PLOT PLAN

OF PROPERTY PREPARED FOR

PATRICIA MORGAN

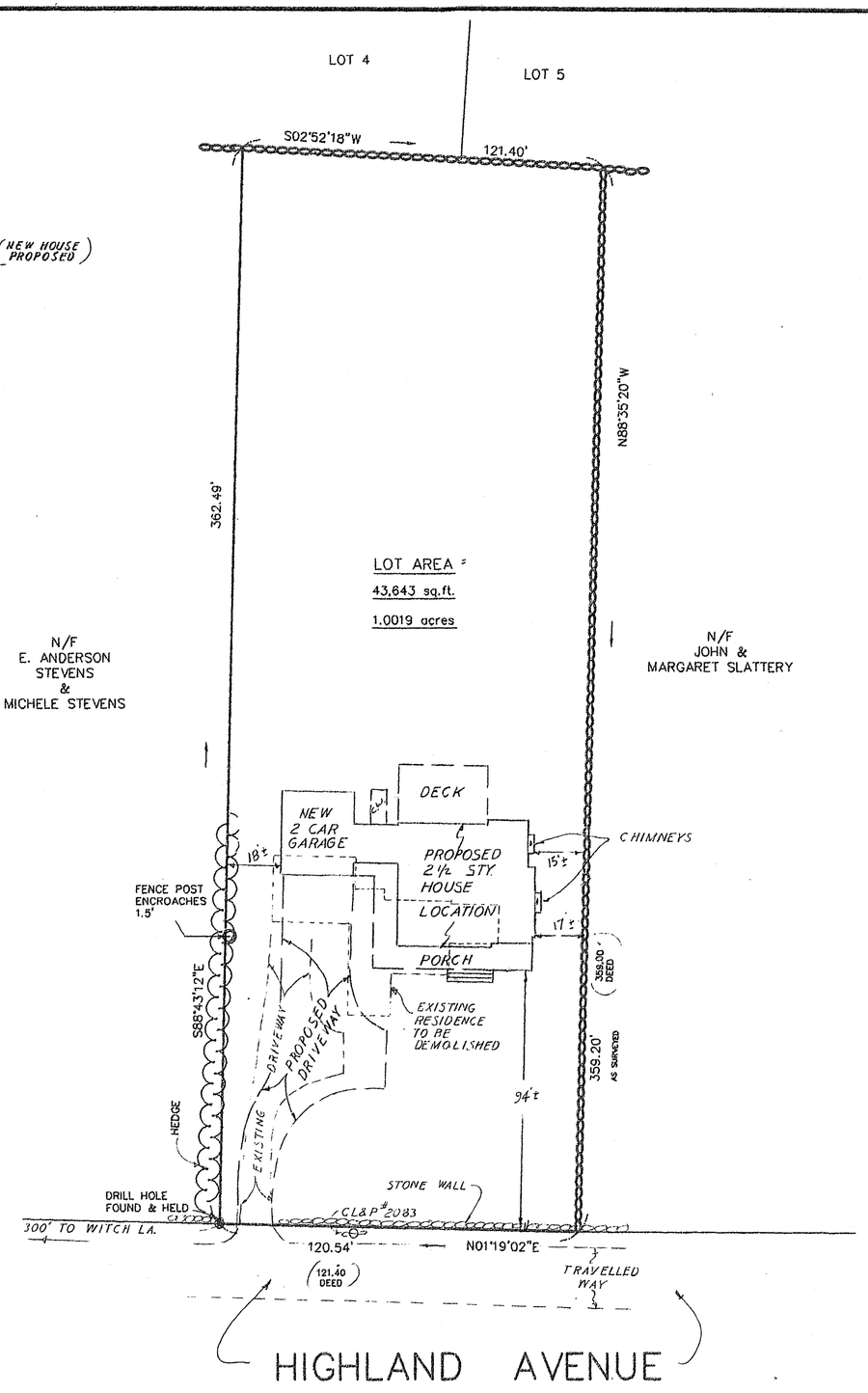
134 HIGHLAND AVENUE, NORWALK, CONNECTICUT

SCALE: 1"=30' DATE: JUNE 18, 1998

REVISED: 4-28-99 (NEW HOUSE PROPOSED)

BY "ARCAMONE LAND SURVEYORS"

		REQUIRED/ALLOWED		PROPOSED
	FRONT SETBACK	40'	MIN.	94'±
	REAR	20'	MIN.	203'±
	SIDE	10'	MIN.	17'±
ALL PLANS	AGGREGATE SIDE	30'	MIN.	35'±
	LOT WIDTH	100'	MIN.	120.54'
	LOT AREA	12,500sf	MIN.	43,643sf
	HEIGHT	35'	MAX.	32'
	# OF STORIES	2 1/2	MAX.	2 1/2
	LOT COVERAGE: STRUCTURE	25%	MAX.	10%±



MAP NORTH # 10166

THIS SURVEY MEETS THE STANDARD OF A CLASS "A-2" SURVEY.

SURVEY TYPE: ZONING LOCATION SURVEY
BOUNDARY DETERMINATION: RESURVEY

THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR SURVEYEYS AND MAPS IN THE STATE OF CONNECTICUT". SEC. 20-300b-1 to 20-300b-20. EFFECTIVE; JUNE 21,1996 AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC., SEPTEMBER 26, 1996

UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS IF ANY, ARE NOT SHOWN.

THIS MAP IS INVALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

REFERENCES TO THE ABOVE PROPERTY ARE MADE TO MAP(S) No. 5829, 8270, 10,166, N. L. R.

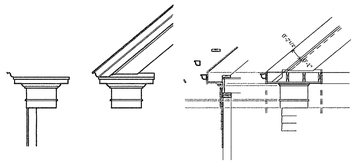
TAX MAP 17SW BLOCK 19B TAX LOT(S) 8 DISTRICT 6th

PROPERTY IS LOCATED IN "A" RESIDENCE ZONE

DISTANCES SHOWN +/- FROM BUILDINGS TO PROPERTY LINES ARE NOT TO BE USED TO ESTABLISH BOUNDARIES.

"TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON"

CONNECTICUT REG # 15773
WAYNE J. ARCAMONE, LAND SURVEYOR, NORWALK, CONN.



"Front" East Elevation

North Elevation

Issue Date

3/23/00

Revisions

Front & Side Elevations

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

Scale

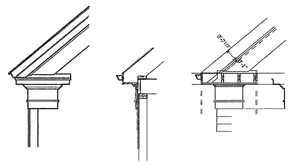
1/4" = 1'-0"

These drawings are to be used by Joseph Matto, Architect for the sole purpose of assisting the Client with the construction of a single family residence. The drawings are not to be used for any other purpose, without the expressed consent of Joseph Matto Architect to a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect
AIA - Ct. Architect #8440
37 Geneva Road, Norwalk, Ct. 06850 Tel. 203 866-5777 Fax: 203 866-5776

Hall-Tipping & Morgan Residence

A1



Side Elevation - South

Rear Elevation - East

Issue Date

3/23/00

Revisions

Rear & Side Elevations

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

Scale

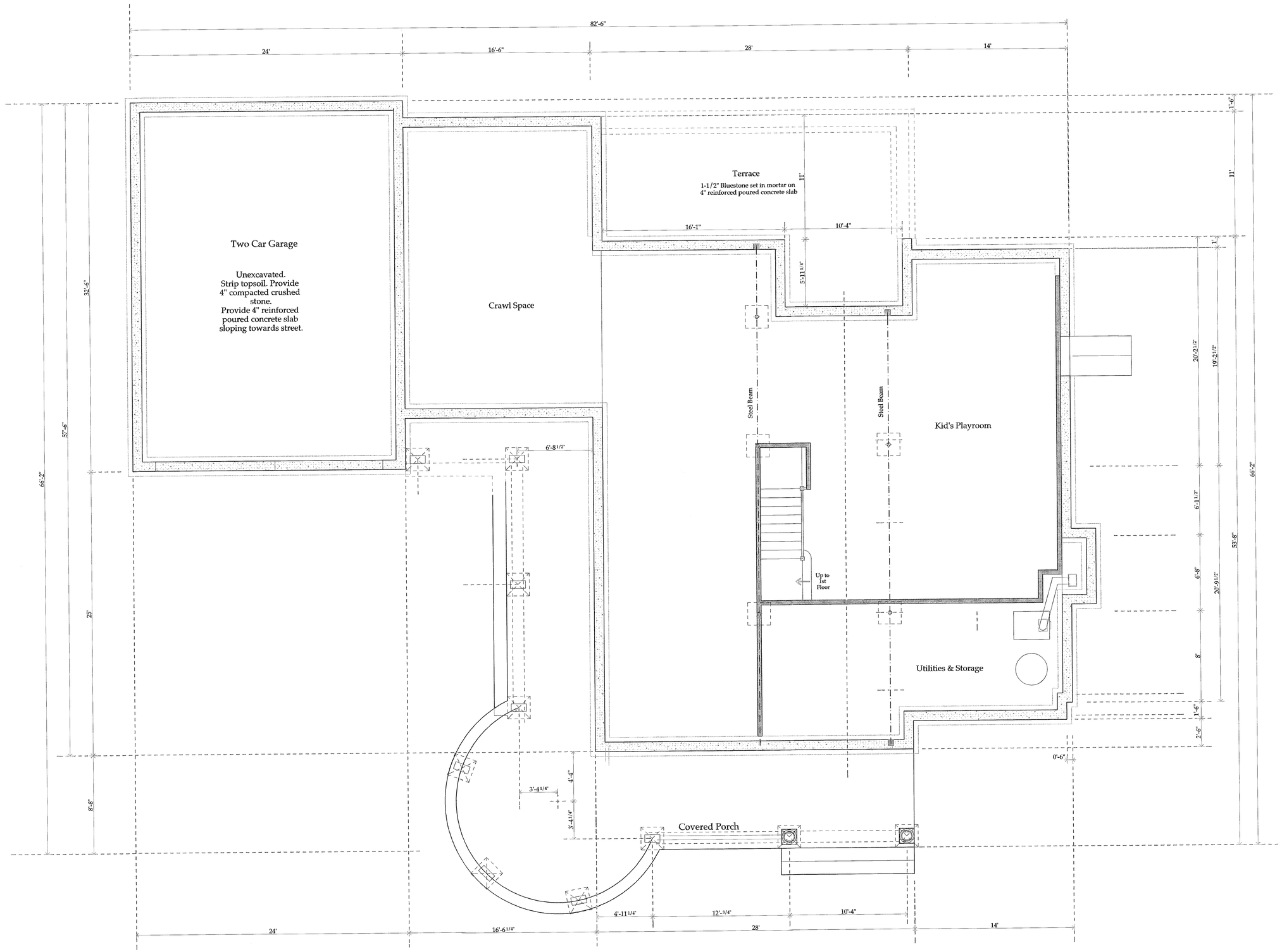
1/4" = 1'-0"

These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the Client with the construction of a single family residence. Any other use or reproduction by any other party for any other purpose, without the expressed consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA - Ct. Architect #8440
37 Geneva Road, Norwalk, Ct. 06850 Tel: 203 866-5777 Fax: 203 866-5776

Hall-Tipping & Morgan Residence

A2



Issue Date

2/28/00

Revisions

Foundation Plan

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

Scale

1/4" = 1'-0"

These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the Client with the construction of the specified Residence. The drawings, for other purposes, or any part thereof, for any other purpose, without the expressed consent of Joseph Matto Architect is a violation of Federal Copyright Law. Rights reserved.
Copyright © 1999 Joseph Matto Architect

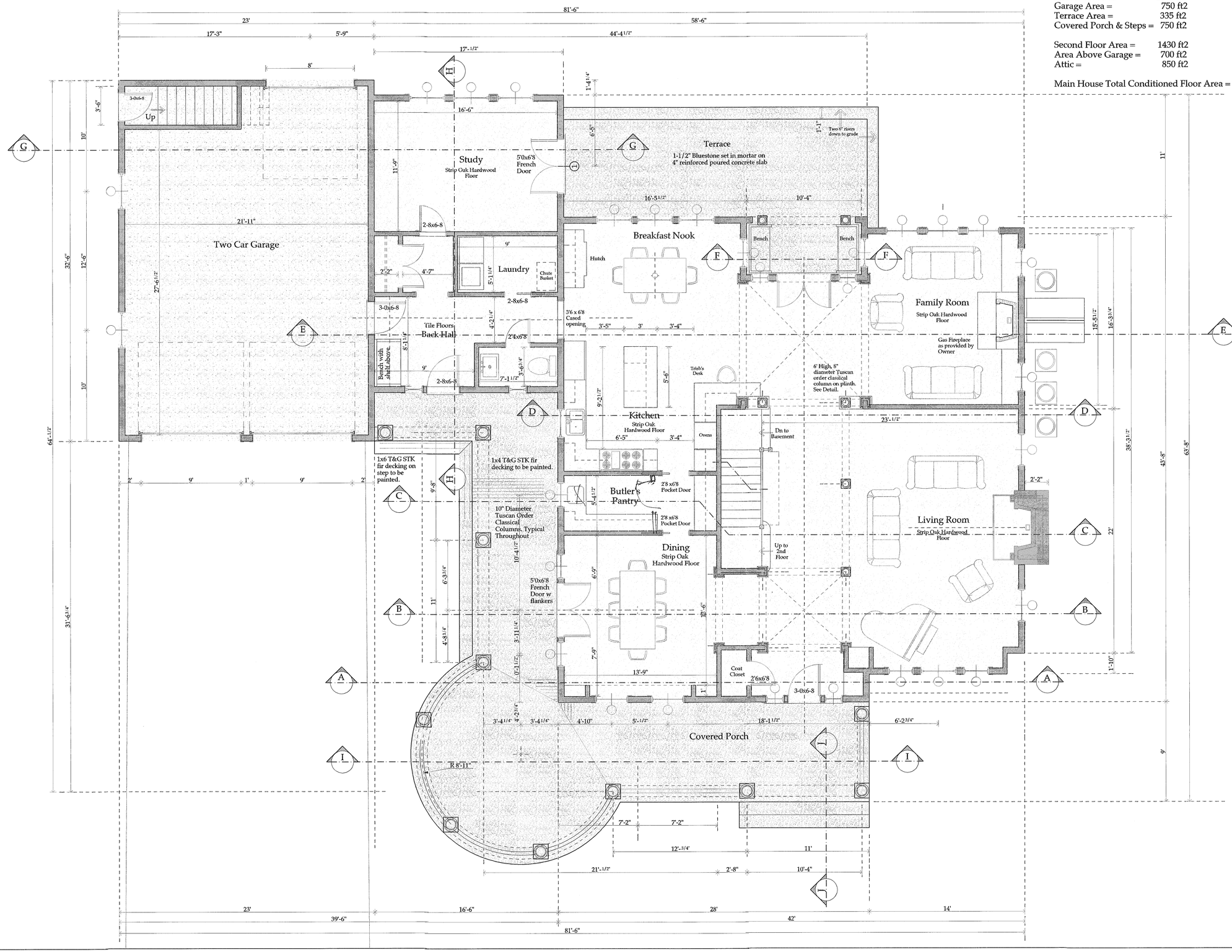
Joseph Matto Architect
AIA - Ct. Architect #5840
37 Geneva Road, Norwalk, Ct 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A3

First Floor Area =	2175 ft2
Garage Area =	750 ft2
Terrace Area =	335 ft2
Covered Porch & Steps =	750 ft2
Second Floor Area =	1430 ft2
Area Above Garage =	700 ft2
Attic =	850 ft2

Main House Total Conditioned Floor Area = 3605



Issue Date

3/23/00

Revisions

First Floor Plan

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

Scale

1/4" = 1'-0"

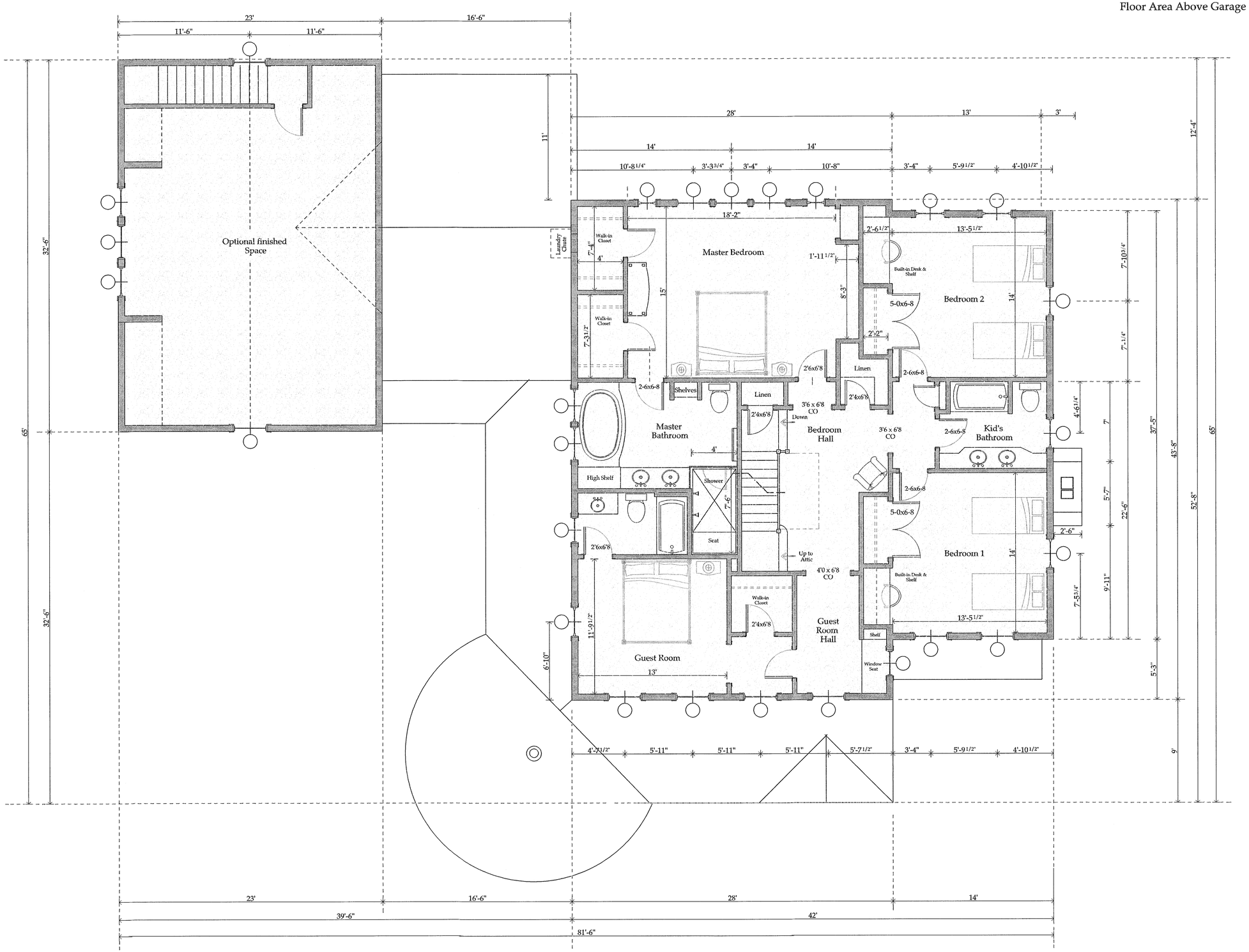
These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the owner and/or agent of the owner in the construction of the subject premises and for no other purpose, without the expressed consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA · CT Architect #8440
37 Geneva Road, Norwalk, CT. 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A4

Floor Area Second Floor = 1430 ft2
Floor Area Above Garage = 700 ft2



Issue Date
2/8/00

Revisions

Second Floor Plan

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

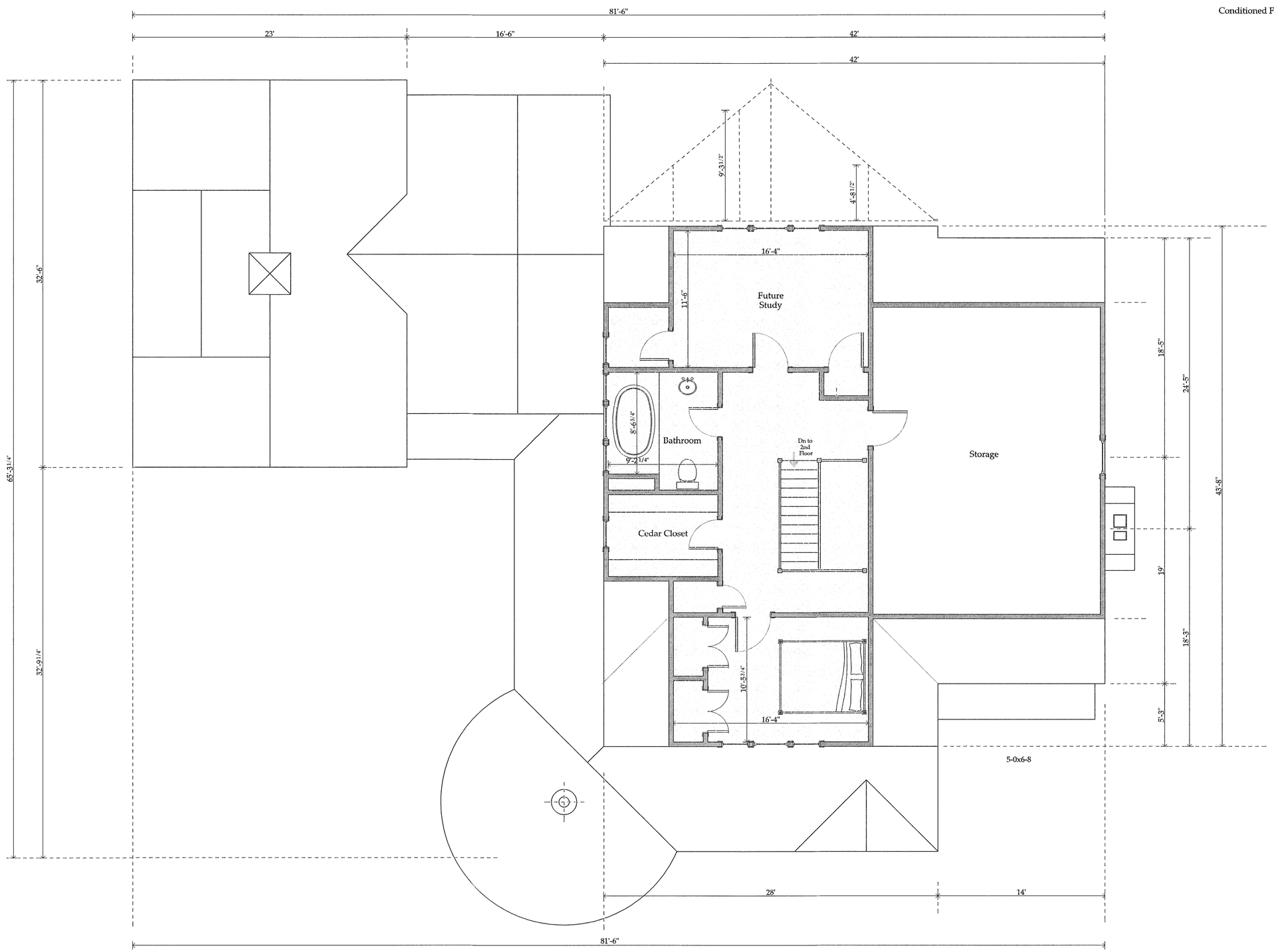
Scale
1/4" = 1'-0"

These drawings are to be used by Joseph Matto, Architect for the sole purpose of assisting the Client with the construction of the Client's single family residence. These drawings are not to be used for any other purpose, without the expressed Consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA - Ct. Architect #8440
37 Geneva Road, Norwalk, Ct. 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A5



Conditioned Floor Area = 800 Ft2

Issue Date

2/28/00

Revisions

Attic Floor Plan

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

Scale

1/4" = 1'-0"

These drawings are to be used by Joseph Matto Architect for the sole purpose of securing the Client with the construction of the project described by these drawings. Use of these drawings, or any part thereof, for any other purpose, without the expressed consent of Joseph Matto Architect is a violation of Federal Copyright Law and Regulations.

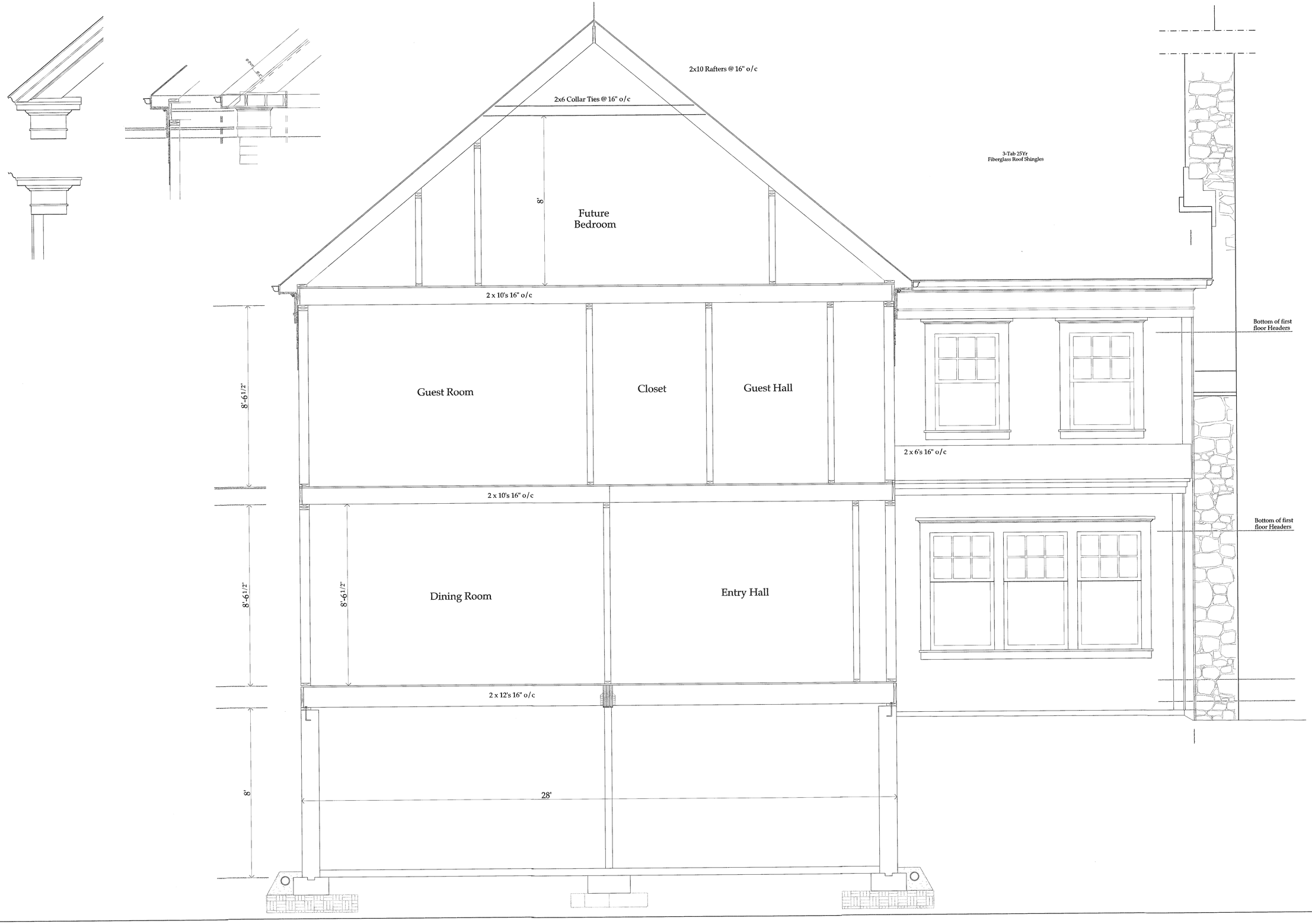
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA - CC Architect #8840

57 Geneva Road, Norwalk, Ct. 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A6



Issue Date
3/23/00

Revisions

Section A

1/2" = 1'-0"

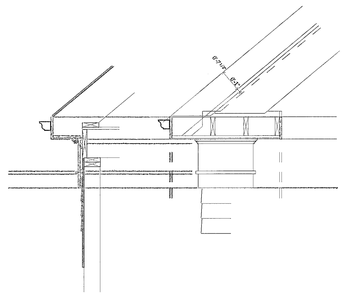
All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

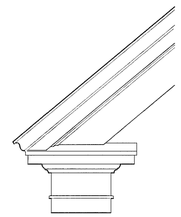
These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the Client with the construction of the project described in these drawings. Use of these drawings, or any part thereof, for any other purpose, without the expressed consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA/Ct. #8440
37 Gemery Road, Norwalk, Ct. 06850 Tel. 203 846-5777 Fax. 203 846-5778

Hall-Tipping & Morgan Residence

A7





Issue Date

3/23/00

Revisions

Section B

1/2" = 1'-0"

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the Client with the construction of the project described by these drawings. Use of these drawings for purposes not specified herein or for other projects without the express written consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.

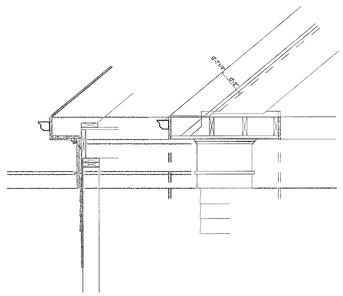
Copyright © 1999 Joseph Matto Architect

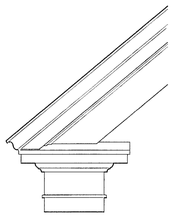
Joseph Matto Architect AIA/CL #8440

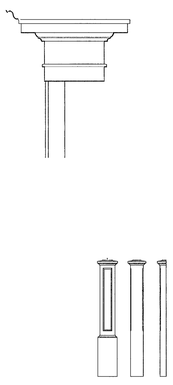
37 Geneva Road, Norwalk, Ct. 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A8







Issue Date
3/23/00

Revisions

Section C

1/2" = 1'-0"

All interior dimensions are drawn to finished walls. Add 1" to obtain rough framing dimensions.

These drawings are to be used by Joseph Matto Architect for the sole purpose of assisting the Client with the construction of the project described by these drawings. Use of these drawings, or any part thereof, for any other purpose is strictly prohibited without the consent of Joseph Matto Architect is a violation of Federal Copyright Law. All rights reserved.
Copyright © 1999 Joseph Matto Architect

Joseph Matto Architect AIA / Ct. #8440
37 Geneva Road, Norwalk, Ct. 06850 Tel. 203 866-5777 Fax. 203 866-5776

Hall-Tipping & Morgan Residence

A9