a consistent slope is maintained of at least 1/8" per foot way from the house inorder to ensure proper drainage. Grading will be done according the Architect's and Site Engineer's plan.

3. CONCRETE

1. Concrete for footings, foundation walls, and slabs shall be ready-mixed with a minimum compressive strength of 3000 psi @ 28 days, with 480 lbs of cement per cubic yard of material. The water/cement ratio shall be a minimum of 0.58. Crushed stone aggregate shall conform to ANSI/ ASTM C33. All placed concrete will be protected from freezing during times of cold temperatures with blankets or hay insulation, in compliance with ACI 306, latest edition. Concrete slabs for the Garage or driveway aprons shall have a minimun compressive strength of 3,500 psi @ 28 Days. Provide control joints in concrete slabs as required in consultation with the Architect.

2. FOOTINGS

All footings shall bear on undisturbed in-organic soils. Any questionable bearing strata shall be brought the Architect and Owner's attention. All footings shall bottom out at a minium of 42" below finished grade unless rockledge is present, in which case footings shall be pinned to the rock to prevent shifting due to subsequent localized settling. Step footings as required and reinforce steps if they exceed a ratio of 1:2, vertical to horizontaL. Footings will be provided with a 2"x4" keyway to stabilize the bottom of foundation walls against backfilling. All soil under and around footings shall be protected from freezing until they are backfilled.

3. STEEL REINFORCING

All footings shall be steel reinforced per the plans with Two (2) #5 rebar (5/8"). Bars shall be positioned 2" up from the bottom of the pour and 10" apart centered in the forms. Any foundations with walls more than 8' high will have steel reinforcing in the walls. Refer to the foundation plan or consult with the Architect to determine specific requirements of size and spacing. Non-driveable concrete slabs for interior floors, basement floors, terraces and walkways shall be reinforced with #4 re-bar (1/2") at 12" o.c. each way. Driveable concrete slabs for garages shall have #5 re-bar (5/8") at 9" o.c. each way, unless otherwise specified on the drawings.

4. VAPOR BARRIERS

All slabs shall be set on compacted 4" crushed stone with a 6 mil polyethylene vapor barrier laid over the stone. All Vapor Barrier joints shall be overlapped 18" or more.

4. MASONRY

Grouting and setting of steel plates, beams or columns shall be grouted with non-shrink grout.

1. CONCRETE BLOCK

Where appropriate, hollow load-bearing concrete masony units (CMU) can be used for fireplace infill and foundation walls under 48". Reinforce block walls with horizontal galvanized steel ladder reinforcing by "Duro-wall" or equivalent. reinforcing shall be embedded in mortar every other course. Additionally, if walls are more than 24" tall then reinforce vertically with 1/2" re-bar every 48" o/c.

2. FILLED CONRETE BLOCKS

Fill top course of concrete block walls where appropriate. At locations of point loads fill concrete block walls down to the footings. Where installing anchor bolts or other connectors, fill with non-shrink grout.

3. Non-Mortar STONE RETAINING WALLS In-Field (if applicable)

All stone, block, or concrete retaining walls not directly attached to the structure (In-Field) will bear either directly on rockledge or be supported by footings set on drained gravel trenches that extend below the frost line. Retaining walls more that 18" high will be provided with drainage or weep holes to relieve the build-up of hydraulic pressures and to allow for the natural flow of storm water. Stone walls not attached to the structure will be fully mortared and raked. Stone walls not attached to the structure will be built as "Farmer's Walls" with no mortar, and will sloped outward, wider at the base, to provide seasonal stability.

4. STONE VENEER

Provide 6" Stone Veneer as shown on elevations or indicated on foundation plan. Provide 5" minimum stone veneer shelf in foundation walls as required. Height of veneer shelf shall be 6" below finished grade. The Builder will review all heights of veneer shelfs with the Architect and Owner prior to placing concrete & placing stone work.

The Buidler will require the mason to prepare 4'x 4' sample sections of stone work for review by the Owner and Architect. All stone veneer will be comprised of a mix of stone as follows: 50% square and rectangular split field stone, 25% split field stone, and 25% ashlar strips and chinking.

Do NOT use large triangular stones and/or severely trapezoidal stones. Tall squarish stones may be used at corners and alongside openings. Uniform patterning of stones of a similar size shall be avoided. The Design intent is to create the effect of an old Connecticut foundation wall with a variety of sizes and an interesting but random texture. Unless matching existing stone veneer walls, the overall appearance of the "lay of the stone" is to have a horizontal bias. Mosaic and very short strip patterns are to be avoided. The Builder will review the sample sections with the Architect prior to beginning major stone areas in highly visible areas such as the front of the house.

5. MORTAR TYPE

Location	Building Segment	Recommended Mortar	Alternative Mortar
Exterior, above grade	Load-bearing walls Non-load bearing walls Parapet walls	N O N	Sor M N or S S
Exterior, at or below grade	Foundation walls, retaining walls, manholes, sewers, pavements, walks and pations	S	M or N
Interior	Load-bearing walls Non-load bearing walls	N O	S or M

11. ANCHOR BOLTS

Install 10" long by 1/2" diameter galvanized threaded 'L' bolts with nuts and washers at 4' o/c maximum and 12" from corners. Embed bolts at least 7" and ensure that bolts are positioned properly for the specific conditions for each given wall design. Coordinate anchor bolts with additional anchoring as may be required in high wind zones. See drawings for additional details for High Wind Zones or refer to the WOOD FRAME CONSTRUCTION MANUAL 2001 for alternate methods and techniques for wind bracing and uplift resistance.

12. FOUNDATION WATERPROOFING

Provide TREMCO 'Tuff-N-Dri" waterproofing and insulation protection board for all foundation walls enclosing basement spaces. Alternate waterproofing methods may be used but are to be reviewed and approved by the Architect prior to application or installation.

13. UNDER SLAB & FOOTING DRAIN PIPING

Provide perimeter footing drains for all foundation walls enclosing basement spaces. Provide underslab drainage pipes embedded in 4" of crushed stone and piped through foundation to daylight, or if applicable to a level spreader or infiltrators as may be shown on a drainage plan. Do not connect slab or footing drains to storm water infiltrators without providing reverse-flow check valves. All piping shall be 4" perforated PVC. Glue all joints and ensure that pipe perforations are FACE DOWN, NOT UP when placed into the gravel drainage beds or around footings.

14. TERRACE AND WALKWAY FLAGGING

All terraces and exterior stair surfaces will be 1-1/4" NEW YORK Blue-Stone. The Stone Mason will select-out all stones that are cracked or showing signs of rust or discoloration. Perimeter stones for terraces and stair steps will be 2" tread stock with flamed edges. Do not allow any cut edges to be exposed. Unless otherwise indicated on the drawings use square and rectangular patterns for the bluestone...paying particular attention to symmetry lines and patterns that relate on axis to architectural elements such as doorways and stairs. DO NOT place stones so that joints occur at the center of steps or landings in front of doors. All stone work patterns will be approved by the architect at the very start of laying the stones before any large areas are covered.

15. Provide poured concrete wire mesh reinforced slabs as pads for AC condensers and for the back-up Generator. Pads shall be supported by perimeter footings for frost protection or deep gravel filled holes. Do NOT set pads on organic material. Provide a 4" crushed stone base with drainage under all slabs and sleeve through the footings prior to pouring concrete to allow for connection to the perimeter drains.

Issue Date

6/10/23

Revisions

Scale (s)

Page

- 1. All fireplaces and chimneys shall be built by experienced masons familiar with the techniques and methods of high quality masnonry
- 2. Chimney unit masonry core construction will include vertical reinforcing with #5 steel rebar in each of the four corners and will run from the foundation to the top of the chimney. Steel rebar lengths shall be overlapped a minimum of 12" and tied. Horizontal reinforcing shall be provided over all openings or voids in the form of steel lintel angle iron or duro-wall ladder ties as required.
- 3. Chimneys will be clear of all structural framing by a minimum of 2" and sheet metal firebreaks shall be installed into the masonry at each floor, as the chimney is built, and secured to the subfloor of each deck.
- 4. Chimneys will be lined with appropriately sized clay flue liners grouted with non-shrink mortar. All Chimneys will have 3" Stone Caps set on corner and intermediate upright stones. Support stones shall be pinned and mortared into the bearing surface and up into the Stone Cap. If stone caps are made of more than one stone, ensure that the joints do not fall over the flues and that the joints are adequately grouted to shed water.
- 5. Samples of exterior stone veneer shall be provided for review and approval by the Architect and the Owner prior to surfacing the chimneys.
- 6. Firebox interiors shall be refactory firebrick "Splits" laid in a running bond pattern unless otherwise indicated on the plans or as requested by the
- 7. Fireplace Surrounds and Hearths shall be granite, slate, or marble stone slabs as selected by the Owner. All fireplace hearths shall extend 24" from the face of the Surrounds and 12" to either side of the firebox opening. Hearthstones shall be flush with adjacent floor surfaces.
- 6. All Fireplaces shall be equipped with outside air intakes for combustion air using clay thimbles and screened wall vent caps to shed water and to
- 9. Provide backdraft dampers and properly constructed smoke-shelves at the throat of all fireplaces.

5. METALS

- 1. Refer to drawings for location and sizes of all steel beams and columns. All structural steel shall be fireprotected with a 2 hour rating.
- 2. All steel beams shall comply with ASTM 36 and will be inspected for proper slze, thickness and connections as per the Architect's plans prior to being concealed by framing or insulation. Shop drawings shall be provided by the Contractor to the Architect of all connectors and connector conditions, especially when more than one beam bears on a single column. All connections will be inspected by the Architect or Engineer prior to closing up the work.
- 3. All steel columns supporting steel beams or other concentrated load assemblies shall comply with ASTM A53, Grade B specifications. Top and bottom spread plates shall be 1/2" thick steel. All anchoring bolts shall comply with ASTM A307.
- 4. All visible exterior flashing shall be lead coat copper unless otherwise specified in the drawings. Concealed flashing can be aluminum. Care shall be taken to make sure that dis-similar metals are not in direct contact with each other and that they are seperated by rubber membranes or other intermediate materials that will prevent electrolytic corrosion.

6. WOOD & PLASTICS

ROUGH CARPENTRY - GENERAL

1. All carpentry work work shall comply with the following regulations, governing standards and recommendations:

American Wood Council, "Wood Frame Construction Manual for One and Two Family Dwellings". latest edition. American Institute of Timber Construction - "Timber Construction Manual" - latest edition. National Forest Products Association (NFPA), National Design Specifications for Wood Construction", latest edition. National Bureau of Standards, Product Standard PS20-70 "American Softwood Lumber Standards". Western Wood Products Association (WWPA), "Grading Rules", latest edition. American Plywood Association (APA), Grading and Rating Rules and Trademark Standards, Latest Edition.

American Wood Preservers Institute (AWPI), Standards, latest edition. Architectural Woodwork Institute (AWI) Quality Standards, latest edition.

- 2. All rough framing shall be carefully laid out prior to construction, verifying all dimensions in the field, with particular attention to accurately locating all long span and concentrated load paths and conditions. Any discrepancies with the Architect's drawings shall be reported immediately to the Architect for review and evaluation prior to continuing with the construction.
- 3. Carpentry work shall be coordinated and planned after review of the plans for the HVAC, Plumbing, and Electrical work and all other systems to be concealed within, supported by, or integrated with the framing. Particular attention shall be paid to ensuring that recessed lights, switch devices, plumbing fixtures, HVAC grilles, and other exposed finished elements are centered, aligned or otherwise properly placed and located; and are consistent with the Design Intention for symmetry, axial alignments and heights. The Architect and Owner will require that any conflicts between carpentry and finished assemblies be corrected and will request re-framing or structural adjustments as appropriate to meet the Design Intention of the drawings.

FRAMING LUMBER

1. Grading and Selection:

All framing lumber shall bear the WWPA grading stamp and stress mark designations for determining allowable stress in bending and the modulus of elasticity for each member. Maximum moisture content of all framing lumber shall be 15% or less. The Contractor and Framing Subcontractors shall visually select out and discard any wood members that are warped, cracked, twisted, badly checked or otherwise compromised in terms of trueness or structural integrity.

2. Bearing Plates:

Sill plates, wall plates or other structural framing bearing on, or in direct contact with concrete, cement or masonry units shall be pressure treated lumber bearing the stamp - CCA Perservative-treated, #2 or better. Alternatively, in some conditions, such framing can be isolated with metal flashing or a rubber membranes. Provide pre-formed polyethylene Sill Sealer under all bearing plates.

Particular attention shall be paid to ensure that a uniform thickness of plate heights be maintained around the perimeter of the building, at masonry piers, steel columns and at all concentrated load points, so that shrinkage of horizontal wood fiber will not cause uneven settling or shifting of walls and floors.

3. Deck Framing:

All Floor Joists and structural assemblies shall be sized and spaced as indicated on the framing plans and laid out flat, level and square. All Deck framing shall have a minimum bearing of 2" at each end. Deck framing may be laterally constrained from twisting with steel tension ties if the framing is engineered lumber such as TJI's or LVL's. Dimensional lumber shall be cross braced with solid wood bridging at a maximum of 8' o/c. All deck joists supported by flush beams shall be connected with appropriately sized joist hangers fastened with case hardened nails. If the deck joists are pressure treated lumber ensure that the joist hangers used have a non-corrosive coating. All joists shall be checked individually and "crowned" to ensure a flat deck once all dead loads or superimposed. All TJI deck joist systems shall have "squash blocks", web stiffeners or other reinforcing as required per the manufacturer's recommendations. Unless otherwise noted, provide 1-3/4" LVL's to be used as "Rim Boards". Do NOT use the 1-1/4" non-LVL Rim Boards unless reinforced with LVL squash blocks. Double all joists under ipper story partitions.

Load bearing dimensional lumber for studs, plates and headers shall conform to DOC PS 20-70, and to other applicable standards and grading rules. Studs shall be a minimum #2 Standard or "Stud Grade" lumber. All studs shall be Douglas Fir/Larch unless otherwise indicated on the plans. Minimum Bending Design Value (Fb) of all suds shall be 875 psi. Modulus of Elasticity "E" shall be 1,600,000 psi minimum. All top plates shall be doubled and interwoven at corners.

All Exterior corners and wall intersections occurring at exterior walls shall be framed in such as manner as to be accessible for insulating later, or if they are closed corners and intersections, the Contractor shall ensure that the framing subcontractor and completely fill the cavities or voids with extruded polystyrene insulation. DO NOT use Fiberglass insulation unless structure is weathertight. DO NOT use white bead board for any insulating applications.

5. Nailing & Structural Fasteners:

It is recommended that the Buidler provide all Framing Subcontractors with a copy of the "Recommended Nailing Schedule" per the Connecticut Basic Building Code, Appendix C. The Architect and Builder shall together review all nailing and fastener connections prior to covering up the work.

Provide Code approved galvanized hangers (Simpson, Teco, etc) for dimensional and engineered joists. For engineered joists use hangers and fasteners approved by the manufacturer for the specific application. Use "Over-the-top" Strap Hangers for beam-to-beam connections unless custom hangers are indicated.

Install Hurricane Tie-Down fasteners between rafter tails and upper wall plates at each rafter or truss. Use Simpson "H-3" Hurricane Tie or equivalent.

In High Wind Zones provide additional code-approved anchors, tie-downs and straps. Pay particular attention to creating a CONTINUOUS tension path from the upper most part of each Structural Roof Member and down through deck assemblies to the foundation at a maximum of 12' o/c and at each wall corner. Floor tie anchors are o be 'Simpson FTA2' or equal. Foundation Corner Anchors to be 'Simpson PHD5 Hold-Downs with 5/8" dia. bolts and CBW 5/8" 'Inspection couplers' as required.

Column Uplift Connectors: Provide Column support bases for all Porch Columns with connector rods that anchor at least 8" into the foundation or concrete pier. For Polystyrene Columns use Simpson Titen HD rod couplers & anchors.

Where Joist hangers hold dimensional lumber at conditions like flush beams, rabbet the bottom bearing ends of the joists so as to receive the thickness of the hanger seat in order to create a flush condition for ceiling surfaces. For engineered joists like TJI's, DO NOT modify wood flanges but hold hangers up the flush beam the thickness of the hangers so that the ceiling surface can be as flush and flat as possible.

6. Headers for Windows and Doors:

Provide LVL headers for all Windows and Doors. DO NOT use dimensional lumber for headers. All headers are to be sized appropriately for the spans and have adequate end bearing area for the spans supported. It is preferred that all headers be held tight to the underside of the upper wall plates with cripples below the header down to an Opening Plate, rather than with the header directly above the opening. All Hollow headers shall be filled with solid rigid extruded polystyrene foam board.

Provide sheetrock nailers at the interior and exterior corners of all walls at at all openings.

Provide draft and fire-stop blocking at the tops of all walls, between floors or stories, in wall assemblies just under any soffits, dropped celings or other intermediate horizontal framing. In general, all framed cavities should be blocked to prevent fire from being able to move from one cavity to the

Provide Copper Termite Shields under all Sill Plates within 12" of Ground Level.

The Builder shall verify with the Architect that all superimposed structural loads are transferred along a direct continuous "Load Path" of solid framing, blocking, and columns to the bearing foundation or pier. The Contractor will also verify that all interior walls are built above doubled joists, blocking, or

FINISH CARPENTRY AND ARCHITECTURAL MILLWORK

All millwork and trim shall be carefully cut and joined with tight fitting joints as applicable for the type of joinery employed, ie dovetail drawers, pegs or

Use fine finish nails or staples. Blind nailing should be used wherever possible to minimize visible surface nails and the need for filling and putty. Facenailing shall be counter-set and plugged with solid wood or putty to match or facilitate the intended finish.

Back & Face Prime all wood surfaces with an oil based primer/sealer. Pay particular attention to ensuring complete sealing of end grain.

All millwork will be thoroughly sanded and cleaned and ready to receive paint or stain. Slightly ease all exposed wood edges so as to minimize splintering and corner dents.

Conceal, stagger, or locate joints in the millwork at unobtrusive spots even if the wood will be painted. Never join wood mid-length over or alongside an opening.

Use 'Scarf Joints' on unavoidably long runs. Organize and coordinate wood lengths to be as efficient as possible in installing longest pieces possible in all runs.

Return-Miter all outside corners at shoe moulding, base cap, and other similar conditions. Cope all Inside corners.

All Butt-joined casing or millwork shall be biscuit joined at the ends and along lengths of joined boards. Fully glue all biscuit joints. DO NOT use expanding polyurethane glues like "Gorrila Glue". Use white or yellow wood glues.

INTERIOR TRIM MATERIAL

Refer to drawings and sections for Profiles and Details of specific mouldings to be used. All moulding used in these drawings are based on Profiles by HallMark Woodwork in Danubury Ct. Alternate profiles, or profiles from other manufacturers. shall be reviewed and approved by the Architect prior to installation.

Use clear Poplar or Hard Maple where surfaces will be painted. Do not use fingerjointed material or moulding profiles unless absolutely necessary. Maximum allowable moisture content of woods shall be 5% to 7%. All woods shall be free or defects and warping. Acclimate wood materials to the prevailing humidity conditions in the spaces where the woods will be installed for at least one week. The Contractor shall check the moisture content of the wood just prior to installation to ensure that the wood is dry enough to be joined.

FLAT CASEWORK

All Painted Wood Casework such as shelving, panels, or shelves wider than 11" shall be constructed of architectural grade birch-veneer-plywood. All exposed edgegrain shall be finished with a SOLID WOOD EDGE PROFILE (not edgebanded) and sanded flush with the plwood surface.

MISCELLANEOUS SPACES

Unless otherwise noted on the plans, all closets, alcoves, or niches shall receive the same finish as the primary space it is adacent to or part of. This includes but is not limited to: baseboard, baseboard caps, shoe moulds, chair rails, paneling, casings, and ceiling mouldings.

CLOSET SHELVES & RODS

All interior closet rods shall be chrome or chrome-on-brass 1-1/2" pipe set in chrome cup holders securely attached to wall cleats or solid wood

Provide intermediate support brackets on runs over 6'. Refer to Closet Drawings for typical fit-ups.

EXTERIOR TRIM MATERIAL

Siding shall be clear western red cedar R&R perfection shingles with an exposure of 5" to the weather. All Siding shall be applied over 15lb felt paper or code approved house infiltration and water-barrier house-wrap. DO NOT USE TYVEK or non-permeable plastics

All siding shall be ordered PRE-PRIMED from the manufacturer. The color stain shall be selected by the Owner and Architect from Sample Boards provided by the Contractor. Fresh field cuts made during installation of the siding shall be re-stained on-site using the same stain as used for Prestaining or color matched per the Manufacture's Color Code.

All exterior trim shall be solid Mahogany or Spanish Cedar boards. DO NOT use fingerjointed boards or eased edge boards. All exterior trim shall have crisp square corners especially all board joined at exterior corners or columns or walls. Do not use soft cedar or pine unless specified on the

EXTERIOR FASCIAS, FRIEZES, AND BACKING BOARDS FOR MOULDINGS Provide clear mahogany or spainish cedar for all exterior trim. Pay particular attention to designed reveals, alignments & proportions. Dado soffits into

to compromise the integrity of the flashing or adjacent membranes.

the back of Fascias by 1/4" deep and leave 3/8" reveal on the back side of all Fascias.

EXTERIOR WINDOW & DOOR CASING

Exterior casing ordered with window and doors will be as identified on the window and door schedules. All field appplied casing shall match thickness and width of manufacturers casings & sills. EXTERIOR DOOR THRESHOLD APRONS

EXTERIOR SOFFITS: Roof soffits under the eave ends of rafters may be built of soft Cedar, Mahogany, or Spainish Cedar. Soffits larger than 11" wide may be built of 3/4" Medium Density Fiberboard (MDO). Note, all eaves will have soffit vents... see plans and soffit specs. for details.

Use Azek (or equivalent) 'plastic composite wood' aprons under all door sills. Coordinated with door threshold type and copper door pans so as not

EXTERIOR COLUMNS:

All exterior columns will be 9" wide square columns built on site. Column cores for structural columns shall be 6x6 PSL posts on galvanized steel base anchors. Outer column material shall be 5/4" Mahogany or Spainish Cedar biscuit joined at all butt edges. Outer column surfaces shall be trimmed with sold wood mouldings and casings. See plans for specific details for each type of column. All columns will be sufficently anchored to the foundation and the beams they support.

DECORATIVE EXTERIOR SHUTTERS OR BRACKETS

Provide solid western red cedar assemblies for any shutters, support brackets or corbels, or other wood suitable for exposure to the weather such as cypress.mahogany or redwork may be used as well.

All terraces are planned for Buestone. However, wood decking may be selected as an alternate material with appropriate design changes. For closed

wood porch floors use 5/4 x 4 mahogany T&G decking laid with a 1/8" per foot minimum pitch away from house walls. For open pervious decks use 5/4 x 6 lpai or dense mahogany square-edged boards with concealed connectors or fasten from underside with

Exterior porch railings shall be made from Mahogany, Spainish Cedar, or select doug fir. See drawings for details and further specifications regarding attachment to columns and details for posts and caps. DO NOT use pre-made post caps unless approved by the Architect.

CORNER BOARDS

All cornerboards shall run continuously up all exterior corners as shown on the drawings and will be installed over metal flashed or double tar paper wrapped plywood sheathing. DO NOT use fingerjointed wood. DO NOT use eased edged woods where two boards are joined at right angles.

CABINETRY AND CASEWORK

The Builder shall select cabinetmakers with a proven reputation for doing high quality work appropriate for the level of craftsmanship expected by the Owner and Architect. Selection criteria shall include Cost, ability to produce Shop Drawings, ability to meet schedule deadlines, and ability to install and field adjust all cabinets, doors, and hardware. The Architect reserves the right to approve the cabinetmakers selected and to request references and to see completed work in order to advise the Owner as to the qualifications of Cabinetmakers.

Cabinet Construction: All cabinets shall be constructed to AWI premium grade standards. Face frames shall be of 1" thick paint grade hard maple, doweled and glued at joints, and attached to cabinet boxes with continuous dadoed joints on all sides. Boxes shall be made of premium grade plywood with all edges banded or receiving solid wood edges.

Cabinet Interiors: Interior of cabinets shall be minimum 1/2" thick maple veneer plywood finished with two coats clear catalyzed varnish prior to assembly. Provide interior access panels or wiring chases as required. Interiors of cabinets with glass doors shall be paint grade construction.

Shelves: All shelves shall be a minimum of 3/4" thick plywood edged with appropriate solid wood profiles or edge-banded if no profiles are indicated. Any Pull-out Shelves shall be maple veneer plywood finished with two coats clear catalyzed varnish. All cabinets to have adjustable shelving.

Drawers: Sides and backs a minumum of 1/2" thick solid hardwood with exposed dovetail joinery. Drawer bottoms to be a minimum of 1/4 veneer plywood. Slides to be full extension self-closing under-mount assemblies. Large drawers to have heavy duty side mounted full extension glides.

Door & Drawer Fronts: Front frames or solid panels shall be a minimum of 1" thick. Recessed panels within a perimeter frame will be a minimum of 1/2" thick. Where cabinets are to be stained rather than painted plywood panels will have matching hardwood veneers. Countertops: Stone counter tops will be templated after cabinet bases are installed by the stone supplier/installer. Joint locations for tops and

backsplash configuration will be reviewed with the Architect and Owner prior to fabrication. The Contractor will provide the stone supplier with all

undermount sinks and hardware for cutting holes and installing sinks to under-side of stone tops. Hardware: Unless otherwise specified all cabinets will have concealed hinges. Exposed hardware will be as selected by the Owner and will be

installed in locations on doors and drawers as marked by the Archiect and Owner.

Finishes: Where cabinets are to be field painted use Benjamin Moore paint or equal paint with colors as approved by the Architect and Owner. Provide one prime coat of oil enamel underbody; Two finish coats of "Impervex" enamel with semi-gloss or gloss sheen as selected by Owner or Architect. Where cabinets are to be stained, use two coats of "Guardian", or equal, stain and two coats of clear finish lacquer or polyurethane/oil finish as appropriate.

Cabinet Maker's responsibilities: the Cabinet Maker will provide shop drawings of all cabinets and casework based on the pre-shop drawings prepared by the Architect. The CabinetMaker will verify all measurements, dimensions, and field conditions prior to preparing shop drawings. Any discrepancies shall be reported to the Architect prior to starting fabrication. The Cabinet Maker will provide written warranties for cabinetwork and

7. THERMAL & MOISTURE PROTECTION

ROOFING: Match Existing Roof Shingles as Approved by Owner and Architect.

Roofing material shall be 'Certi-Last' premium grade pressure preservative treated taper sawn cedar shakes meeting the specifications of the Cedar Shingle and Shake Bureau. Taper sawn shakes shall be a nominal length of 18" with 1/2" butt ends and random widths a minimum of 3-1/2". All product shall be 100" edge grain material. Install shakes with a 6" exposure to the weather. Shakes shall be laid on 5/4 x 4 spruce battens spaced at 6" o/c and one layer of 30lb roofing felt (ASTMD4869). Install 72" wide Ice and Water Shield rubber membrane at all roof eaves and 36" wide centered on all valleys. Provide "Open Valley" with 'Freedom Gray' revere copper flashing. Solder all joints that don't overlap more than 6". ROOFING INSTALLATION

Starter Course: Install a starter course at the eaves to align and undercourse roof. Project shingle butts from 1 to 2 inches (51 - 76mm) beyond eaves. Offset: Space roofing shakes or shingles 1/4 inch to 3/8 inch (6 - 10mm) apart to allow for possible expansion. Offset subsequent courses at least 1 1/2

Fastening: Install shakes or shingles with two (2) hot dipped zinc coated or stainless steel fasteners. Length must be sufficient to penetrate at least 3/4 inch into dimensional lumber or through plywood or OSB sheathing.

Penetrations: Follow SMACNA guidelines for fabrication and installation of flashings at all roof penetrations. Protect installed products until completion of project.

Touch-up, repair or replace damaged products before Substantial Completion.

FLAT SEAMED COPPER ROOFS: If indicated on the plans, flat seamed copper roofs will be 16 oz. "Freedom Gray" Rever Copper over red rosin

RIDGE AND EAVE VENTILATION: All roof ridge vents to be low-profile 'Cora-Vent' ridge vents or approved equal. Ridge vents are to be covered with

cap shingles or inverted 'V' cap board of solid cedar. All work will be installed to the highest standards and care will be taken to ensure watertight integrity of all ridge vent assemblies. Eaves will be vented using 1" x 3/4" white 'cora-vent' soffit vent material integrated into the soffit trim assemblies as shown in these drawings. Care will be taken to ensure a positive ventilation channel from the soffit vents up over any rafter tail blocking and into the 1" air space under the roof sheathing.

ROOF FLASHINGS: All flashing materials, methods and techniques, will comply with the guidelines of the 'Copper Development Association". Eave flashing shall be 96" pre-formed copper drip edge material and fastened with copper nails and hangers. Copper Step flashing shall be provided at intersections of all sloping roofs and vertical surfaces including dormer walls, sidewalls of upper stories, and around chimneys. Interleave step falashing and shingles with 3" minimum laps. Flash all chimneys through to the flues. Vent pipe flashing shall be 16oz Revere Freedom Gray copper. No exposed PVC or other plastic pipe is acceptable. Flash and counterflash all roof penetrations with appropriate rubber boots and extend base shields 6" minimum onto roof surface. Provide "Open Valley" flashing with 'Freedom Gray' revere copper flashing. Solder all joints that don't overlap

WINDOW PANS: Install full width copper pan flashing under windows that are within 6" of lower roof surfaces. Pans shall be shop-formed and intalled under window sills with edges folded up behind and at end of sills by 1/2".

GUTTERS & LEADERS: Provide new 6" diameter half-round copper gutters and 4" diameter copper pipe leaders with heavy duty strainer screens. Gutter hangers shall be spaced evenly at around 3' o/c maximum. Provide leader sleeves at grade and tie into the storm water drainage and retention system as shown on the engineer's drawings. Submit gutter, leader, and hanger sample for approval by the Architect.

LEADERHEADS: Provide 'Hearth' model conductor heads as manufactured by Copper Craft, Inc or approved equal. Contractor shall review locations, runs, and connections to house Siding or Cornerboards with the Architect.

SNOW GUARDS: Provide stainless steel #100 Pro's snow guards as manufactured by 'Berger Bros' (1 800 523-8852). Secure to roof sheathing. Install @ 16" o/c in a staggered pattern 3 rows high at all eaves except dormers.

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HVAC RELATED WORK: The following items related to the HVAC work and to be provided by others are to be included in the Contractor's Base Bid for HVAC.

All Power wiring and connections, installation of low voltage temperature control wiring, and required service switches at equipment locations.

Kitchen Hood Exhaust Fan, Motorized Backdraft damper, controls & exterior vent cap.

Additional insulation of equipment spaces and pipe insulation.

Radiant Heat lines and manifolds.

All chasis or structural suspension systems for equipment.

Undercutting of doors or providing of fresh air supply into equipment rooms.

Concealment of ductwork and equipment as required.

Bathroom exhaust fans, ductwork, and vents. Provide remote exhoust motor systems such as 'FanTech' or 'Penn-Zephyr'.

Patching of floors and walls around ducts and vents.

Trenching for piping and underground supply lines.

Minimum 4" thick reinforced concrete pads for condenser units with perimeter frost protection..

HVAC System Design: As per plans by HVAC engineers, Tucker Associates, Inc.

The HOUSE HVAC SYSTEM shall be comprised of Four (4) Hydro-air sub-systems as follows:

SUB-SYSTEM 1 - 2nd floor Master Bedroom Suite

SUB-SYSTEM 2 - 2nd floor Secondary Bedrooms & Guest Bedroom Suite over the Garage

Provide Zone Dampering for this system as follows

ne 1 - Maise's Room, Wren's Room, Girl's Bathroom & Riley's Room.

Zone 3 - Guest Suite and Guest Stair Hal

B-SYSTEM 3 - 1st Floor Formal spaces including the Living Room. Dining Room. Fover and Entry

. SUB-SYSTEM 4 - 1st Floor Informal spaces including Family Room, Breakfast Area, Kitchen, Pantry, mudroom areas and Basement Utility Space.

rovide Zone Dampering for this system as follows:

Zone 1 - Kitchen Breakfast Area & Family Room

Zone 2 - Mudroom, Bathroom, Pantry

3-SYSTEM 5 - Future System for Attic Expansion. Provide Rough-in only of condensate drain lines and supply piping.

IR SIDE of SYSTEM:

Provide 4 Carrier FY4 series air-handlers.

Provide 4 Carrier Hot water Colls. Provide 4 Carrier 24ABA3 base series Puron Condensing Units with SEER rating of 13.0.

Condensing units will be installed on concrete pads behind the Garage as shown on the drawings

Air Handlers for Sub-system 1 & 2 will be located in the attic as hown on the drawings and will be suspended from the roof rafters and isolated for vinration and noise.

Air Handlers for Sub-systems 3 & 4 will be located in the Basement utility space.

flexible branch ducts to each register which shall each have volume controls. All supply air ductwork will be insulated with 2" thick fiberglass insulation.

The HVAC Contractor will provide the following approximate quantities of registers and grilles:

UB-SYSTEM 1 - Nine (9) supply air registers and two (2) return air grilles.

SUB-SYSTEM 3 - Eight (8) supply air registers and two (2) return air grilles.

SUB-SYSTEM 4 - Fourteen (14) supply air registers and two (2) return air grilles.

All supply and return air grilles located in hardwood floors are to be made of wood to match the hardwood floors and to be manufactured by Woodventures Company or other approved supplier. All other grilles in walls or ceilings or non-wood floors to be made of metal and manufactured by Lima Corporation or other approved supplier, and as approved by the Owner and reviewed by the Architect.

The HVAC Contractor shall provide the following:

Five (5) Honeywell programmable thermostats.

Five (5) Space Guard Media Filters.

Two (2) 'April-Aire' by-pass type Humidifiers and piping for Subsystems #1 & #2.

One(1) Kitchen Hood Exhaust Ductwork and one(1) roof/wall termination vent and rain cap.

Two(2) Dryer ventilation ductwork and two(2) roof/wall termination vents and rain caps.

Provide rough-in of drain and pex Hot water piping for future Attic

Shop drawings for review by the Architect and Contractor. Air & pressure Balancing upon system completion. Start, test, and place system into proper operation.

WATER SIDE of SYSTEM:

Provide two(2) Buderus G-215/6, oil fired hot water boilers. Each boiler shall have a net IBR rating of 223,000 Btuh at an AFUE (annual fuel utilization efficiency) rating of 86% minimum.

Provide one(1) Buderus ST-300 79 Gallon Indirect Domestic Hot Water Heater.

Provide one(1) Buderus Logomatic 2107 Control board with outdoor reset control for staging the two boilers.

Provide piping loop, which will serve an Indirect Domestic Hot Water Heater and Five(5) air handlers. Each Zone will serve its own circulator.

Provide all PEX piping insulated with 1/2" thick Armaflex insulation.

Provide all hydronic controls and related control accessories.

Provide all low voltage connections.

Start, test, and place system into proper operation.

ELECTRICAL

SCOPE OF WORK:

Provide and install new underground 400 AMP service from street including all underground piping, sweeps, and conduit boxes.

As required: Provide and install Service Panels, Breakers, Disconnect Boxes & Swithces, and Back-up Generator Transfer Switch.

Provide and install all power outlets, switches, wiring, and Lighting fixtures as indicated on the drawings, as required by code, or as implied by Design Intent.

Provide and install all wiring, terminations, and devices for Cable TV, Telephone, and Ethernet as indicated on the plans or as requested by the Owner

Provide Temporary Electrical & Telephone service to the Job site during Construction.

All equipment, components, wiring and intallation work shall conform to the National Electrical Code, The State of Connecticut Building Codes, and any local regulations or ordinances.

All New Wiring shall be 'Romex' cabling with copper conductors, sized as required for the design loads.

Service Cabling may be Aluminum. Use approriate connectors and lugs for Aluminum Service Cable.

COORDINATION:

The Electrical subcontractor shall coordinate with the HVAC subcontractor adn the Builder with respect to control and power wiring as required for the following components and equipment units:

Condensing Units
Air Handlers
Thermostats
Slab sensors
Kitchen Exhaust Fan

Bathroom exhaust fans

The General Contractor and Electrical Contractor shall coordinate work related to the following:

Back-up Generator
Dedicated circuits for appliances
Alarm and Security Systems
Central Vaccum if requested by the Owner

Garage workshop outlets and other special requests for additional power outlets.

DEVICES:

Install standard switches, receptacles, and cover plates throughout.

The General contractor and Electrical Contractor will work with the Owner to identify circuits & switches that will have dimmers or other special controls. Dimmer Switches will be of the type with a toggle switch and integral dimming slide.

All Closet doors to have self-activated door jamb-switches unless otherwise noted or requested.

The Electrical Contractor shall neatly label all circuit breakers in the main service panel and at each sub-panel by room name and load type (ie lights, outlets, fan. etc)

Sub-Panels will be located one each floor and circuits wil be laid out so that each sub-panel services the floor it is on.

The Sub-panel for the first floor will be located in the Laundry off the Mudroom.

The Sub-panel for the second floor will be located in the Laundry in the Children's wing.

The Sub-panel for the third floor will be located as determined in the field with the Architect and the Owner.

Initial layout for the placement of all lights, switches, and outlets will be reviewed with the Architect prior to installation. The Owner & Architect will review the final placement of all Recessed Fixtures. The Contractor will supervise and oversee the installation of all Recessed Fixtures in order to coordinate proper framing and to ensure symmetry around architectural elements and alignments.

TYPICAL LAYOUT OF BEDROOM RECPETACLES:

One outlet on each wall of all bedrooms shall be half/switched unless otherwise noted or requested. All half/switched outlets shall be switched from the entry door to each bedroom and will be ganged with any additional ceiling light switches.

GENERATOR:

Provide all wiring, panels, transfer switches, and control wiring for the Back-up Generator. Contractor and Electrical Contractor shall review size. manufacturer and location on site with the Owner and Architect.

LIGHTNING PROTECTION:

Furnish and install a complete lightning protection system by 'Woods Lightning Protection', or approved equal. This system shall be designed to meet NFPA 780 lightning protection code.

'SMART' SYSTEM CONTROL :

Provide pricing to the Owner for a complete Home Control System such as 'Crestron' or other as may be requested by the Owner.

EQUIPMENT WARRANTY:

All systems and materials furnished and installed shall conform with the State of Connecticut and local building codes.

The HVAC System shall meet or exceed the following Design Performance Specification: Summer Operation - 75° indoor temperature @ 95° dry bulb outdoor temperature. Winter Operation - 70° indoor temperature @ 0° dry bulb outdoor temperature.

THE HVAC Subcontractor and the Builder shall warranty all HVAC systems for a period of one year from the date of Substantial Completion of the Project or the issuance of the Certificate of Occupancy whichever is later. This one year warranty will include equipment & parts replacement, system adjustments, or service work required during the first year of operation. Filter changes will be provided by the HVAC Contractor upon initial occupancy by the Owner. Additional filter changes are not included in the warranty.

GARAGE HEATING - Location of existing propane Ceiling Hung unit to be reviewed with the Owner and Architect. Unit may need to be relocated in order to accomodate the new stairs from Master Bedroom Closet to Storage area over Garage.

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INSULATION:

Walls, Floors, Ceilings, and Roof cavities shall be insulated with High-Density Fiberglass Batts to achieve the required insulating values as described in the Drawings. All cavities will be cleaned of dirt, saw dust, and debris prior to installation. Insulation shall be neatly fit into all cavities taking care to work around wiring, piping and ductwork so as to achieve a uniform and complete filling of all cavity spaces. Do not leave any voids. Take care to make sure that closed wall corners or tight joist conditions get properly insulated. Remove framing or cut holes in framing so as to fill all inaccessible cavities.

The Builder shall have the Insulation company verify that the insulation work complies with the Connecticut State Building Code's most recent requirements for energy conservation. The Contractor shall request the Insulation Subcontractor to complete a MECcheck energy analysis report and submit copies to the Architect and Owner. In general, required insulation values are as follows unless otherwise specified on the plans:

Below Slabs - Minumum R-10 achieved using one(1) layer of 2" Extruded Polystyrene rigid foam insulation.

Above Slabs within Joist Bay Cavities - R-20 achieved using 2 layers of 2" Extruded Polystyrene rigid foam insulation. Stagger Layer Joints. Floor Joist Bay Cavities over unheated spaces - R-15 High density 3-1/2" fiberglass batt insulation.

Exterior Walls - R-21 Medium density fiberglass batt insulation.

Ceilings or Roof Rafters - R-38 Medium density fiberglass batt insulation.

Around window and door jambs - High density fiberglass batt insulation stuffed tightly into voids and caulked on the interior with non-expanding foam insulation.

All Hot and Cold plumbing supply lines shall be fitted with polyethylene insulating jackets both for insulating the lines and to help prevent condensation.

SOUND ATTENUATION INSULATION: Provide unfaced fiberglass acoustical insulation between all interior walls and floor assemblies.

VAPOR BARRIERS: Install 6 mil thick polyethylene sheet as a continuous vapor barrier in the following locations; over gravel beds prior to pouring concrete slabs, over slabs once they have cured and prior to installing framing or additional insulation within framing cavities that bottom onto concrete slabs, over fiberglass insulation in stud walls, under ceiling and roof rafter insulation. In general, vapor barriers should be installed on the 'warm side' of walls, floors and roofs. DO NOT install ore create conditions considered to be double "vapor barriers".

EXTERIOR WOOD SIDING: Match Exsiting Siding as approved by the Owner and Architect.

Provide and install clear Western Red Cedar Shingle R&R Perfections. Use stainless steel or hot dipped galvanized splitless nails. Plan ahead and ensure that nailing patterns are uniformly spaced and set along level or plumb lines.

It is recommended that Pre-Stained shingles be used rather staining shingles in place. Color selection will by the Owner with the Architect's assistance.

REFERENCES

Western Red Cedar Lumber Association "Designer's Handbook".

Western Red Cedar Lumber Association "Specifying Western Red Cedar Siding".

Western Red Cedar Lumber Association "Installing Cedar Siding".

Western Red Cedar Lumber Association "Guide to Finishing Western Red Cedar". NLGA - National Lumber Grades Authority "Grading Standards".

WCLIB - West Coast Lumber Inspection Bureau "Grading Standards".

WWPA - Western Wood Products Association "Grading Rules".

SUBMITTALS

The Contractor shall provide the Specification and Data submittals to the Architect of all siding materials for review and approval BEFORE

The Contractor shall provide the Specification and Data submittals to the Architect of all siding materials for review and approval BEFO proceeding with the Work.

Western Red Cedar Lumber Association's data sheets on each product to be used, including: Preparation instructions and recommendations.

Storage and handling requirements and recommendations.

Installation methods.

Selection Samples: For each finished product specified, two complete sets of color chips representing manufacturer's full range of available materials and finished appearance.

Verification Samples: For each finish product specified, three samples, nominal size 5 1/2 inches (140 mm) square representing actual product with finished color and texture.

QUALITY ASSURANCE

Manufacturer Qualifications: Manufacturer shall be a member of the Western Red Cedar Lumber Association capable of providing all

Western Red Cedar siding materials specified in this section.

Installer Qualifications:

Installer shall have a minimum of five (5) years experience installing cedar trim on the type and size of project specified by this section. Installer shall be licensed, registered or otherwise approved by the local jurisdiction to install Cedar Siding.

Installation: Products shall be installed according to Western Red Cedar Lumber Association installation guidelines and will conform to local

building codes.
DELIVERY, STORAGE, AND HANDLING

Inspect the materials upon delivery to assure that specified products have been received.

Store materials in safe area, away from construction traffic; store under cover and off ground, protected from moisture.

Keep materials clearly separated and identified with grade marks legible. Keep damaged material identified "as-damaged" and stored

separately so as not to get inadvertently used back into the Construction.

PROJECT CONDITIONS

Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by the manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits or recommendations.

Fasteners, supports, and hangers may be provided by manufacturers other than member organizations of the WRCLA, but shall conform to the requirements set forth by this section and will be reviewed and approved by the Architect.

PRODUCTS

MANUFACTURERS

Acceptable Manufacturer:

SUPPLEMENTAL MATERIALS

Western Red Cedar Lumber Association,

which is located at: 1501 - 700 W. Pender St. Pender Place 1, Business Bldg.;

Vancouver, BC, Canada V6C 1G8; Toll Free Tel: 866-778-9096; Tel: 604-684-0266; Fax: 604-687-4930; Email: request info; Web: www.wrcla.org

Requests for substitutions will be considered and shall be reviewed and approved by the Architect.

8. WINDOWS & DOORS

The Contractor will refer to the Window and Door schedules for all Sizes, Locations, Material Specifications and Rough Framing information.

The Contractor will verify all rough opening and dimensional information with the Window or Door Manufacturer and the sale's representatives when ordering.... to ensure that the schedules are correct and up-to-date.

Window and Door Hardware and finishes will be selected by the Owner and approved by the Architect.

Provide full width copper pans installed into the framed rough openings prior to installing all exterior doors.

All hardware assemblies for exterior doors shall be Locksets as selected by the Owner and Approved by the Architect. Typical manufacturers would be "Rocky Mountain Hardware", "Baldwin", or other brand of equal quality.

The Custom Entry Door as shown in the Drawings shall be manufactured by Simpson Door or an approved equal. The Contractor shall research and provide hardware options for the unique center mount entry hardware set as shown in the drawings for the front door. Submittals will be provided to the Owner and Architect for Review and Approval.

All Exterior Doors shall be fitted for Wood Screen Doors as selected by the Owner and approved by the Architect, unless otherwise directed.

Interior Doors shall be as Indicated on the Door Schedule and manufactured by Simpson, Select Door Company, or other supplier as approved by the Owner and Architect.

Garage Doors shall be (3) 9' wide by 8' high. Style of garage door will be as selected by Owner and will be manufactured by 'Raynor Pointe Doors' or other supplier as approved by the Owner and Architect. The garage doors shall have a quiet drive door operator. Doors will have Alaskan Cedar perimeter, square edge, heavy duty frame with insulated foam core panels if available. Door assembly will have primed weatherstripped stop mouldings. Door & frame shall be shop primed with one coat finish paint applied by manufacturer.

9. FINISHES

The Builder will confirm all finishes selections with the Owner prior to starting application of finishes.

GYPSUM WALLBOARD (GWB) shall Conform to ASTM C36, 5/8" thick as manufactured by "U.S. Gypsum" or approved equal. All GWB shall be fastened with 1-1/4" bugle-head sheetrock screws, taped and compound jointed and spackled with a minimum of three coats. Sand evenly between coats taking care not to abrade sheetrock surface. Use Sheetrock boards with tapered edges on ALL FOUR SIDES. Minimize and stagger joints. Use glavanized USG radius corner beads and USG approved accessories for all edging to ensure no rusting or bleed-thru. Use Paper Tape for all joints and avoid mesh tapes except for repair work. All work shall be done in compliance with the referenced standards of the 'Gypsum Construction Handbook' by US Gypsum Co.

Gypsum Wallboard installation shall not commence until all framing, mechanical rough-ins, pre-wiring, and insualtion is installed. The Contractor will ensure that all fireblocking and firecaulking is complete prior to installing GWB. The Contractor will ensure that all framing has been acclimated to a normal temperature and humidity level for at least 2 weeks prior to the installation of GWB to minimze any subsequent shrinkage of framing

During Installation of GWB and joint compound, the interior temperature will be maintained at a uniform temperature of 65° or more. All penetrations for outlets and light fixtures shall be neatly cut so that devices with tabs and cover plates fit properly. All gaps, voids or cracks shall be filled and sanded with plaster. All such repair work shall be approved by the Architect.

CERAMIC TILE, MARBLE, GRANITE & other SIMILAR STONEWORK shall be supplied as selected by the Owner and approved by the Architect. Tile and Gauged Stone 1/2" or thinner for Walls will be set using site-mixed thin-set mortar over cement board underlayment, such as USG DUROCK Board, or equal. Tile and Gauged stone 1/2" or thinner for Floors may be set on cement board or 'hardi-backer' typer underlayments provided that the floor joists are engineered TJI's and LVL's and not dimensional lumber susceptible to shrinkage. Thicker Tile or Stone shall be 'mud-set' in a true mortar bed of 1-1/2"" or more with #6 reinforcing wire mesh.

All Shower Ceilings will be tiled as per plans.

The Builder and Tile/Stone Subcontractor shall follow the recommended standards and practices of the "Handbook for Ceramic Tile Installation" latest edition, by the "Tile Council of America, Inc."

FIREPLACE SURROUNDS AND HEARTHS: All fireplace surrounds and hearths shall be 3/4" stone slab material as selected by the Owner and reviewed by the Architect. Care shall be taken to ensure that all building code dimensions and clearances are maintained around firebox openings and that hearths project out and to the side the required distances for fire protection, as per State Building Code.

All slab material and layout for joints and anchors shall be approved by the Architect.

Stone slabs for door saddles, shower door surrounds, casing or trim, shelves, countertops, backsplashes, and tub decks shall be selected by the Owner and approved by the Architect.

WOOD FLOORS: The Builder and Flooring Sub-Contractor shall refer the Flooring Finish Schedule in the drawings for determining all sizes, species & layout patterns for each room. Particular attention shall be paid to ensure that transitions between rooms is flat and uniform. All wood floors shall be installed on a red rosin paper slip-sheets after the floors have been meticulously cleaned of all dust and debris. Wood floors on upper levels over occupied spaces below will additionally have a sound barrier mat to dampen sound transmission between floors.

Provide a 4-board corner-woven border on all 1st floor spaces and in the Master Bedroom spaces.

All wood flooring shall be sanded smooth and vacuumed prior to applying sealer, stain or topcoats. All wood flooring shall receive one coat of sanding sealer and 2 coats of satin finish urethane/oil topcoats. If the Owner decides that any floors are to be stained then the Contractor shall provide 3'x3' color sample floor board panels for review and approval by the Owner and Architect.

The Contractor will keep all finished floors completely protected until the Owner takes occupancy of the spaces.

All work shall be done in strict accordance with the recommended standards and practices of the National Wood Flooring Association and the Oak Flooring Manufacturer's Association in order to ensure a high quality job.

CARPETING: Prepare all rooms to receive carpeting with 2-1/2" strip red oak sanded and sealed. All carpeting shall be selected by the Owner and approved by the Architect. It is recommended that only urea-formaldehyde free carpets be used. The Contractor shall make sure that all voids and gaps are properly filled and sanded prior to carpet installation. All floor boards shall be checked for squeeks or movement priot to carpet installation.

The Contractor shall ensure that the carpeting is completely protected until the Owner takes Occupancy.

PAINTING: All surfaces scheduled to receive paint finishes shall be thoroughly and completely prepared and inspected by the Contractor prior to starting work. All surface preparation such as priming, caulking, spackling and puttying of nail holes is considered part of "Painting", and is not the responsibility of the Trim Subcontractors...ALTHOUGH the trim carpenters shall try to minimize the amount of filling and puttying needed to prep for painting.

Interior Painting shall include but is not limited to all walls and ceilings, all windows and doors, all running trim including baseboard, shoemoulding, base cap, chair rails, crown and bed mouldings and ceiling mouldings or medallions.

Exterior Painting shall include but is not limited to all walls, corner boards, apron boards, window and door trim, frieze boards, soffits, fascia, and other decorative trim or wood details.

All painting and staining shall be of the highest quality following industry standards and guidelines. All finish paint shall be smooth, uniform, free from drips, runs, sags, brush marks or brush debris and other defects. Remove all hardware on doors, windows, cabinets, etc. to make sure all surfaces are sealed and painted and that hardware is not damaged. Organize and label all temporarily removed hardware and ensure that all hardware is properly replaced and adjusted after painting. Carefully remove paint from all glass, tile, and stone surfaces making sure that surfaces are not scratched or marred.

All paint shall be formulated with low VOC (volatile organic compounds) and shall be of the highest quality grade by Benjamin Moore from their 'Aura' line of interior and exterior waterborne finishes.

The Owner will select all colors and the Painting Subcontractor shall prepare sample sections as directed by the Owner to be viewed in the natural light conditions of each space.

ALL INTERIOR WALL SURFACES shall be primed using high quality primer/sealers for GWB or wood as appropriate. Once fully dry all surfaces shall receive two (2) coats of the selected color. Coverage shall be complete and uniform. The Owner may elect to have some surfaces receive a 3rd coat if the coverage does not seem to be satisfactory. Third coats of finish paint will be in addition to the Contractor's Base Bid.

ALL INTERIOR WOOD TRIM AND PANELING shall receive one (1) oil-based prime coat followed by two (2) coats of 'Satin Impervo' enamel oil based paint. All coverage shall be complete and uniform. The Owner may elect to have some surfaces receive a 3rd coat if the coverage does not seem to be satisfactory. Third coats of finish paint will be in addition to the Contractor's Base Bid.

ALL EXTERIOR SIDING shall be pre-stained by the manufacturer. Fresh cuts will be touched up on site using the same color formula and manufacturer as one used by the supplier of the Siding Material.

ALL EXTERIOR TRIM shall be sanded to remove any 'mill glaze' and puttyed and primed with a high quallity oil based primer such as 'Moorewood" or equal oil based primer. Back prime all extrior trim and saw cuts PRIOR to installation of the trim. Top coat of all exterior trim to be high gloss latex enamel, color as selected by Owner and approved by the Architect.

10. SPECIALTIES & APPLIANCES

SHOWER DOORS: Provide and install 'Luxus' brand frameless units with channels, curb-dams, and sweeps as required in all shower locations. Alternate brands may be suggested and used if reviewed and approved by the Owner and the Architect. The Contractor shall provide shop drawings for all shower door assemblies including hardware locations, finishes, and glass thicknesses and type.

MIRRORS: Provide and Install 1/4" thick minimum beveled edge mirrors per the drawings above all sink vanities or in closets and back of doors as so identified in the drawings, or as directed by the Owner. MAKE SURE to use "mirror mastic" and NOT silicone adhesive. Silicone and other adhesives can dissolve the mirror's silvering on the back.

TOWEL BARS, RINGS, HOOKS and PAPER HOLDERS: Provide and install all bathroom, kitchen and pantry accessories as selected and purchased by the Owner. Location, heights and alignments for all accessories shall be approved by the Owner and the Architect.

APPLIANCES & SINKS:

The Builder's Base Bid will include allowances for the installation of the following kitchen appliances.

STOVE -EXHAUST HOOD - TBD

MICROWAVE - TBD

REFRIGERATOR -

BEVERAGE COOLER - SubZero 700BC combo drawers

One (1) DISHWASHER Two (2) UNDERMOUNT SINKS. Kindred stainless steel undermount sinks (one in each kitchen)

POT FILLER - Provide and install wall mounted pot filler for Kitchen Sink.

ICE MAKER - TBD

11. PLUMBING

Furnish and install plumbing fixtures, fittings, equipment and all plumbing systems as indicated on the drawings. All plumbing fixtures, fittings, trims and accessories shall be selected by the Owner and reviewed by the Architect.

The Contractor shall include in his base bid the Plumbing Sub-Contractor's Cost for the rough-in installation and finish installation of all plumbing fixtures and fittings. The Contractor shall include in his base bid the Plumbing Sub-Contractor's Cost to furnish and install the plumbing system for the entire house as required for and indicated by the drawings.

All hot & cold water piping and connecting fittings shall be type 'L' copper tubing. DO NOT use type "M" copper tubing. All supply Risers shall be 3/4". Provide recirculating hot water to all bathroom fixtures. Provide tempering valves at all WC tanks. Provide valved connections at all equipment and fixtures, and label with clear non-corrosive tags. Pex Tubing may be substituted as appropriate and to code.

Furnish and install all sanitary drain, waste, & vent piping and fittings for fixtures and systems indicated on the drawings. All primary vertical waste lines and bottom receiving fittings SHALL BE CAST IRON... to minimize sound transmission of waste flow to adjacent living spaces.

The Plumbing sub-contractor shall review the layout of all supply and waste lines with the Contractor and the Architect and will work to coordinate with the HVAC contractor to resolve any layout conflicts. All Roof vent location and roof penetrations will be reviewed with and approved by the Architect.

There shall be absolutely NO CUTTING OR NOTCHING OF TJI FLANGES in order to run plumbing lines. There shall be absolutely NO HOLES DRILLED THROUGH LVL ENGINEERED BEAMS OR HEADERS in order to run plumbing lines.

All hot and cold supply lines shall be insulated with 'armoflex' pipe insulation, or approved equal, with all joints neatly taped. Insulation of all supply lines shall be continuous and uninterrupted from the supply source to the fixture location. Thoroughly insulate all supply and waste lines to minimize sound transmission to adjacent living spaces.

For Production of Domestic Hot Water, Provide and install a Phase III TR-120 indirect water heater to be located as indicated on the drawings.

Provide a Plastic overflow pan and 2" drain under the washer and dryer in both laundry locations.

Hydronic Radiant heating will be provided and/ or re-worked as per the drawings.

The Contractor shall install a new underground 1000 gallon propane tank. Location of the Tank shall be reviewed with the Owner, the gas supplier, and the Architect to ensure proper distances and clearances.

The propane tank will serve a new 17KW Back-up Generator, an outdoor grille, the 60" Wolf Kitchen stove, the Phase III Domestic Hot Water system, and up to five (5) fireplace igniters. The Propane tank may also in the future serve a swimming pool heater.

All plumbing work shall be done to the highest industry standards and shall comply with all state and n

The Plumbing subcontractor shall provide Gas Piping, regulators and appropriate shut-off valves as per code.

All plumbing work shall be done to the highest industry standards and shall comply with all state and national plumbing codes and building codes.

HVAC - HEATING, VENTILATION, AND AIR CONDITIONING

THE HVAC Contractors shall furnish and install all Heating, Ventilating and Air Conditioning Equipment as specified in the Drawings and as may be required by the job conditions and implied in the Design Intent. This work includes but is not limited to the following:

Full layout review with the Owner, Architect and the Builder prior to beginning any work.

Furnishing to, and coordinating with the Job Electrician, all electical devices and requirements for the HVAC Systems... including wiring schematics for all equipment to be installed.

Providing all low voltage control wiring and connections.

Providing all air handlers, condensing units, humidifiers, electronic air cleaners, pumps, controls, zone dampers, thermostats and other related equipment.

Providing refrigerant piping, condensate piping, drain pans with safety overflow cut-off switches.

Providing all HVAC ductwork, fittings, insulation, registers and grilles.

Providing all hangers, isolation and vibration dampeners and supports as required.

Providing all boiler equipment and labor including piping from the boiler to air handler coils if required.

Providing Power venting equipment and installation of boiler to exterior if required.

Providing the Oil Tank or Propane Tank as appropriate and all associated installations.

Clean-up of all HVAC related debris and installation waste material.

Start-up, Testing, and balancing of system controls.

Issue Date

6/10/23

Revisions

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Construction Notes - Sheet 4

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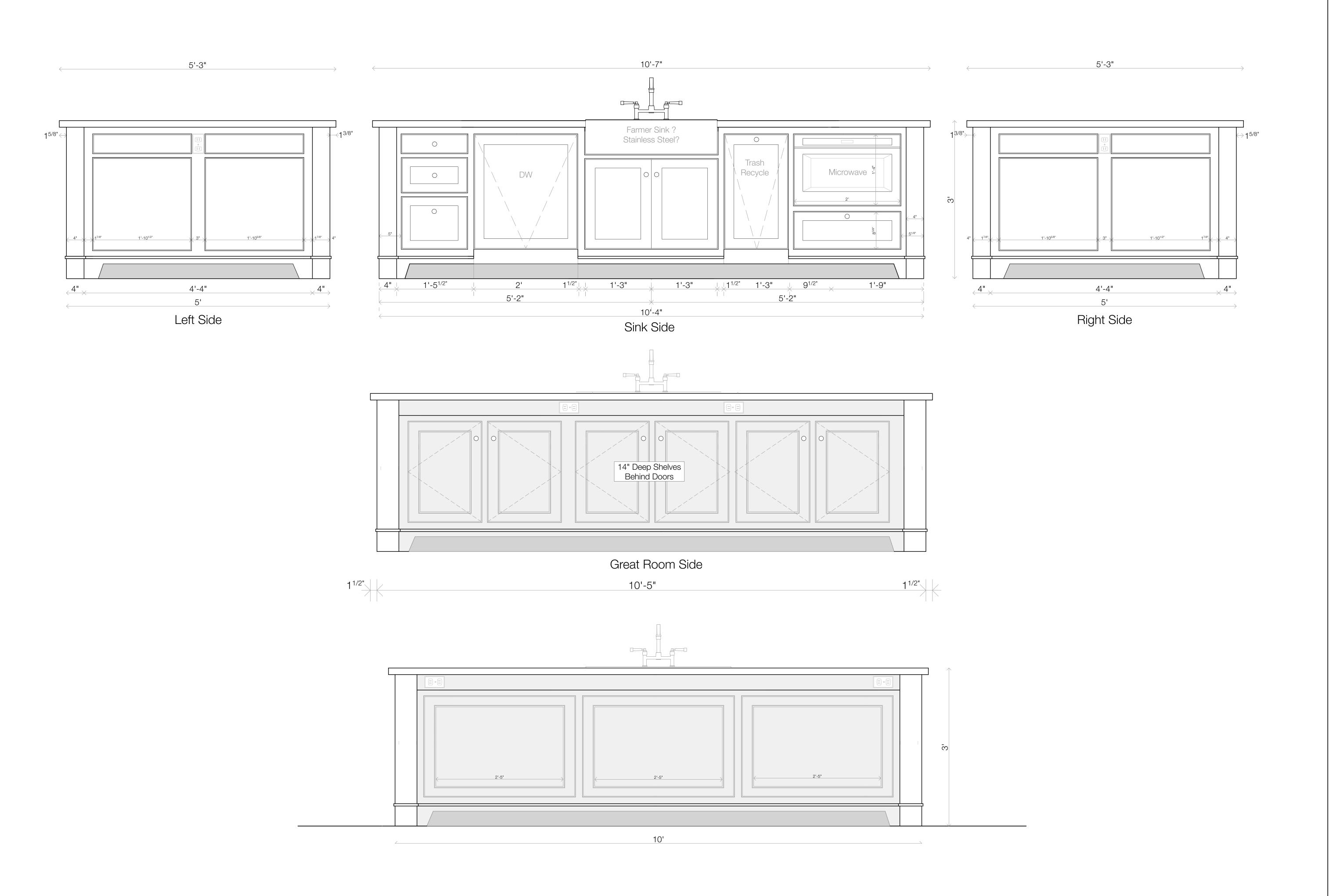
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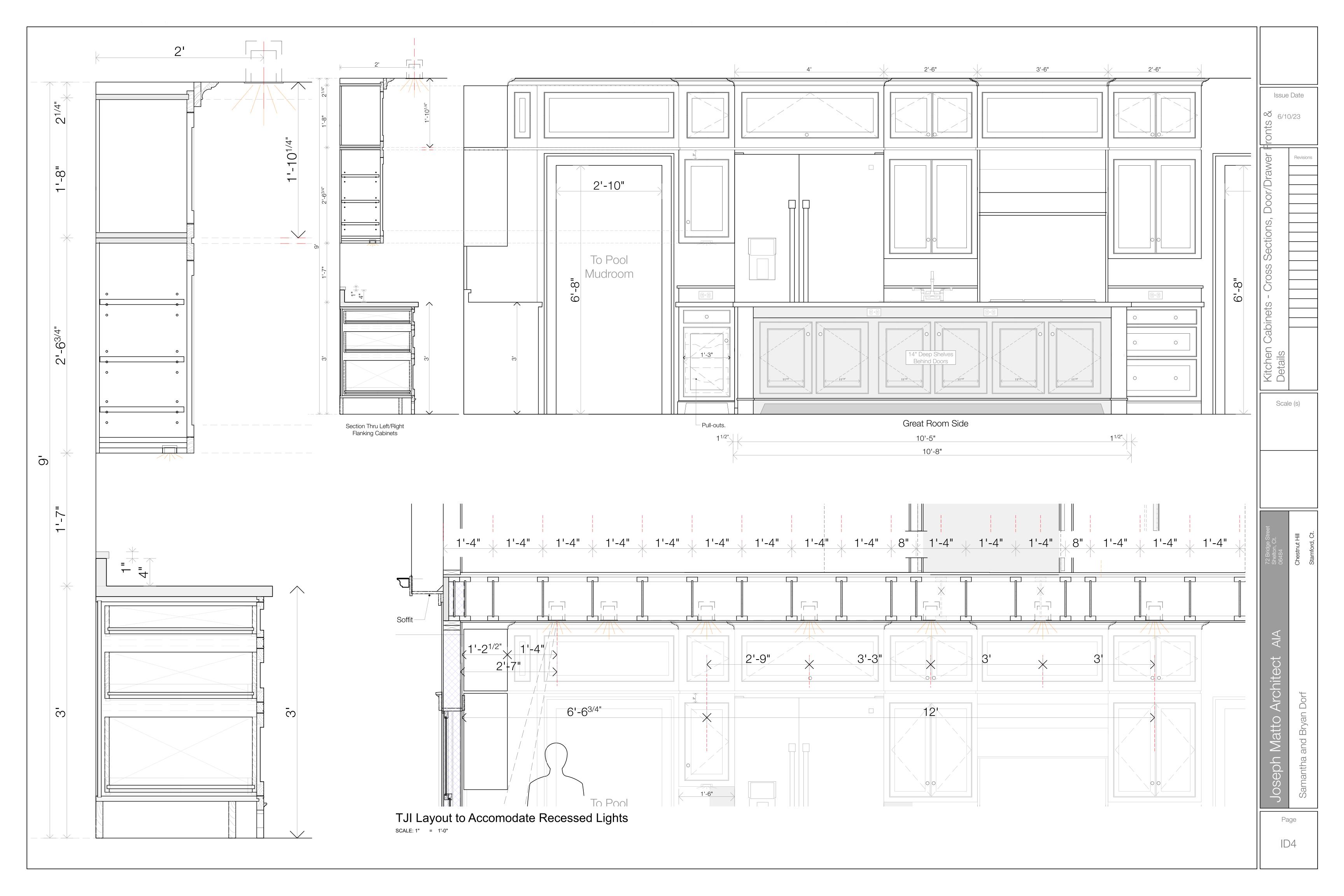
Cross Section - DR thru Pantry Mudroom and Stairs

SCALE: 1" = 1'-0"



Issue Date 6/10/23

Scale (s)



PLACE - HOLDER SHEET

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Light Fixture Schedule											
Qty Floor (Story)	Location	ТҮРЕ	Aperture Opening Element Cl	Manufacturer	Model #	Housing#	Trim Color	Baffle Type	Reflector Type	Lamp (Bulb)	Notes:

Lighting Fixtures & Wall/Floor Finishes Schedule

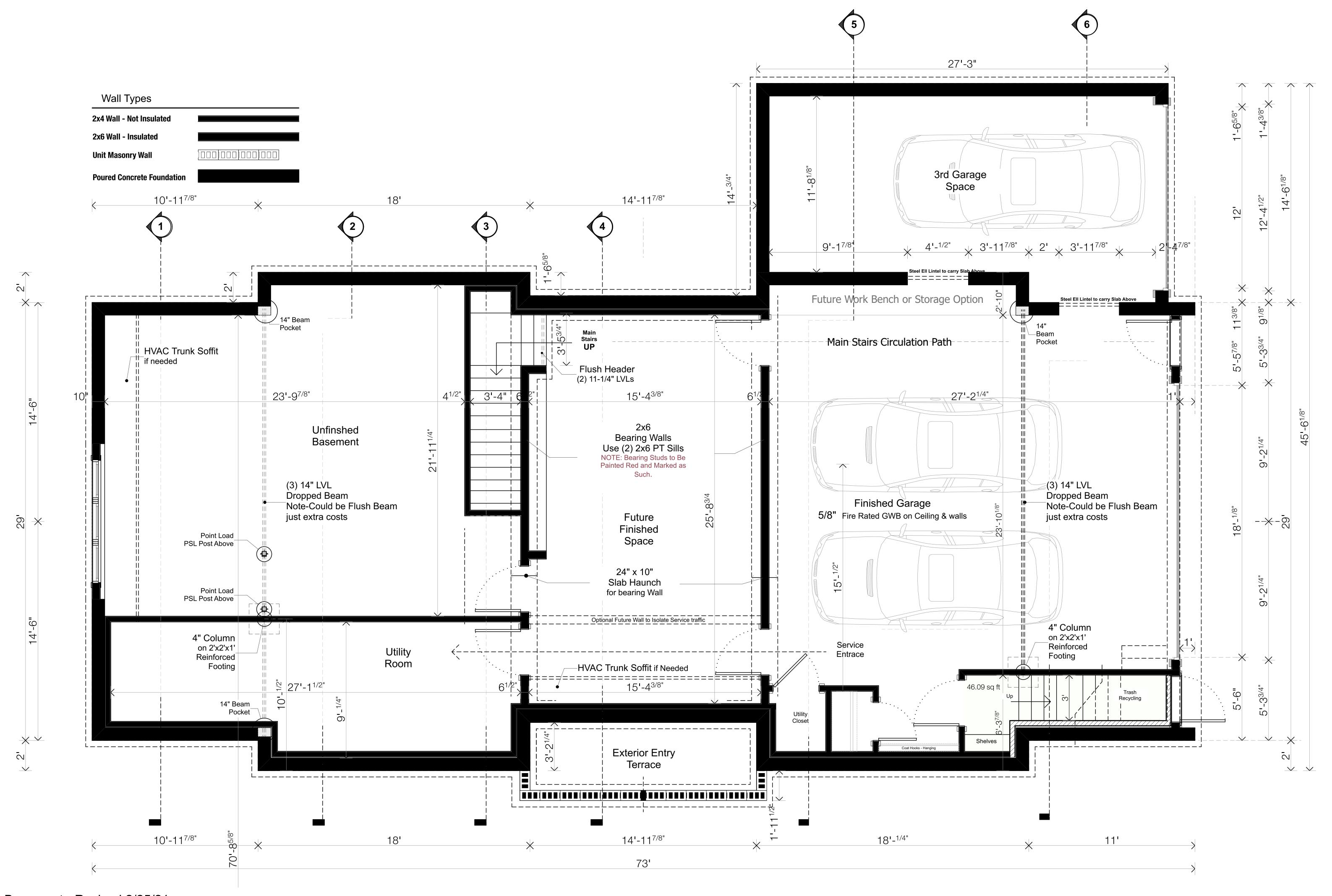
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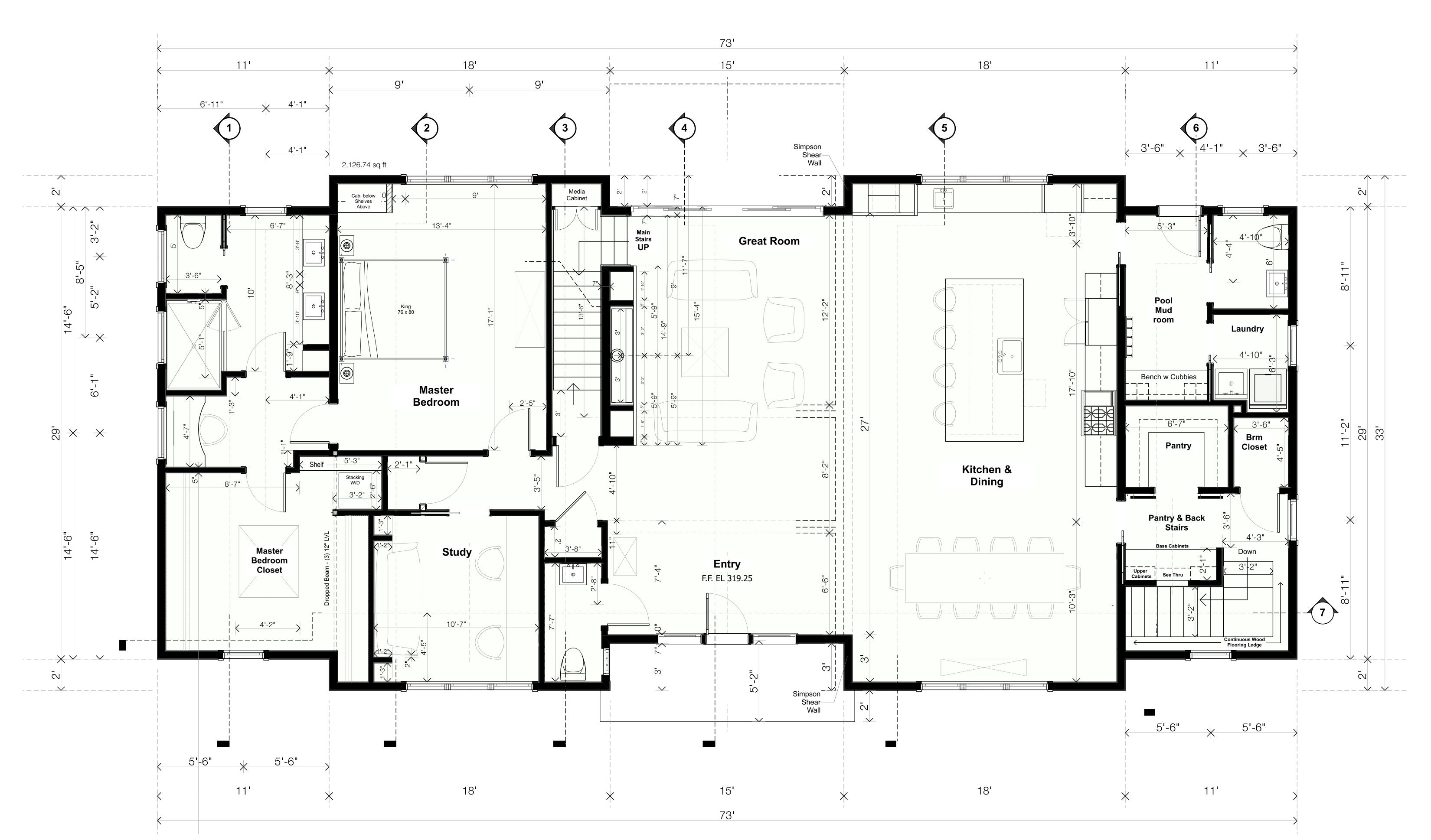
Chestnut Hill

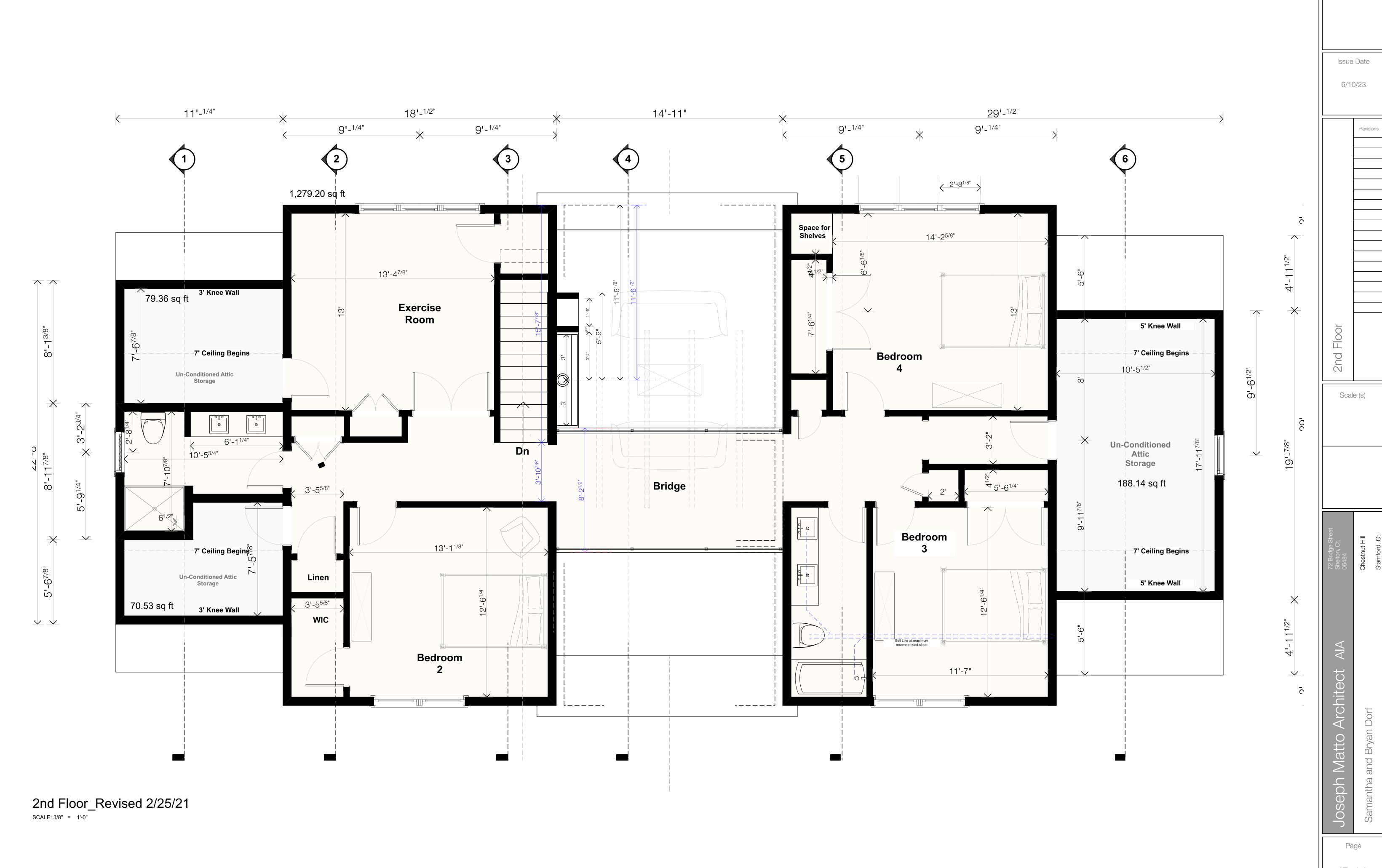
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